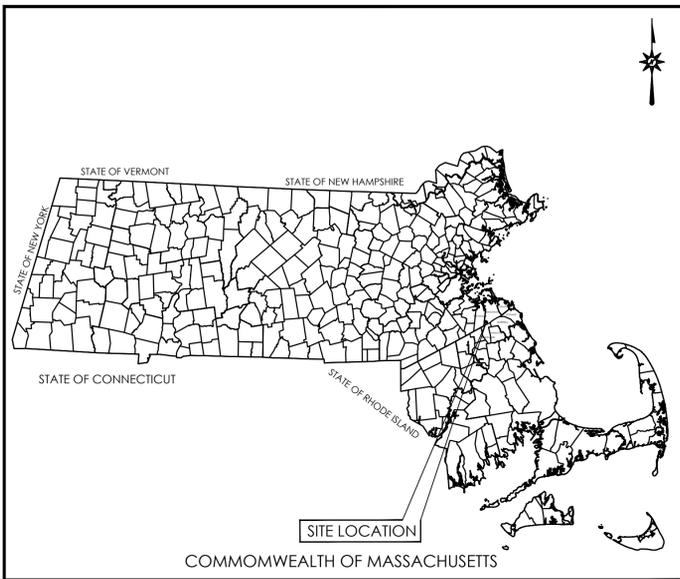


LAND DEVELOPMENT PLANS ISSUED FOR TOWN OF HINGHAM CONSERVATION COMMISSION AND PLANNING BOARD APPROVAL 100 INDUSTRIAL PARK ROAD HINGHAM, MA



LOCATION MAP
N.T.S.



VICINITY MAP
SCALE: 1"=1000'

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A1.01	OVERALL FLOOR PLAN

CAD FILE: CV1901S1701
XREF(S): XC1800425_Counties
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PREPARED BY:



355 RESEARCH PARKWAY
MERIDEN, CONNECTICUT 06450
(203) 630-1406
(203) 630-2615 Fax

OWNER:
JEB GROUP LLC
PO BOX E-62
BOSTON, MA 02127



DATES

ISSUE DATE: MARCH 6, 2020
REVISION: MAY 12, 2020
JUNE 1, 2020

SOUTHEAST EXPRESSWAY (MA ROUTE 3)
(VARIABLE WIDTH - NON ACCESS)

GENERAL NOTES

- NORTH ARROW AND BEARINGS REFER TO NAD 83, MASSACHUSETTS MAINLAND STATE PLANE COORDINATES AND ARE BASED ON GPS OBSERVATIONS PERFORMED BY BL COMPANIES DURING SEPTEMBER 2019.
- ELEVATIONS REFER TO NAVD 88 AND ARE BASED ON GPS OBSERVATIONS PERFORMED BY BL COMPANIES DURING SEPTEMBER 2019.
- PARCEL IS LOCATED WITHIN FLOOD ZONES "A" & "X" AS DEPICTED ON F.I.R.M. COMMUNITY PANEL NO. 25023C0091J REVISED: JULY 17, 2012.
- THE UNDERGROUND UTILITIES DEPICTED HAVE BEEN PLOTTED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES DEPICTED ARE IN THE EXACT LOCATION INDICATED THOUGH THEY ARE PLOTTED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY EXPOSED THE UNDERGROUND UTILITIES. PER MASSACHUSETTS COMMONWEALTH LAW, THE CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF EXCAVATION. CALL DIGSAFE AT 811.
- WETLAND FLAGS DEPICTED HEREON ARE BASED ON "RESOURCE AREA DELINEATION PLAN, DRAWING NUMBER 1 OF 1, DATED SEPTEMBER 26, 2016 AND REVISED OCTOBER 12, 2016 BY BEALE ASSOCIATES." ORDER OF RESOURCE DELINEATION: DEP # 034-1271 EXTENSION EXPIRES ON FEBRUARY 19, 2023.
- THERE WAS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED WHILE CONDUCTING FIELDWORK.
- THERE WAS NO EVIDENCE OF PROPOSED CHANGES IN STREET RIGHT OF WAY LINES OR RECENT STREET AND SIDEWALK CONSTRUCTION OR REPAIRS WHILE CONDUCTING FIELDWORK.
- THERE WAS NO EVIDENCE OF CEMETERIES OR BURIAL GROUNDS WHILE CONDUCTING FIELDWORK.
- THERE ARE NO PARTY WALLS WITH RESPECT TO ADJOINING PROPERTIES.
- PARCEL AREA IS 742,680 SQUARE FEET OR 17.050 ACRES.
- THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITMENT.
- THE SITE IS SUBJECT TO AN "ACTIVITY AND USE LIMITATION", DOCUMENT#543142 RECORDED 7/24/2003 AND "ACTIVITY AND USE LIMITATION", DOCUMENT#690193 RECORDED 4/9/2012.
- THE SITE IS TOGETHER WITH THE RIGHT OF WAY OVER COMMERCE ROAD AND INDUSTRIAL PARK ROAD PER DOCUMENT#11510 RECORDED 3/1/1967

PLAN REFERENCES

- "PLAN OF LAND IN HINGHAM, LEWIS W. PERKINS & SONS, SURVEYORS" DATE: JUNE 29, 1953. LAND COURT PLAN#24468A ON THE PLYMOUTH COUNTY LAND RECORDS.
- "SUBDIVISION PLAN OF LAND IN HINGHAM, LEWIS W. PERKINS & SON, SURVEYORS" DATE: NOVEMBER 8, 1964. LAND COURT PLAN#24468C ON THE PLYMOUTH COUNTY LAND RECORDS.
- "PLAN OF LAND IN HINGHAM, LEWIS W. PERKINS & SON, SURVEYORS" DATE: NOVEMBER 8, 1964, MAY 21, 1965 & JANUARY 14, 1966. LAND COURT PLAN#28722A.
- "PLAN OF LAND IN HINGHAM, LEWIS W. PERKINS & SONS, SURVEYORS" DATE: APRIL 2, 1965. LAND COURT PLAN#33719A ON THE PLYMOUTH COUNTY LAND RECORDS.
- "SUBDIVISION PLAN OF LAND IN HINGHAM, PERKINS ENGINEERING, INC., SURVEYORS" DATE: MARCH 13, 1975. SCALE: 60 FEET TO AN INCH. LAND COURT PLAN#24468G ON THE PLYMOUTH COUNTY LAND RECORDS.
- "SUBDIVISION, PLAN OF LAND ON COMMERCE ROAD IN HINGHAM, MASS. (PLYMOUTH COUNTY)" BY BOSTON SURVEY CONSULTANTS. SCALE: 1 INCH = 80 FEET. DATE: JULY 19, 1977. RECORDED IN BOOK 19, PAGE 623.
- "RESOURCE AREA DELINEATION PLAN, DRAWING NUMBER 1 OF 1, SCALE: 1"=30'. DATE: SEPTEMBER 26, 2016 REV TO OCTOBER 12, 2016." MAP PREPARED BY BEALE ASSOCIATES.

LEGEND

	Property Line		Handhole
	Easement Line		Electric Meter
	Land Court Plan Bearing		Utility Pole
	Edge of Water		Utility Pole w/ Light
	Limit of Wetlands		Guy Wire
	Treeline		Light Pole
	Brushline		Ballard Light
	Major Contour		Flood Light
	Minor Contour		Gas Valve
	Stone Wall		Gas Meter
	Retaining Wall		Cleanout
	Guide Rail		Catch Basin
	Fence		Manhole
	Overhead Wires		Fire Hydrant
	Gas Line		Water Valve
	Sanitary Sewer		Water Meter
	Storm Sewer		Water Well
	Water Line		Sign
	Shrub		Ballard
	Deciduous Tree		Handicap Symbol
	Coniferous Tree		Mail Box
			Monitoring Well
			Boring

SURVEY CERTIFICATION

TO:
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2-5,7(a),7(b),7(c),8,9,10(a),11,13,14,16-18, AND 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON SEPTEMBER 3, 2019.

DATED: _____ SIGNED: _____
JENNIFER MARKS L.S. #38712



355 Research Parkway
Meriden, CT 06450
(203) 630-1406
(203) 630-2615 Fax

LAND OF JEB GROUP, LLC
100 INDUSTRIAL PARK ROAD
HINGHAM, PLYMOUTH COUNTY, MASSACHUSETTS

REVISIONS
No. 1
Date: 03/09/2020
Desc: Revised Wetland Locations per Order of Resource Delineation: DEP # 034-1271

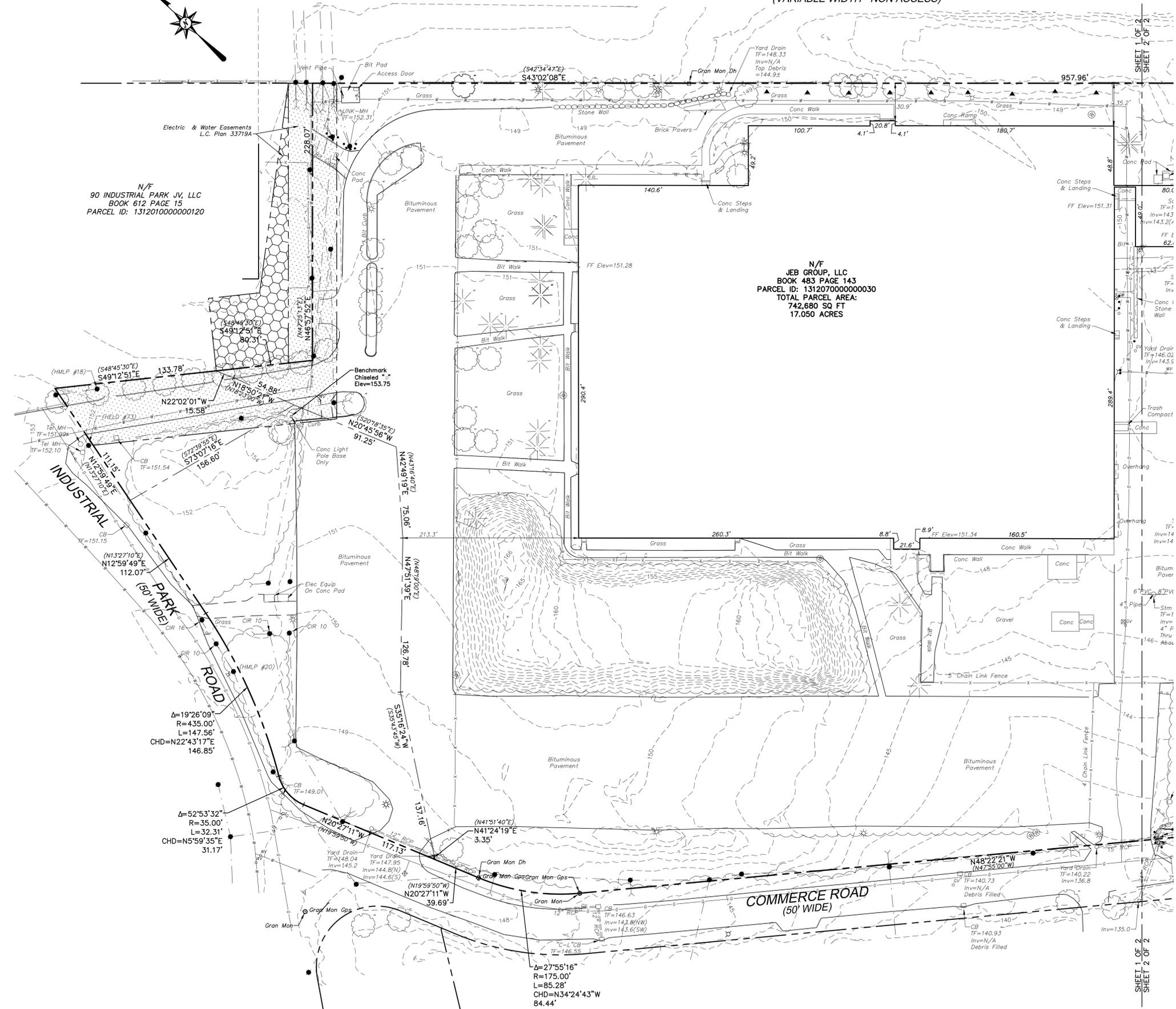
Surveyed: TND/O
Drawn: JS
Reviewed: PJC
Scale: 1"=40'
Project No.: 1901517
Date: 09/27/2019
Field Book: 506
CAD File: AL190151701

Title:
ALTA/NSPS LAND TITLE SURVEY

Sheet No. 1 of 2

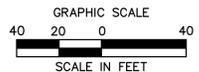
AL-1

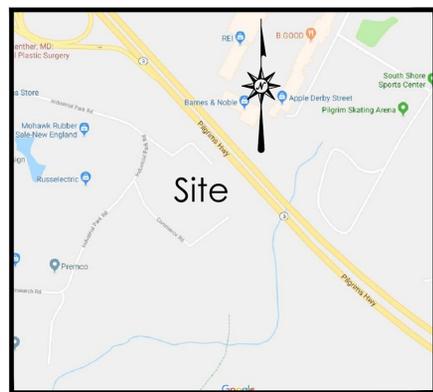
Xref (B): XY190151701



N/F
90 INDUSTRIAL PARK JV, LLC
BOOK 612 PAGE 15
PARCEL ID: 131201000000120

N/F
JEB GROUP, LLC
BOOK 483 PAGE 143
PARCEL ID: 131207000000030
TOTAL PARCEL AREA:
742,680 SQ FT
17.050 ACRES





LOCATION MAP
NOT TO SCALE

RECORD LEGAL DESCRIPTION

THAT CERTAIN PARCEL OF LAND SITUATE IN HINGHAM, IN THE COUNTY OF PLYMOUTH AND COMMONWEALTH OF MASSACHUSETTS, DESCRIBED AS FOLLOWS: BEING LOT 4 AS DETERMINED BY THE COURT TO BE LOCATED AS SHOWN ON PLAN #28722A, DRAWN BY LEWIS W. PERKINS & SON, SURVEYORS, DATED NOVEMBER 8, 1964, MAY 21, 1965 AND JANUARY 14, 1966, AS MODIFIED AND APPROVED BY THE COURT, FILED IN THE LAND REGISTRATION OFFICE. A COPY OF A PORTION OF WHICH IS FILED WITH CERTIFICATE OF TITLE NO. 41721; ALSO ANOTHER CERTAIN PARCEL OF LAND AS DETERMINED BY THE COURT TO BE LOCATED AS SHOWN ON PLAN #33719A, DRAWN BY LEWIS W. PERKINS & SON, SURVEYORS, DATED APRIL 2, 1965, AS MODIFIED AND APPROVED BY THE COURT, FILED IN THE LAND REGISTRATION OFFICE. A COPY OF A PORTION OF WHICH IS FILED WITH CERTIFICATE OF TITLE NO. 39764; AND LOT 60 ON SUBDIVISION PLAN #24468C, DRAWN BY LEWIS W. PERKINS & SON, SURVEYORS, DATED NOVEMBER 8, 1964 AND FILED WITH CERTIFICATE OF TITLE NO. 20654.

THERE IS EXCEPTED AND EXCLUDED FROM THE LAND IN CASE #33719, THE FEE IN THE SOUTHEAST EXPRESSWAY (NO ACCESS) AND COMMERCE ROAD ABUTTING SAID LAND.

WHICH PREMISES ARE MORE PARTICULARLY DESCRIBED IN EXHIBIT A-1 ATTACHED HERETO AND MADE A PART HEREOF.

PARCELS OF LAND SITUATED IN THE TOWN OF HINGHAM, COUNTY OF PLYMOUTH, COMMONWEALTH OF MASSACHUSETTS, TOGETHER WITH THE BUILDINGS AND IMPROVEMENTS LOCATED THEREON, BOUNDED AND DESCRIBED AS FOLLOWS:

NORTHWESTERLY: BY INDUSTRIAL PARK ROAD, ONE HUNDRED ELEVEN AND 15/100 (111.15) FEET;

NORTHEASTERLY: BY LOT 7, AS SHOWN ON THE PLAN HEREINAFTER MENTIONED, ONE HUNDRED THIRTY-THREE AND 78/100 (133.78) FEET;

NORTHEASTERLY: BY LAND NOW OR FORMERLY OF REED ROLLED THREAD DIE COMPANY, SEVENTY AND 46/100 (70.46) FEET; AND

SOUTHERLY: BY LAND NOW OR FORMERLY OF ARTHUR OMAN AND SONS, INC. ONE HUNDRED FIFTY-SIX AND 60/100 (156.60) FEET.

ALL OF SAID BOUNDARIES ARE DETERMINED BY THE PLYMOUTH COUNTY REGISTRY DISTRICT OF THE LAND COURT TO BE LOCATED AS SHOWN ON PLAN # 28722A, DRAWN BY LEWIS W. PERKINS & SON, SURVEYORS, DATED NOVEMBER 8, 1964, MAY 21, 1965 AND JANUARY 14, 1966, AS MODIFIED AND APPROVED BY SAID COURT FILED IN THE LAND REGISTRATION OFFICE, A COPY OF A PORTION OF WHICH IS FILED WITH CERTIFICATE OF TITLE NO. 41721 AND THE ABOVE DESCRIBED LAND IS SHOWN AS LOT 4 ON SAID PLAN.

THERE IS APPURTENANT TO SAID LOT THE RIGHT TO USE SAID INDUSTRIAL PARK ROAD, AS SHOWN ON SAID PLAN FOR ALL PURPOSES FOR WHICH STREETS OR WAYS ARE COMMONLY USED IN THE TOWN OF HINGHAM.

ALSO THAT CERTAIN PARCEL OF LAND SITUATED IN SAID TOWN OF HINGHAM BOUNDED AND DESCRIBED AS FOLLOWS:

NORTHEASTERLY: BY THE SOUTHWESTERLY LINE OF SOUTHEAST EXPRESSWAY (NO ACCESS), ELEVEN HUNDRED SEVENTEEN AND 28/100 (1117.28) FT.

SOUTHEASTERLY: FIVE HUNDRED EIGHTY-THREE AND 41/100 (583.41) FEET;

SOUTHWESTERLY: TWO HUNDRED FIFTY-NINE AND 92/100 (259.92) FEET BY LAND NOW OR FORMERLY OF WALLACE R. MARDEN, TRUSTEES;

SOUTHWESTERLY: BY THE NORTHEASTERLY LINE OF COMMERCE ROAD, SEVEN HUNDRED SEVENTY-SIX AND 82/100 (76.82) FEET;

NORTHWESTERLY: BY LAND NOW OR FORMERLY OF ARTHUR OMAN & SONS, INC. THREE HUNDRED FORTY-TWO AND 35/100 (342.35) FEET;

SOUTHWESTERLY: BY LAND NOW OR FORMERLY OF SAID OMAN & SONS, INC AND OF OMAN REALTY, INC, ONE HUNDRED SIXTY-ONE AND 71/100 (161.71) FEET;

NORTHEASTERLY: EIGHTY AND 31/100 (80.31) FEET; AND

NORTHWESTERLY: TWO HUNDRED TWENTY-EIGHT AND 08/100 (228.08) FEET BY LAND NOW OR FORMERLY OF WALLACE R. MARDEN, TRUSTEE.

ALL OF SAID BOUNDARIES ARE DETERMINE BY THE PLYMOUTH COUNTY REGISTRY DISTRICT OF THE LAND COURT TO BE LOCATED AS SHOWN ON PLAN #33719A, DRAWN BY LEWIS W. PERKINS & SON, SURVEYORS, DATED APRIL 2, 1965, AS MODIFIED AND APPROVED BY SAID COURT FILED IN THE PLYMOUTH COUNTY LAND REGISTRATION OFFICE, A COPY OF A PORTION OF WHICH IS FILED WITH CERTIFICATE OF TITLE NO. 39764.

ALSO ANOTHER CERTAIN PARCEL OF LAND SITUATED IN SAID TOWN OF HINGHAM BOUNDED AND DESCRIBED AS FOLLOWS:

SOUTHWESTERLY: BY COMMERCE ROAD, ONE HUNDRED SEVENTEEN AND 11/100 (117.11) FEET;

WESTERLY: BY THE JUNCTION OF SAID COMMERCE ROAD AND INDUSTRIAL PARK ROAD MEASURING ON THE CURING LINE THEREOF THIRTY-TWO AND 31/100 (32.31) FEET;

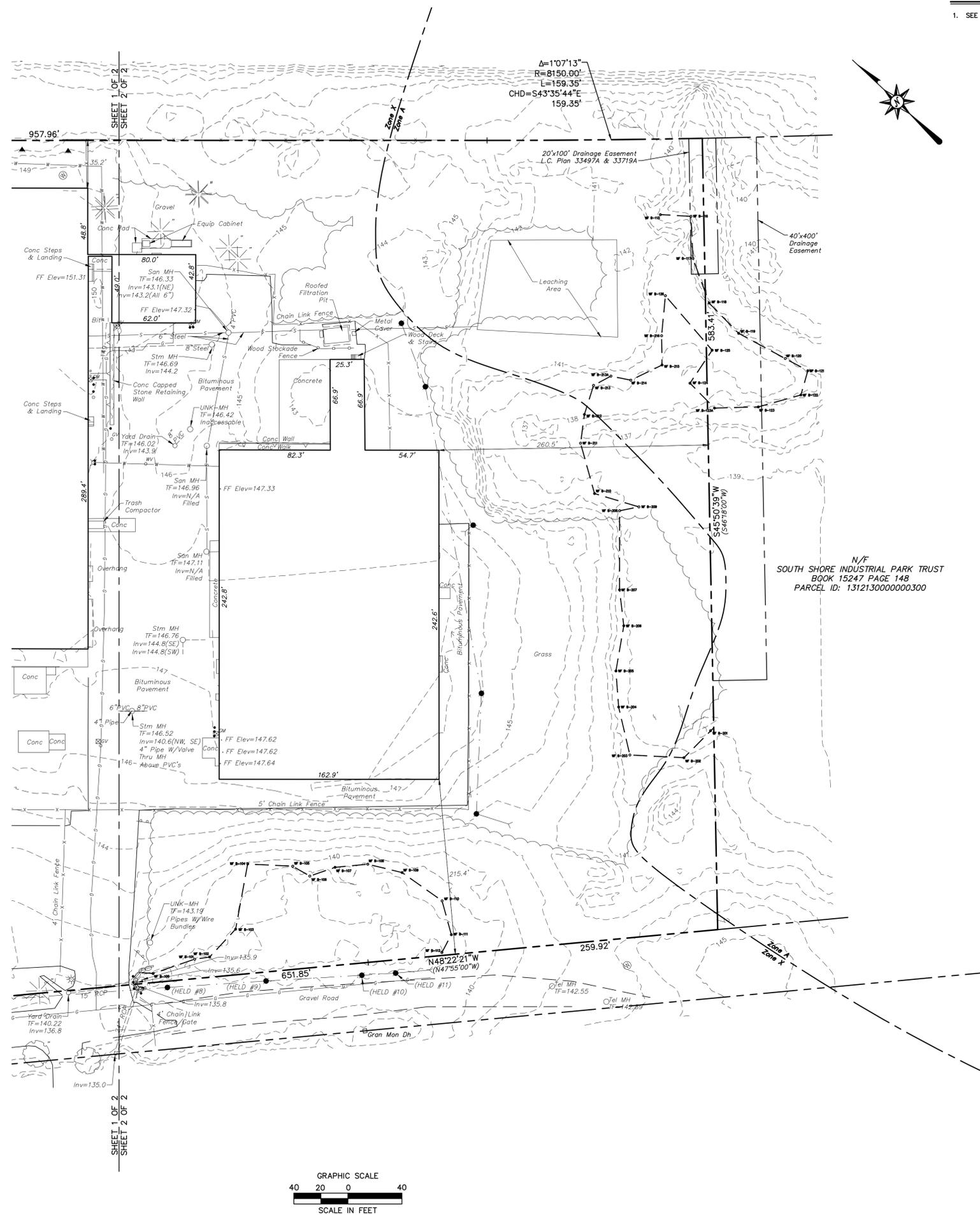
NORTHWESTERLY: BY SAID INDUSTRIAL PARK ROAD, TWO HUNDRED FIFTY-NINE AND 63/100 (259.63) FEET;

NORTHEASTERLY: BY LAND NOW OR FORMERLY OF OMAN REALTY INC, ONE HUNDRED FIFTY-SIX AND 60/100 (156.60) FEET; AND AGAIN

NORTHEASTERLY: BY LAND NOW OR FORMERLY OF GORDON P. MARSHALL, NINETY-ONE AND 25/100 (91.25) FEET; AND

SOUTHEASTERLY: BY LAND NOW OR FORMERLY OF GILBERT M. WEST, CO, INC., THREE HUNDRED FORTY-TWO AND 35/100 (342.35) FEET.

SAID PARCEL IS SHOW AS LOT 60 ON SUBDIVISION PLAN #24468C DRAWN BY LEWIS W. PERKINS & SON, SURVEYORS, DATED NOVEMBER 8, 1964 AND FILED WITH CERTIFICATE OF TITLE NO. 20654.



REVISIONS	Date	By
No.	Date	By

Surveyed TND/DO
Drawn JS
Reviewed PJC
Scale 1"=40'
Project No. 1901517
Date 09/27/2019
Field Book 506
CAD File: AL190151701

Title

ALTA/NSPS
LAND TITLE
SURVEY

Sheet No. 2 of 2

AL-1

ZONING INFORMATION

LOCATION: HINGHAM				
ZONE: IP (INDUSTRIAL PARK) & S. HINGHAM DEVELOPMENT ZONING OVERLAY				
USE: WAREHOUSE (PERMITTED USE)				
ITEM #	ITEM	REQUIREMENTS	PROPOSED	WAIVER
1	MINIMUM LOT AREA	2 ACRES	±742,680 S.F. (±17.05 AC.)	NO
2	MINIMUM LOT WIDTH	NONE REQUIRED	±1,121 FEET	NO
3	MINIMUM LOT FRONTAGE	250 FEET	±1,557 FEET	NO
4	MINIMUM FRONT SETBACK	35 FEET	±251 FEET	NO
5	MINIMUM SIDE SETBACK	35 FEET	+35 FEET	NO
6	MINIMUM REAR SETBACK	50 FEET	±462 FEET	NO
7	MAXIMUM BUILDING HEIGHT	48 FEET / 4 STORIES (1)	±22 FEET	NO
8	MAXIMUM BUILDING COVERAGE	40 PERCENT / FAR OF 0.35	20.1 PERCENT	NO

(1) BASED UPON SOUTH HINGHAM DEVELOPMENT OVERLAY.

PARKING INFORMATION

ITEM #	ITEM	REQUIREMENTS	PROPOSED	WAIVER
1	BUILDING SIZE	NONE REQUIRED	149,000 S.F.	NO
2	PARKING REQUIRED	WAREHOUSE: 1 SPACE PER EVERY 1,000 S.F. OF GFA (149,000 S.F.) TOTAL REQUIRED = 149	461 SPACES	YES
3	MINIMUM HANDICAPPED PARKING SPACES REQUIRED	6 SPACES	6 SPACES	NO
4	PARKING DIMENSIONS	9 FEET X 18 FEET (WITH OVERHANG) 9 FEET X 20 FEET (WITHOUT OVERHANG)	9 x 20 FEET (AUTO SPACES) 11 FEET X 27 FEET (VAN SPACES)	YES
5	aisle width	24 FEET - 2-WAY	24 FEET - 2-WAY (AUTO PARKING LOT) 30 FEET - 2-WAY (VAN PARKING LOT)	YES
6	MINIMUM FRONT SETBACK	15 FEET	±19 FEET	NO
7	MINIMUM SIDE SETBACK	NONE REQUIRED	±21 FEET	NO
8	MINIMUM REAR SETBACK	NONE REQUIRED	±200 FEET	NO
9	LOT AREA COVERAGE	A MINIMUM OF 15% OF THE AREA OF EACH LOT SHALL NOT BE BUILT UPON, PAVED OR PARKED UPON, AND SHALL BE MAINTAINED EITHER IN ITS NATURAL STATE OR LANDSCAPED	246,573 SF UNPAVED AREA (LANDSCAPED AND NATURAL)/742,680 SF LOT AREA = 33.2%	NO

SPECIAL REQUIREMENTS:
• ALONG ENTIRE STREET FRONTAGE, A 15 FT GREEN OR LANDSCAPED STRIP SHALL BE MAINTAINED.

LEGEND

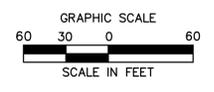
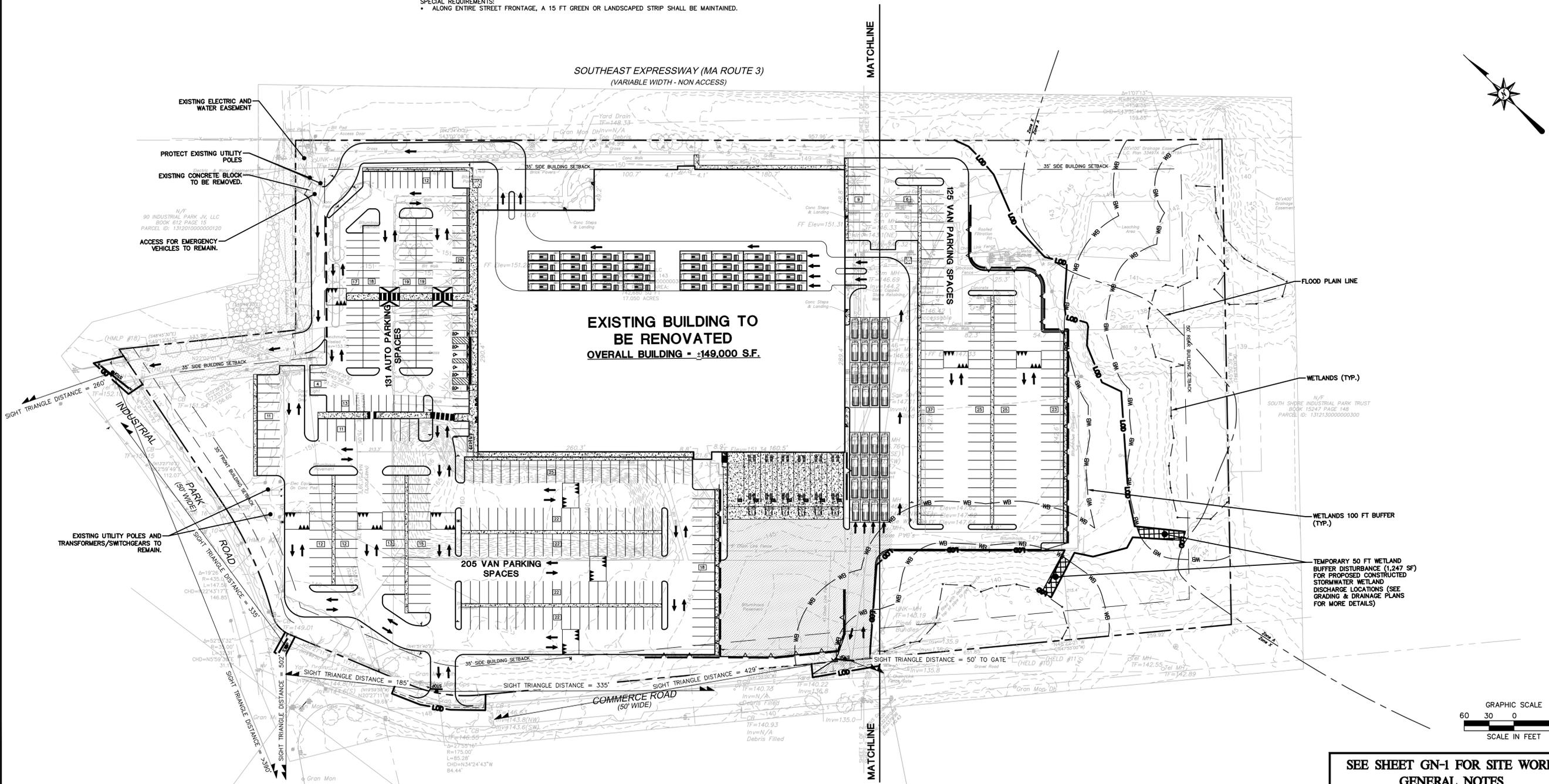
- ← TRAFFIC FLOW DIRECTION
- - - - - EXISTING PARCEL BOUNDARY
- - - - - PARKING SETBACK PER HINGHAM ZONING BYLAWS
- - - - - BUILDING SETBACK PER HINGHAM ZONING BYLAWS
- - - - - WETLAND BOUNDARY
- - - - - WETLAND 100 FT BUFFER
- - - - - FLOODPLAIN ZONE A BOUNDARY
- - - - - LIMIT OF DISTURBANCE
- - - - - PROPOSED GUIDE RAIL
- - - - - PROPOSED CONCRETE CURB
- - - - - HEAVY DUTY BITUMINOUS CONCRETE PAVEMENT STRUCTURE
- - - - - STANDARD DUTY BITUMINOUS CONCRETE PAVEMENT STRUCTURE
- - - - - CONCRETE PAVEMENT

GENERAL NOTES

- SITE IS HAS AN ACTIVITY AND USE LIMITATION (AUL) OVER THE FULL PROPERTY. A SOIL MANAGEMENT PLAN WILL BE REQUIRED FOR EXCAVATION.

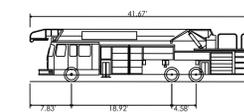
WETLAND BUFFER ENCROACHMENTS

CONDITION	0-50' WETLAND BUFFER	50'-100' WETLAND BUFFER
EXISTING	±4,465 S.F.	±22,812 S.F.
PROPOSED	±4,585 S.F. (120 S.F. INCREASE FOR TWO NEW DISCHARGE LOCATIONS WITH SCOUR HOLES)	±27,483 S.F. (4,671 S.F. INCREASE FOR THE CONSTRUCTED STORMWATER WETLAND TREATMENT POND)
TEMPORARY		±1,247 S.F. (FOR INSTALLATION OF DISCHARGE PIPES, SURFACE TO BE RESORTED ONCE TRENCH HAS BEEN BACKFILLED)



SEE SHEET GN-1 FOR SITE WORK
GENERAL NOTES

FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION



Hingham Fire Truck
 Overall Length 41.67ft
 Overall Width 8.00ft
 Overall Height 9.85ft
 Min Body Ground Clearance 0.81ft
 Track Width 7.70ft
 Lock-to-lock time 6.00s
 Curb to Curb Turning Radius 24.50ft



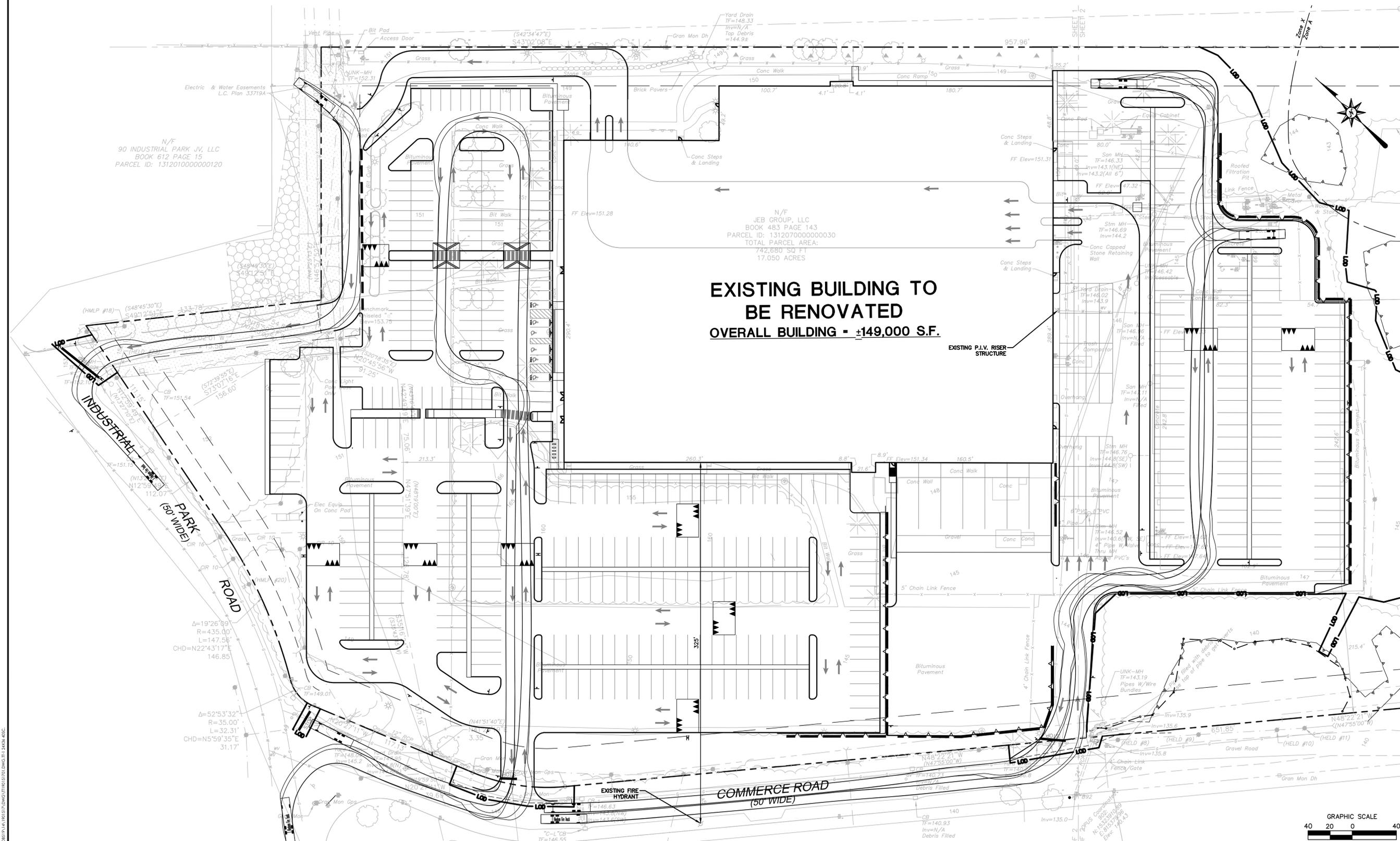
PROPOSED DEVELOPMENT
 100 INDUSTRIAL PARK ROAD
 HINGHAM, MASSACHUSETTS

REVISIONS	No.	Date	Desc.

Designed P.G.M.
 Drawn P.G.M.
 Reviewed K.W.H.
 Scale 1"=40'
 Project No. 1901517
 Date 06/01/2020
 CAD File: TT190151701

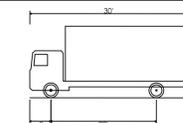
Title
TRUCK TURNING PLAN
 Sheet No.

TT-1



FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION

Jun 04, 2020 2:52pm p:\merrill\c\308517\1\1901517\DWG\1190151701.dwg
 Author: P.G.M. (P.G.M.)
 Jun 04, 2020 2:52pm p:\merrill\c\308517\1\1901517\DWG\1190151701.dwg
 Author: P.G.M. (P.G.M.)



SU-30 - Single Unit Truck
 Overall Length 30.0ft
 Overall Width 8.00ft
 Overall Body Height 13.5ft
 Min Body Ground Clearance 1.37ft
 Track Width 8.00ft
 Lock-to-lock time 5.00s
 Max Steering Angle (Virtual) 31.80°



355 Research Parkway
 Meriden, CT 06450
 (203) 630-1406
 (203) 630-2615 Fax



PROPOSED DEVELOPMENT
 100 INDUSTRIAL PARK ROAD
 HINGHAM, MASSACHUSETTS

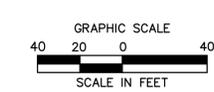
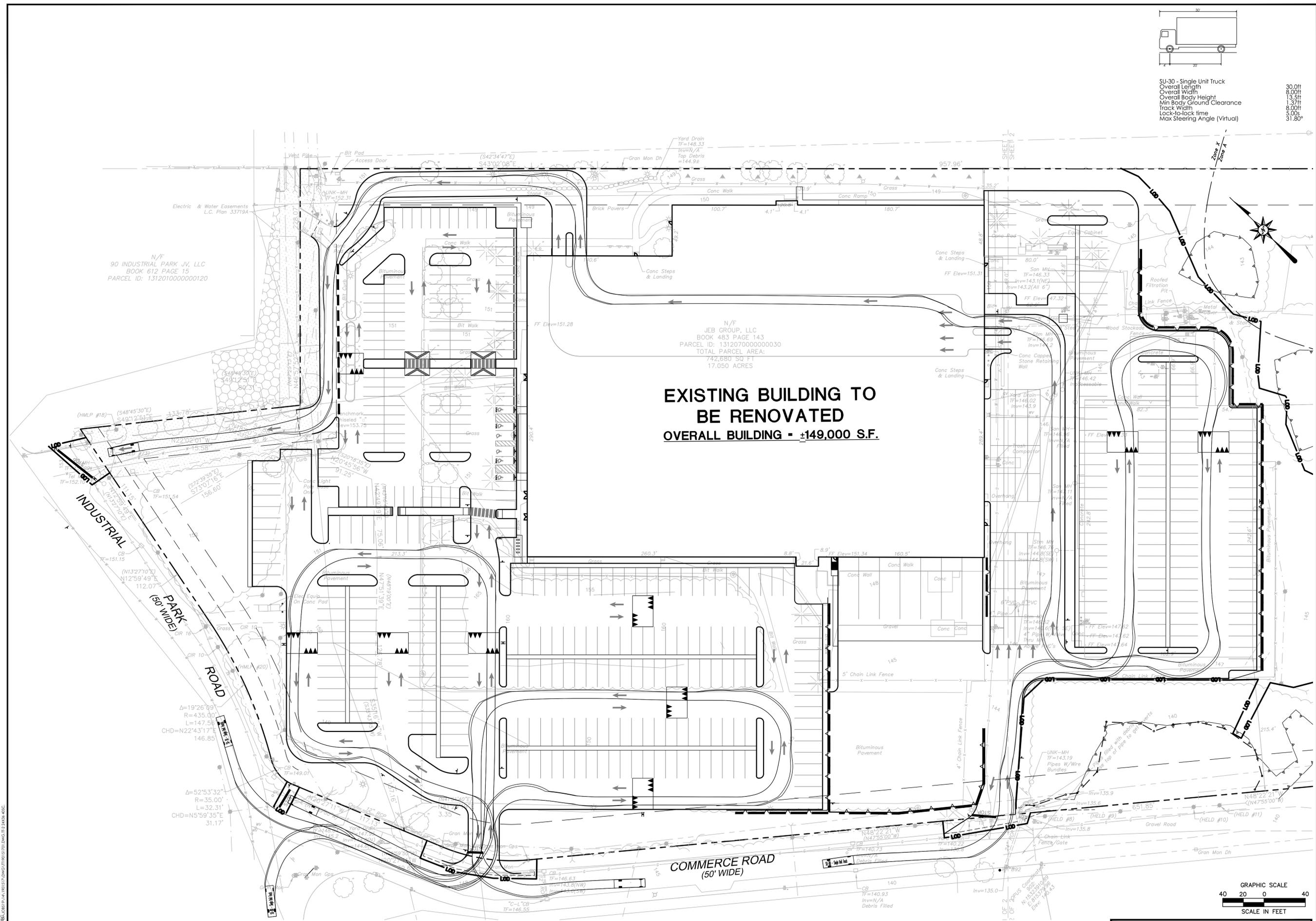
REVISIONS	
No.	Date

Designed P.G.M.
 Drawn P.G.M.
 Reviewed K.W.H.
 Scale 1"=40'
 Project No. 1901517
 Date 06/01/2020
 CAD File: TT190151701
 Title

TRUCK TURNING PLAN

Sheet No.

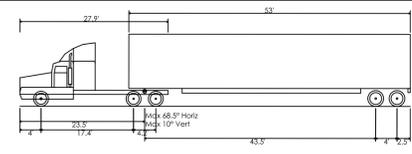
TT-2



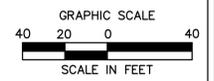
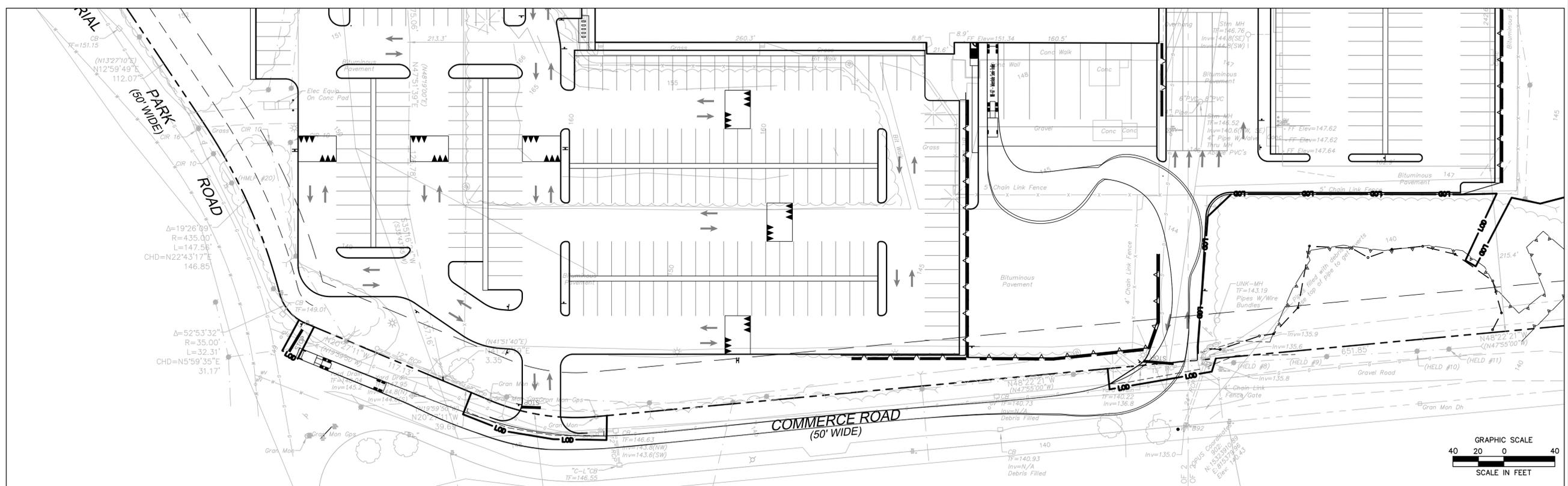
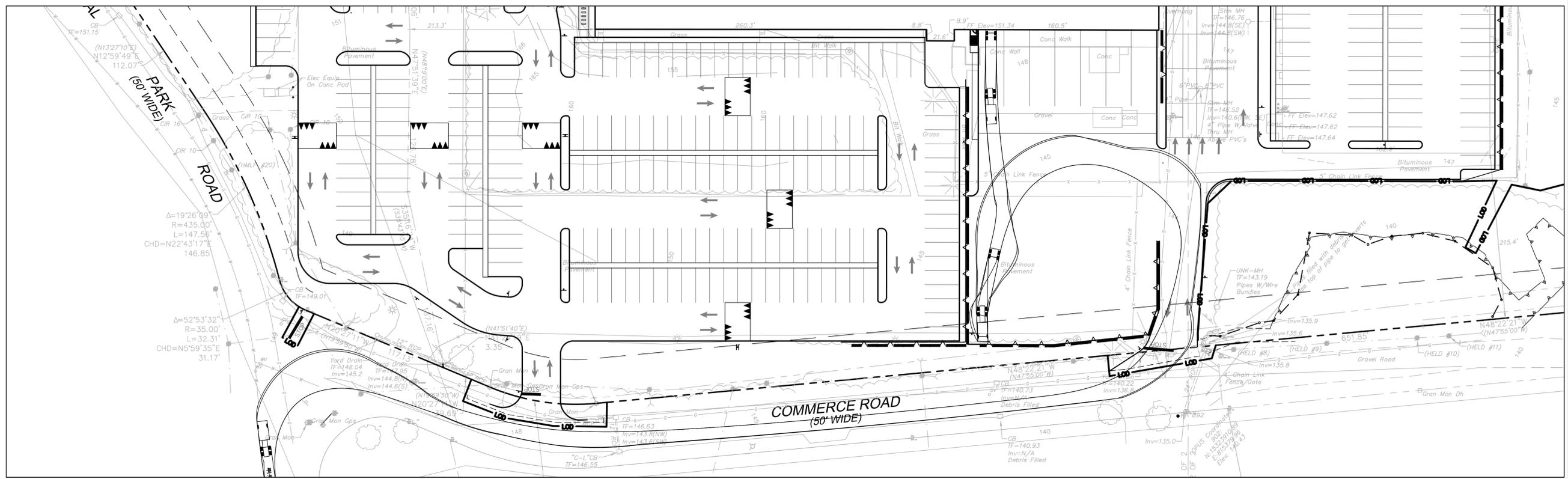
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Jun 04, 2020 2:52pm p:\projects\1901517\DWG\1901517.dwg
 p:\projects\1901517\DWG\1901517.dwg
 2020 BL COMPANIES, INC. THESE DRAWINGS SHALL NOT BE UTILIZED BY ANY PERSON, FIRM OR CORPORATION WITHOUT THE SPECIFIC WRITTEN PERMISSION OF BL COMPANIES.

PROPOSED DEVELOPMENT
100 INDUSTRIAL PARK ROAD
HINGHAM, MASSACHUSETTS



WB-67 - Interstate Semi-Trailer
Overall Length 73.5ft
Overall Body Height 8.50ft
Overall Body Height 13.5ft
Min Body Ground Clearance 1.33ft
Max Track Width 8.50ft
Lock-to-lock time 5.00s
Max Steering Angle (Virtual) 28.40°



FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION

REVISIONS	No.	Date	Desc.
Designed			P.G.M.
Drawn			P.G.M.
Reviewed			K.W.H.
Scale			1"=40'
Project No.			1901517
Date			06/01/2020
CAD File:			TT190151701
Title			TRUCK TURNING PLAN
Sheet No.			TT-3

TT-3

Jun 04, 2020 2:52pm p:\projects\1901517\DWG\TT1901517.dwg
User: pgrammer
Plot: TT1901517.ctb
Plot Device: HP DesignJet 5000ps
Plot Date: 06/01/2020 2:52:52 PM

SOUTHEAST EXPRESSWAY (MA ROUTE 3)
(VARIABLE WIDTH - NON ACCESS)

GRADING AND DRAINAGE LEGEND

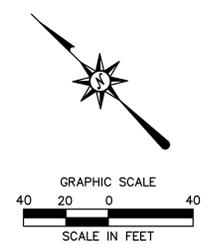
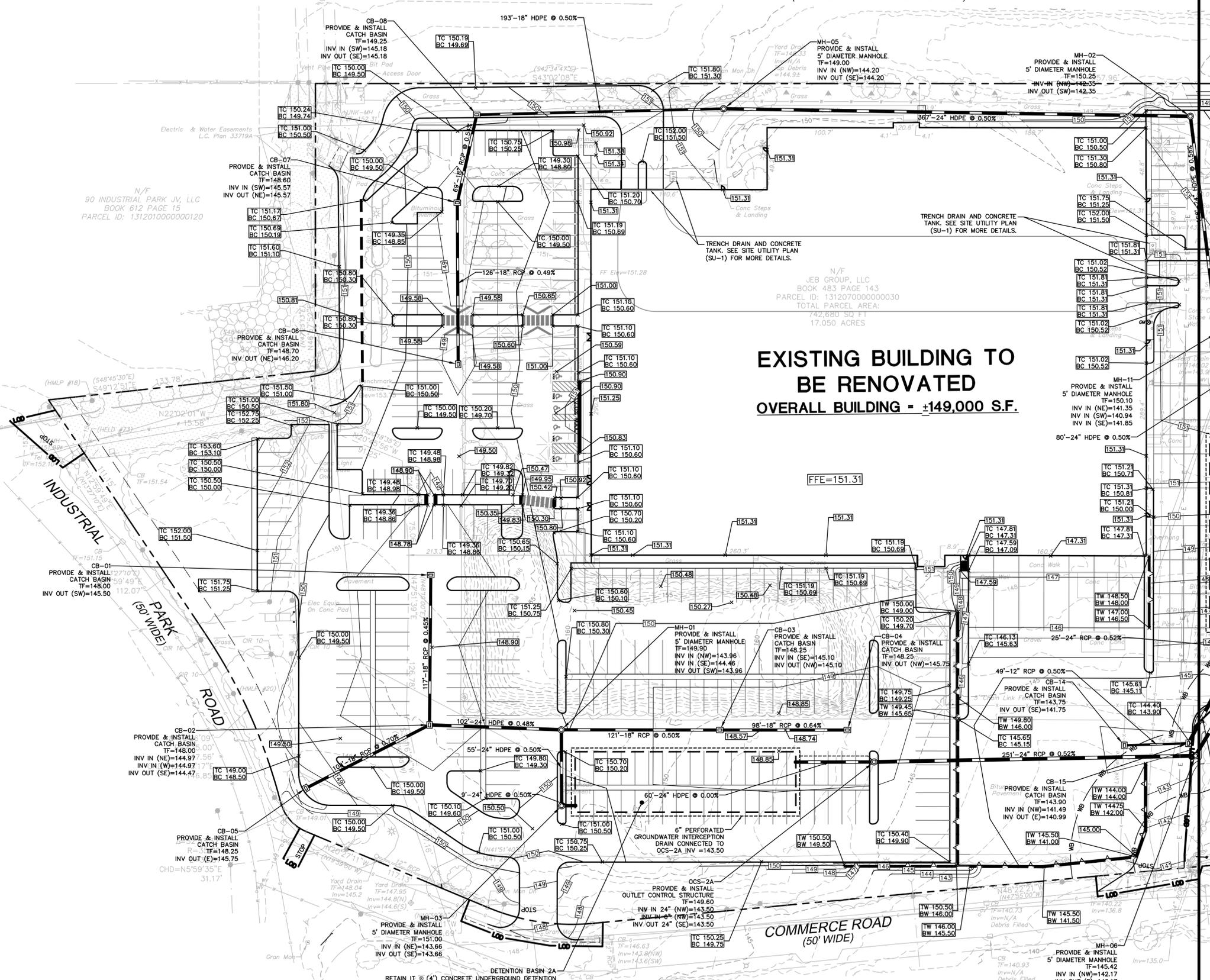
PROPERTY LINE	---
LIMIT OF DISTURBANCE LINE AND CONTRACT LIMIT LINE	---
STORM LINE	---
CATCH BASIN	■
STORM MANHOLE	●
FLARED END	▽
END WALL OR HEADWALL	⌋
OUTLET CONTROL STRUCTURE	⊙
HYDRODYNAMIC SEPARATOR	⊙
PROPOSED CONTOUR LINE	---(228)---
PROPOSED SPOT GRADE	x 100.00
ABBREVIATIONS	
- TC=TOP OF CURB	TC=100.00
- BC=BOTTOM OF CURB	BC=99.50
- TW=TOP OF WALL	TW=108.00
- BW=BOTTOM OF WALL	BW=100.00
PROPOSED SURFACE SLOPE	2%
ELECTRIC LINE	E
ELECTRIC AND TELECOMMUNICATIONS LINES	E/T
GAS LINE	G
WATER LINE	W
SANITARY SEWER LINE	S
SANITARY SEWER FORCE MAIN	SFM
OVERHEAD LINE	OH
TRANSFORMER	⊕
HYDRANT	⊕
UTILITY POLE	⊕
SANITARY/STORM MANHOLE	⊙
SANITARY/STORM CLEANOUT	⊙
WATER VALVE	⊕
GATE VALVE	⊕
THRUST BLOCK	⊕
PRECAST CONCRETE TANK	⊕
WETLAND 50 FT AND 100 FT BUFFERS	WB

N/F
90 INDUSTRIAL PARK JV, LLC
BOOK 612 PAGE 15
PARCEL ID: 131201000000120

EXISTING BUILDING TO BE RENOVATED
OVERALL BUILDING - ±149,000 S.F.

N/F
JEB GROUP, LLC
BOOK 483 PAGE 143
PARCEL ID: 131207000000030
TOTAL PARCEL AREA:
742,680 SQ. FT.
17.050 ACRES

MATCHLINE SEE SHEET GD-2



SEE SHEET GN-1 FOR SITE WORK
GENERAL NOTES

FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION



PROPOSED DEVELOPMENT
100 INDUSTRIAL PARK ROAD
HINGHAM, MASSACHUSETTS

Desc. / Date / No. / 1. / 2.

Designed A.T.K.
Drawn A.T.K.
Reviewed
Scale 1"=40'
Project No. 19015170
Date 03/06/2020
CAD File: GD190151701

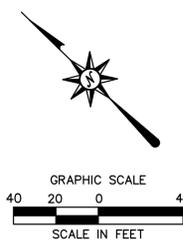
GRADING AND DRAINAGE PLAN

GRADING AND DRAINAGE LEGEND

PROPERTY LINE	---
LIMIT OF DISTURBANCE LINE AND CONTRACT LIMIT LINE	--- LOD ---
STORM LINE	---
CATCH BASIN	■
STORM MANHOLE	●
FLARED END	◡
END WALL OR HEADWALL	◡
OUTLET CONTROL STRUCTURE	⊙
HYDRODYNAMIC SEPARATOR	⊙
PROPOSED CONTOUR LINE	--- 228 ---
PROPOSED SPOT GRADE	x 100.00
ABBREVIATIONS	
- TC=TOP OF CURB	TC=100.00
- BC=BOTTOM OF CURB	BC=99.50
- TW=TOP OF WALL	TW=108.00
- BW=BOTTOM OF WALL	BW=100.00
PROPOSED SURFACE SLOPE	2%
ELECTRIC LINE	E E
ELECTRIC AND TELECOMMUNICATIONS LINES	E/T
GAS LINE	G G
WATER LINE	W W
SANITARY SEWER LINE	S
SANITARY SEWER FORCE MAIN	SFM
OVERHEAD LINE	OH OH
TRANSFORMER	⊞
HYDRANT	⊙
UTILITY POLE	⊙
SANITARY/STORM MANHOLE	⊙
SANITARY/STORM CLEANOUT	⊙
WATER VALVE	⊙
GATE VALVE	⊙
THRUST BLOCK	⊙
PRECAST CONCRETE TANK	⊙
WETLAND 50 FT AND 100 FT BUFFERS	WB

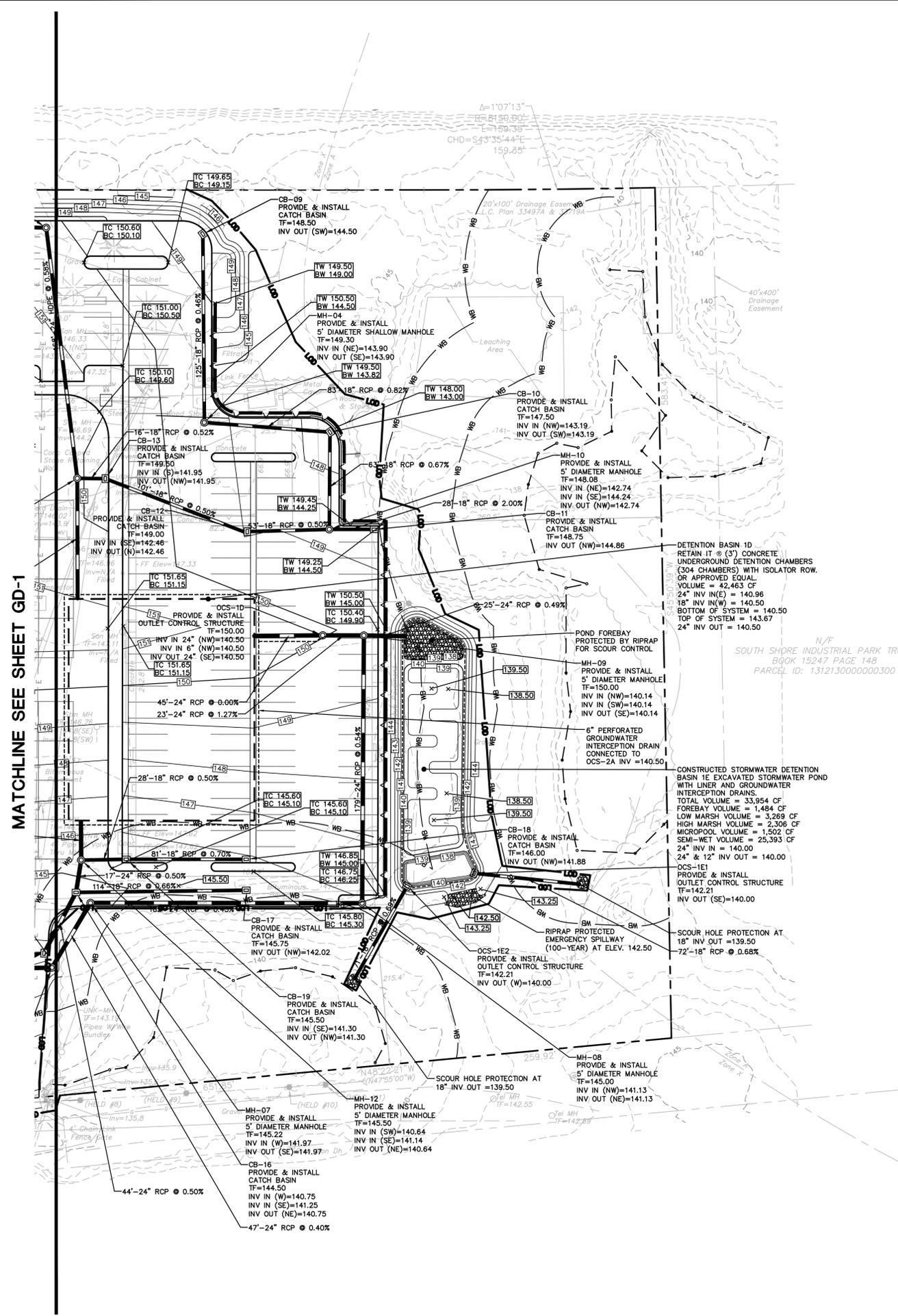
NOTES:

- IN REGARD TO THE CONSTRUCTED STORMWATER WETLAND; FROM 310 CMR: DEPARTMENT OF ENVIRONMENTAL PROTECTION, SECTION 10.02(2)(b)(3)(c) "NOTWITHSTANDING THE PROVISIONS OF 310 CMR 10.02(1) AND (2)(A) AND (B), STORMWATER MANAGEMENT SYSTEMS DESIGNED, CONSTRUCTED, INSTALLED, OPERATED, MAINTAINED, AND/OR IMPROVED AS DEFINED IN 310 CMR 10.04 IN ACCORDANCE WITH THE STORMWATER MANAGEMENT STANDARDS AS PROVIDED IN THE STORMWATER MANAGEMENT POLICY (1996) OR 310 CMR 10.05(6)(k) THROUGH (O) DO NOT BY THEMSELVES CONSTITUTE AREAS SUBJECT TO PROTECTION UNDER M.G.L. C. 131, § 40 OR BUFFER ZONE PROVIDED THAT:
 - THE SYSTEM WAS DESIGNED, CONSTRUCTED, INSTALLED, AND/OR IMPROVED AS DEFINED IN 310 CMR 10.04 ON OR AFTER NOVEMBER 18, 1996; AND
 - IF THE SYSTEM WAS CONSTRUCTED IN AN AREA SUBJECT TO PROTECTION UNDER M.G.L. C. 131, § 40 OR BUFFER ZONE, THE SYSTEM WAS DESIGNED, CONSTRUCTED, AND INSTALLED IN ACCORDANCE WITH ALL APPLICABLE PROVISIONS IN 310 CMR 10.00."
- IN REGARD TO THE CONSTRUCTED STORMWATER WETLAND; FROM 310 CMR: DEPARTMENT OF ENVIRONMENTAL PROTECTION, SECTION 10.02(3) "NOTWITHSTANDING THE PROVISIONS OF 310 CMR 10.02(1) AND (2), THE MAINTENANCE OF A STORMWATER MANAGEMENT SYSTEM CONSTRUCTED AND/OR IMPROVED AS DEFINED IN 310 CMR 10.04 FROM NOVEMBER 18, 1996 THROUGH JANUARY 1, 2008, IN ACCORDANCE WITH THE STORMWATER MANAGEMENT STANDARDS, AS PROVIDED IN THE MASSACHUSETTS STORMWATER POLICY, ISSUED BY THE DEPARTMENT ON NOVEMBER 18, 1996 OR ON OR AFTER JANUARY 2, 2008, IN ACCORDANCE WITH THE STORMWATER MANAGEMENT STANDARDS AS PROVIDED IN 310 CMR 10.05(6)(k) THROUGH (O) IS NOT SUBJECT TO REGULATION UNDER M.G.L. C. 131, § 40 PROVIDED THAT:
 - IF THE SYSTEM WAS CONSTRUCTED IN AN AREA SUBJECT TO PROTECTION UNDER M.G.L. C. 131, § 40 OR ASSOCIATED BUFFER ZONE, THE SYSTEM WAS CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE PROVISIONS OF 310 CMR 10.00;
 - THE WORK TO MAINTAIN THE STORMWATER MANAGEMENT SYSTEM IS LIMITED TO MAINTENANCE OF A STORMWATER MANAGEMENT SYSTEM AS DEFINED IN 310 CMR 10.04; AND
 - SUCH WORK UTILIZES BEST PRACTICAL MEASURES TO AVOID AND MINIMIZE IMPACTS TO WETLAND RESOURCE AREA OUTSIDE THE FOOTPRINT OF THE STORMWATER MANAGEMENT SYSTEM.



**SEE SHEET GN-1 FOR SITE WORK
GENERAL NOTES**

**FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION**



Jun 04, 2020 2:52pm: mrodriguez: C:\Users\mrodriguez\Documents\1901517\DWG\GD190151701.dwg
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 2020/06/04 14:52:52: mrodriguez: C:\Users\mrodriguez\Documents\1901517\DWG\GD190151701.dwg

PROPOSED DEVELOPMENT
100 INDUSTRIAL PARK ROAD
HINGHAM, MASSACHUSETTS

Revised per Staff and Commission Comments

REVISIONS	Desc.
No. 1	05/12/2020

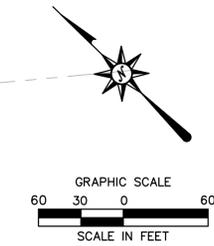
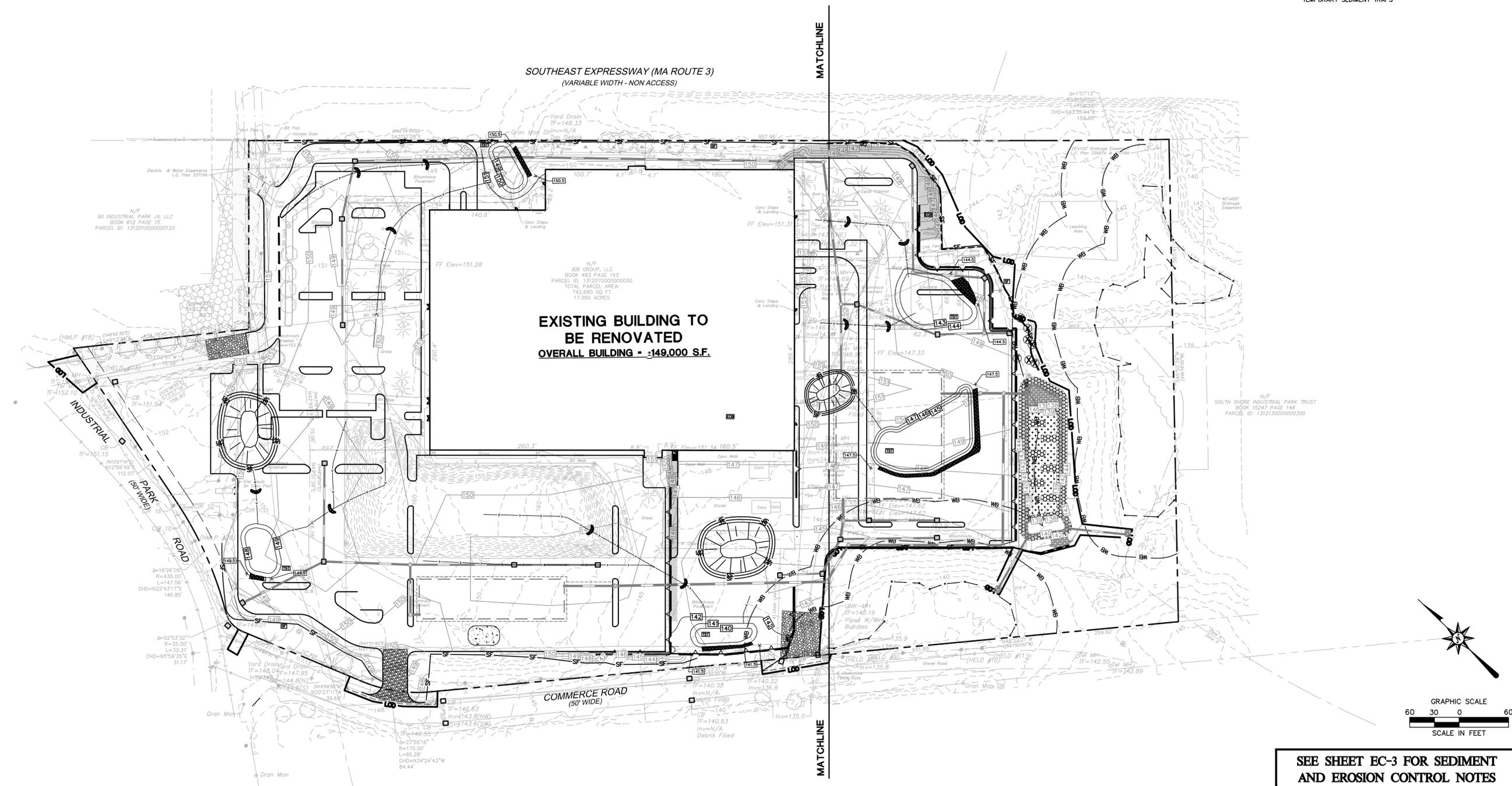
Designed	P.G.M.
Drawn	P.G.M.
Reviewed	
Scale	1"=60'
Project No.	1901517
Date	03/06/2020
CAD File:	EC190151701

Title
**OVERALL
SEDIMENT AND
EROSION
CONTROL PLAN**

Sheet No.
EC-0

EROSION CONTROL LEGEND:

CONTROL MEASURE	ILLUSTRATION
SILT SACK AT CATCH BASINS	
STONE CHECK DAM	
SILT FENCE	
SILT FENCE WITH COMPOST FILTER SOCKS (UTILIZE AT BASE OF SLOPE)	
CONSTRUCTION ENTRANCE	
LIMIT OF CLEARING	
LIMIT OF DISTURBANCE LINE AND CONTRACT LIMIT LINE	
STOCKPILE AREA WITH DOUBLE ROW OF SILT FENCE	
DIVERSION SWALE	
TEMPORARY SEDIMENT TRAP	
EROSION CONTROL BLANKET	
WETLAND 50 FT AND 100 FT BUFFER	
RIP RAP SPILLWAY WITH WASHED AGGREGATE AT TEMPORARY SEDIMENT TRAPS	



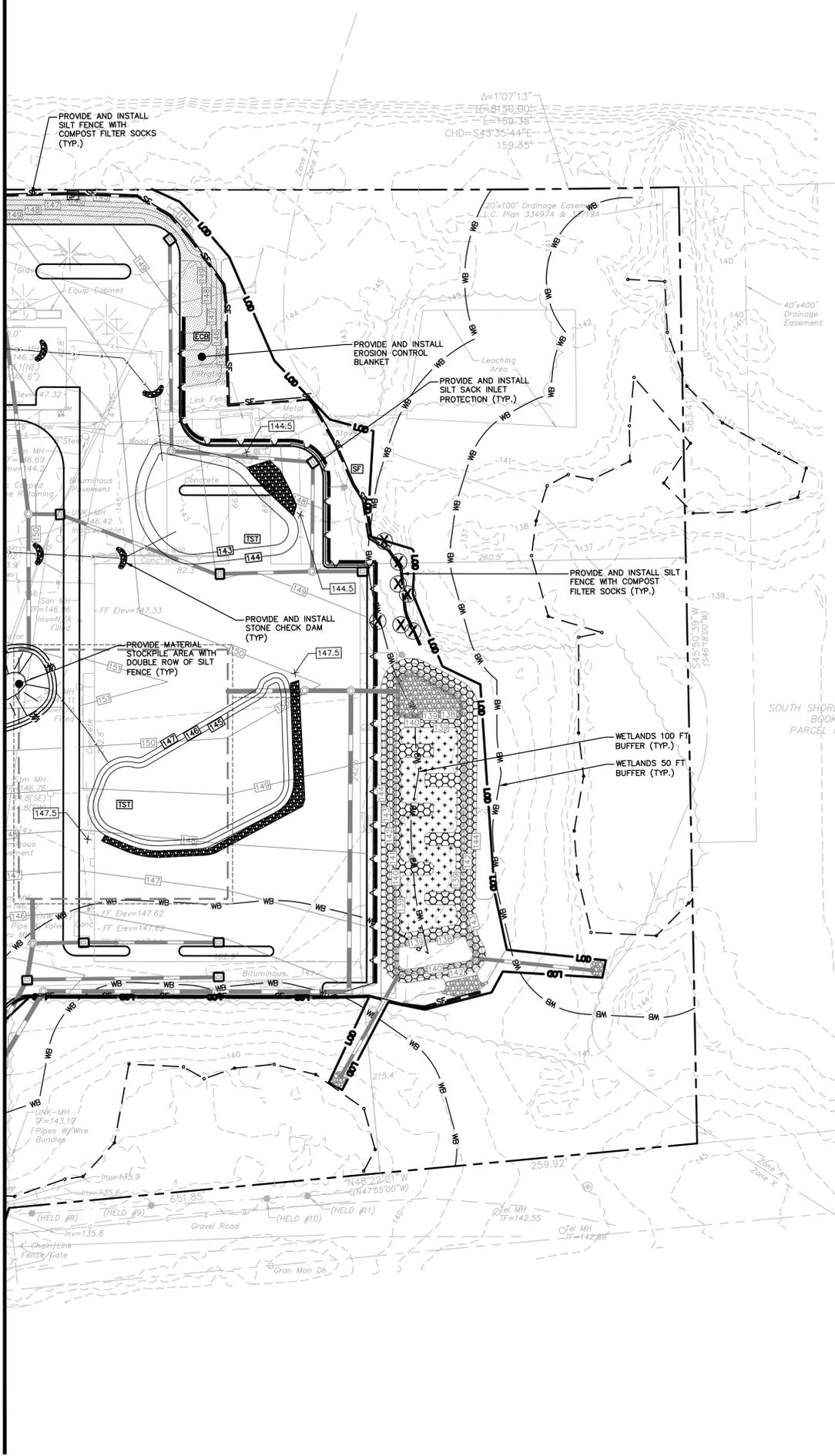
SEE SHEET EC-3 FOR SEDIMENT AND EROSION CONTROL NOTES

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Jun 04, 2020 2:53pm p:\projects\19015170\DWG\EC19015170.dwg
 2020/06/04 10:45:11 AM 19015170.dwg EC19015170.dwg EC19015170.dwg

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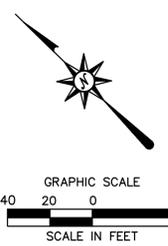
MATCHLINE SEE SHEET EC-1



N/F
 SOUTH SHORE INDUSTRIAL PARK TRUST
 BOOK 15247 PAGE 148
 PARCEL ID: 1312130000000300

EROSION CONTROL LEGEND:

CONTROL MEASURE	ILLUSTRATION
SILT SACK AT CATCH BASINS	
STONE CHECK DAM	
SILT FENCE	
SILT FENCE WITH COMPOST FILTER SOCKS (UTILIZE AT BASE OF SLOPE)	
CONSTRUCTION ENTRANCE	
LIMIT OF CLEARING	
LIMIT OF DISTURBANCE LINE AND CONTRACT LIMIT LINE	
STOCKPILE AREA WITH DOUBLE ROW OF SILT FENCE	
DIVERSION SWALE	
TEMPORARY SEDIMENT TRAP	
EROSION CONTROL BLANKET	
WETLAND 50 FT AND 100 FT BUFFER	
RIP RAP SPILLWAY WITH WASHED AGGREGATE AT TEMPORARY SEDIMENT TRAPS	



SEE SHEET EC-3 FOR SEDIMENT AND EROSION CONTROL NOTES

**FOR PERMITTING PURPOSES ONLY
 NOT RELEASED FOR CONSTRUCTION**



355 Research Parkway
 Meriden, CT 06450
 (203) 630-1406
 (203) 630-2615 Fax



PROPOSED DEVELOPMENT
 100 INDUSTRIAL PARK ROAD
 HINGHAM, MASSACHUSETTS

REVISIONS

No.	Date	Description
1.	05/12/2020	Revised per Staff and Commission Comments

Designed	P.G.M.
Drawn	P.G.M.
Reviewed	
Scale	1"=40'
Project No.	1901517
Date	03/06/2020
CAD File:	EC190151701
Title	SEDIMENT AND EROSION CONTROL PLAN
Sheet No.	EC-2

EC-2

SEDIMENT AND EROSION CONTROL NOTES

SEDIMENT AND EROSION CONTROL NOTES - MASSACHUSETTS
SEDIMENT & EROSION CONTROL NARRATIVE
THE SEDIMENT AND EROSION CONTROL PLAN WAS DEVELOPED TO PROTECT THE EXISTING ROADWAY AND STORM DRAINAGE SYSTEMS, ADJACENT PROPERTIES, AND ANY ADJACENT WETLAND AREA AND ANY ADJACENT WATER COURSE FROM SEDIMENT LADEN SURFACE RUNOFF AND EROSION. A CONSTRUCTION SEQUENCE IS PROVIDED TO PROVIDE SURFACE RUNOFF EROSION CONTROLS PRIOR TO THE BEGINNING OF PROJECT DEMOLITION AND/OR CONSTRUCTION.

CONSTRUCTION SCHEDULE
THE ANTICIPATED STARTING DATE FOR CONSTRUCTION IS SPRING 2020 WITH COMPLETION ANTICIPATED FALL 2020. APPROPRIATE SEDIMENT AND EROSION CONTROL MEASURES AS DESCRIBED HEREIN SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF ALL DEMOLITION OR CONSTRUCTION ACTIVITY. SCHEDULE WORK TO MINIMIZE THE LENGTH OF TIME THAT BARE SOIL WILL BE EXPOSED.

CONTINGENCY EROSION PLAN
THE CONTRACTOR SHALL INSTALL ALL SPECIFIED SEDIMENT AND EROSION CONTROL MEASURES AND WILL BE REQUIRED TO MAINTAIN THEM IN THEIR INTENDED FUNCTIONING CONDITION. THE AGENTS OF THE MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT OR CONSERVATION COMMISSION AND/OR CIVIL ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SUPPLEMENTAL MAINTENANCE OR ADDITIONAL MEASURES IF FIELD CONDITIONS ARE ENCOUNTERED BEYOND WHAT WOULD NORMALLY BE ANTICIPATED.

CONSTRUCTION SEQUENCE
THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:

- 1. CONTACT MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT OR CONSERVATION COMMISSION AGENT AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO COMMENCEMENT OF ANY DEMOLITION, CONSTRUCTION OR REGULATED ACTIVITY ON THIS PROJECT.
2. CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT OR CONSERVATION COMMISSION AGENT PRIOR TO THE START OF WORK ON THE SITE. INSTALL TREE PROTECTION AND PERIMETER SILT FENCE.
3. CONSTRUCT STONE CONSTRUCTION ENTRANCE ANTI-TRACKING PADS AT CONSTRUCTION ENTRANCES/EXITS AND INSTALL FILTER FABRIC AROUND GRATES OF CATCH BASINS OR INSTALL SILT SACKS ON CATCH BASIN INLETS ON OFF SITE ROADS. INSTALL SILT FENCE AND OTHER EROSION CONTROL DEVICES INDICATED ON THESE PLANS AT PERIMETER OF PROPOSED SITE DISTURBANCE AND INSTALL ALL EROSION CONTROL MEASURES AND TREE PROTECTION INDICATED ON THESE PLANS. INSTALL SEDIMENT BASINS AND SEDIMENT TRAPS IF REQUIRED AT LOW AREAS OF SITE OR AS ORDERED BY THE ENGINEER OR AS SHOWN ON THESE PLANS.
4. CLEAR AND GRUB SITE. STOCKPILE CHIPS, STOCKPILE TOPSOIL. INSTALL SEDIMENT AND EROSION CONTROLS AT STOCKPILES.
5. SELECTIVE BUILDING AND SITE DEMOLITION AND REMOVAL. PAVEMENT REMOVAL.
6. INSTALL SILT FENCE, CONSTRUCT DIVERSION SWALES AND SEDIMENT TRAPS. COMMENCE INSTALLATION OF STORM DRAINAGE SYSTEM.
7. COMMENCE EARTHWORK. CONSTRUCT FILL SLOPE AND RETAINING WALL. INSTALL ADDITIONAL SEDIMENT AND EROSION CONTROLS AS WORK PROGRESSES AND CONTINUE STORM DRAINAGE SYSTEM CONSTRUCTION, TOPSOIL AND SEED SLOPES WHICH HAVE ACHIEVED FINAL SITE GRADING.
8. CONSTRUCTION STAKING OF ALL BUILDING CORNERS, UTILITIES, ACCESS DRIVES, AND PARKING AREAS.
9. ROUGH GRADING AND FILLING OF SUBGRADES AND SLOPES.
10. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
11. BEFORE DISPOSING OF SOIL OR RECEIVING BORROW FOR THE SITE, THE CONTRACTOR MUST PROVIDE EVIDENCE THAT EACH SPOIL OR BORROW AREA HAS A SEDIMENT AND EROSION CONTROL PLAN APPROVED BY THE MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT AND/OR CONSERVATION COMMISSION AND WHICH IS BEING IMPLEMENTED AND MAINTAINED. THE CONTRACTOR SHALL ALSO NOTIFY THE APPROPRIATE MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT AND/OR CONSERVATION COMMISSION IN WRITING OF ALL RECEIVING SPOIL AND BORROW AREAS WHEN THEY HAVE BEEN IDENTIFIED.
12. CONTINUE INSTALLATION OF STORM DRAINAGE AS SUBGRADE ELEVATIONS ARE ACHIEVED.
13. THROUGHOUT CONSTRUCTION SEQUENCE, REMOVE SEDIMENT FROM BEHIND SILT FENCES, HAY BALES AND OTHER EROSION CONTROL DEVICES, AND FROM SEDIMENT BASINS AND SEDIMENT TRAPS AS REQUIRED. REMOVAL SHALL BE ON A PERIODIC BASIS (EVERY SIGNIFICANT RAINFALL OF 0.25 INCH OR GREATER). INSPECTION OF SEDIMENT AND EROSION CONTROL MEASURES SHALL BE ON A WEEKLY BASIS AND AFTER EACH RAINFALL OF 0.25 INCHES OR GREATER. SEDIMENT COLLECTED SHALL BE DEPOSITED AND SPREAD EVENLY UPLAND ON SLOPES DURING CONSTRUCTION.
14. INSTALL UTILITIES. COMPLETE STORM DRAINAGE SYSTEM.
15. INSTALL SITE LIGHTING.
16. COMPLETE GRADING TO SUBGRADES AND CONSTRUCT PARKING AREA SUBGRADE.
17. CONSTRUCT CURBS, PAVEMENT STRUCTURE AND SIDEWALKS.
18. CONDUCT FINE GRADING.
19. PAVE PARKING AREAS AND DRIVEWAYS
20. FINAL FINE GRADING OF SLOPE AND NON-PAVED AREAS.
21. PLACE TOPSOIL ON SLOPES AFTER FINAL GRADING IS COMPLETED. FERTILIZE SEED AND MULCH. REFER TO LANDSCAPE PLAN FOR NOTES ON SEED MIXTURES AND TOPSOIL. USE EROSION CONTROL BLANKETS AS REQUIRED OR ORDERED FOR SLOPES GREATER THAN 3:1 AND AS SHOWN ON LANDSCAPE PLANS OR EROSION CONTROL PLANS. FOR TEMPORARY STABILIZATION BEYOND SEEDING DATES USE ANNUAL RYE AT 4.0 LBS/1,000 S.F. FERTILIZE WITH 10-10-10 AT 1.0 LBS. OF NITROGEN PER 1,000 S.F. AND LIME AT 100 LBS/1,000 S.F. (MAX).
22. LANDSCAPE ISLANDS, INTERIOR NON-PAVED AREAS, AND PERIMETER AREAS.
23. INSTALL SIGNING AND PAVEMENT MARKINGS
24. CLEAN STORM DRAINAGE PIPE STRUCTURES, DETENTION SYSTEMS AND WATER QUALITY DEVICES OF DEBRIS AND SEDIMENT.
25. UPON DIRECTION OF THE MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT AND/OR CONSERVATION COMMISSION AGENT, SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED FOLLOWING STABILIZATION OF THE SITE.

OPERATION REQUIREMENTS
CLEARING AND GRUBBING OPERATIONS
1. ALL SEDIMENT AND EROSION CONTROL MEASURES, INCLUDING THE CONSTRUCTION OF STONE CONSTRUCTION ENTRANCE ANTI-TRACKING PADS, WILL BE INSTALLED PRIOR TO THE START OF CLEARING AND GRUBBING AND DEMOLITION OPERATIONS.
2. FOLLOWING INSTALLATION OF ALL SEDIMENT AND EROSION CONTROL MEASURES, THE CONTRACTOR SHALL NOT PROCEED WITH GRADING, FILLING OR OTHER CONSTRUCTION OPERATIONS UNTIL THE ENGINEER HAS INSPECTED AND APPROVED ALL INSTALLATIONS.
3. THE CONTRACTOR SHALL TAKE EXTREME CARE DURING CLEARING AND GRUBBING OPERATIONS SO AS NOT TO DISTURB UNPROTECTED WETLAND AREAS OR SEDIMENT AND EROSION CONTROL DEVICES.
4. FOLLOWING THE COMPLETION OF CLEARING AND GRUBBING OPERATIONS, ALL AREAS SHALL BE STABILIZED WITH TOPSOIL AND SEEDING OR CRUSHED STONE AS SOON AS PRACTICAL.

ROUGH GRADING OPERATIONS
1. DURING THE REMOVAL AND/OR PLACEMENT OF EARTH AS INDICATED ON THE GRADING PLAN, TOPSOIL SHALL BE STRIPPED AND APPROPRIATELY STOCKPILED FOR REUSE.
2. ALL STOCKPILED TOPSOIL SHALL BE SEEDED, MULCHED WITH HAY, AND ENCLOSED BY A SILTATION FENCE.

FILLING OPERATIONS
1. PRIOR TO FILLING, ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE PROPERLY IMPLEMENTED, MAINTAINED AND FULLY INSTALLED, AS DIRECTED BY THE ENGINEER AND AS SHOWN ON THIS PLAN.
2. ALL FILL MATERIAL ADJACENT TO ANY WETLAND AREAS, IF APPLICABLE TO THIS PROJECT, SHALL BE GOOD QUALITY, WITH LESS THAN 5% FINES PASSING THROUGH A #200 SIEVE (BANK RUN), SHALL BE PLACED IN LIFT THICKNESSES NOT GREATER THAN THAT SPECIFIED IN PROJECT SPECIFICATIONS AND/OR THE PROJECT GEOTECHNICAL REPORT. LIFTS SHALL BE COMPACTED TO 95% MAX. DRY DENSITY MODIFIED PROCTOR OR AS SPECIFIED IN THE CONTRACT SPECIFICATIONS OR IN THE GEOTECHNICAL REPORT.
3. AS GENERAL GRADING OPERATIONS PROGRESS, ANY TEMPORARY DIVERSION DITCHES SHALL BE RAISED OR LOWERED, AS NECESSARY, TO DIVERT SURFACE RUNOFF TO THE SEDIMENT BASINS OR SEDIMENT TRAPS.

PLACEMENT OF DRAINAGE STRUCTURES, UTILITIES, AND BUILDING CONSTRUCTION OPERATIONS.
1. SILT FENCES SHALL BE INSTALLED AT THE DOWNHILL SIDES OF BUILDING EXCAVATIONS, MUD PUMP DISCHARGES, AND UTILITY TRENCH MATERIAL STOCKPILES. HAY BALES/STRAW BALES MAY BE USED IF SHOWN ON THE SEDIMENT AND EROSION CONTROL PLANS OR IF DIRECTED BY THE CIVIL ENGINEER.

FINAL GRADING AND PAVING OPERATIONS
1. ALL INLET AND OUTLET PROTECTION SHALL BE PLACED AND MAINTAINED AS SHOWN ON SEDIMENT AND EROSION CONTROL PLANS AND DETAILS, AND AS DESCRIBED IN SPECIFICATIONS AND AS DESCRIBED HEREIN.
2. NO CUT OR FILL SLOPES SHALL EXCEED 3:1 EXCEPT WHERE STABILIZED BY ROCK FACED EMBANKMENTS OR EROSION CONTROL BLANKETS, OR JUTE MESH AND VEGETATION. ALL SLOPES SHALL BE SEEDED, AND ANY ROAD OR DRIVEWAY SHOULDER AND BANKS SHALL BE STABILIZED IMMEDIATELY UPON COMPLETION OF FINAL GRADING UNTIL TURF IS ESTABLISHED.
3. PAVEMENT SUB-BASE AND BASE COURSES SHALL BE INSTALLED OVER AREAS TO BE PAVED AS SOON AS FINAL SUB-GRADES ARE ESTABLISHED AND UNDERGROUND UTILITIES AND STORM DRAINAGE SYSTEMS HAVE BEEN INSTALLED.
4. AFTER CONSTRUCTION OF PAVEMENT, TOPSOIL, FINAL SEED, MULCH AND LANDSCAPING, REMOVE ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES ONLY AFTER ALL AREAS HAVE BEEN PAVED AND/OR GRASS HAS BEEN WELL ESTABLISHED AND THE SITE IS STABLE AND HAS BEEN INSPECTED AND APPROVED BY THE MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT AND/OR CONSERVATION COMMISSION.

INSTALLATION OF SEDIMENTATION AND EROSION CONTROL MEASURES
I. SILTATION FENCE
A. DIG A SIX INCH TRENCH ON THE UPHILL SIDE OF THE DESIGNATED FENCE LINE LOCATION.
B. POSITION THE POST AT THE BACK OF THE TRENCH (DOWNHILL SIDE), AND HAMMER THE POST AT LEAST 1.5 FEET INTO THE GROUND.
C. LAY THE BOTTOM SIX INCHES OF THE FABRIC INTO THE TRENCH TO PREVENT UNDERMINING BY STORM WATER RUN-OFF.
D. BACKFILL THE TRENCH AND COMPACT.
II. COMPOST FILTER SOCKS
A. PLACE THE FILTER SOCKS BEHIND THE SILT FENCE AT THE BOTTOM END OF SLOPE.
B. FILL AND COMPACT FILTER SOCKS WITH COMPOST OR VEGETATION MATERIAL.
C. PLACE THE FILTER MEDIA ON THE SIDE OF THE SILT FENCE.
D. IF NECESSARY, INSERT 2" X 2" X 36" WOODEN STAKES THROUGH THE CENTER OF THE FILTER SOCK EVERY 10'. MAKE SURE THAT 1' OF THE WOODEN STAKE IS BELOW THE GROUND SURFACE.

OPERATION AND MAINTENANCE OF SEDIMENT AND EROSION CONTROL MEASURES
I. SILTATION FENCE
A. ALL SILTATION FENCES SHALL BE INSPECTED AS A MINIMUM WEEKLY OR AFTER EACH RAINFALL. ALL DETERIORATED FABRIC AND DAMAGED POSTS SHALL BE REPLACED AND PROPERLY REPOSITIONED IN ACCORDANCE WITH THIS PLAN.
B. SEDIMENT DEPOSITS SHALL BE REMOVED FROM BEHIND THE FENCE WHEN THEY REACH A MAXIMUM HEIGHT OF ONE FOOT.
II. COMPOST FILTER SOCKS
A. ALL FILTER SOCKS SHALL BE INSPECTED AS A MINIMUM WEEKLY OR AFTER EACH RAINFALL. ALL DETERIORATED MATERIAL AND DAMAGED WOODEN STAKES SHALL BE REPLACED AND PROPERLY REPOSITIONED IN ACCORDANCE WITH THIS PLAN.
B. DEPOSITS SHALL BE REMOVED AND CLEANED OUT IF HALF OF THE ORIGINAL HEIGHT OF THE FILTER SOCKS BECOME FILLED WITH SEDIMENT.
III. SEDIMENT BASINS/SEDIMENT TRAPS
A. CONTRACTOR TO KEEP WEEKLY CHECKLIST LOGS FOR INSPECTIONS OF ALL SEDIMENT AND EROSION CONTROL DEVICES AND HAVE THEM READILY AVAILABLE ON-SITE AT ALL TIMES FOR INSPECTION BY MASSDEP LOCAL AUTHORITIES OR ENGINEER.
B. ALL SEDIMENT BASINS AND/OR SEDIMENT TRAPS SHALL BE INSPECTED FOLLOWING EACH RAINFALL. REPAIR OF SLOPES SHALL BE PROMPTLY MADE AS NEEDED.
C. SEDIMENT DEPOSITS SHALL BE REMOVED FROM SEDIMENT BASINS AND/OR SEDIMENT TRAPS WHEN THEY REACH A MAXIMUM HEIGHT OF ONE FOOT UNLESS OTHERWISE INDICATED ON THE EROSION CONTROL PLANS AND DETAILS TO BE AT A SPECIFIC ELEVATION PER CLEAN OUT MARKERS.
D. SEDIMENT SHALL BE DISPOSED OF ON-SITE OR AS DIRECTED BY THE ENGINEER AND LOCAL GOVERNING OFFICIALS. SEE SEDIMENT AND EROSION CONTROL NOTES HEREIN REGARDING DISPOSAL REQUIREMENTS FOR OFF SITE SPOIL DISPOSAL.

SEDIMENT AND EROSION CONTROL PLAN
1. COMPOST FILTER SOCKS WILL BE INSTALLED BEHIND THE SILTATION FENCE CLOSEST TO THE EXISTING WETLANDS AND SILTATION FENCE INSTALLED ALONG THE TOE OF ALL CRITICAL CUT AND FILL SLOPES.
2. CULVERT DISCHARGE AREAS WILL BE PROTECTED WITH RIP RAP CHANNELS. ENERGY DISSIPATORS WILL BE INSTALLED AS SHOWN ON THESE PLANS AND AS NECESSARY.
3. CATCH BASINS WILL BE PROTECTED WITH SILT SACKS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
4. ALL SEDIMENT AND EROSION CONTROL MEASURES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS IN THE LATEST EDITION OF THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS.
5. SEDIMENT AND EROSION CONTROL MEASURES WILL BE INSTALLED PRIOR TO DEMOLITION AND/OR CONSTRUCTION WHENEVER POSSIBLE.
6. ALL CONTROL MEASURES WILL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE DEMOLITION AND CONSTRUCTION PERIOD UNTIL THE SITE IS DETERMINED TO BE STABILIZED BY THE AUTHORITY HAVING JURISDICTION.
7. ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PERIOD, IF NECESSARY OR REQUIRED OR AS DIRECTED BY THE CIVIL ENGINEER OR BY THE AUTHORITY HAVING JURISDICTION.
8. SEDIMENT REMOVED FROM EROSION CONTROL STRUCTURES WILL BE DISPOSED IN A MANNER WHICH IS CONSISTENT WITH THE INTENT AND REQUIREMENTS OF THE SEDIMENT AND EROSION CONTROL PLANS, NOTES, AND DETAILS.
9. THE CONTRACTOR IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS SEDIMENT AND EROSION CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, NOTIFICATION OF THE MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT AND/OR CONSERVATION COMMISSION OFFICE OR AUTHORITY HAVING JURISDICTION OF ANY TRANSFER OF THIS RESPONSIBILITY AND FOR CONVEYING A COPY OF THE SEDIMENT AND EROSION CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.

SEDIMENT AND EROSION CONTROL NOTES
1. THE SEDIMENT AND EROSION CONTROL PLAN IS ONLY INTENDED TO DESCRIBE THE SEDIMENT AND EROSION CONTROL TREATMENT FOR THIS SITE. SEE SEDIMENT AND EROSION CONTROL DETAILS AND CONSTRUCTION SEQUENCE. REFER TO SITE PLAN FOR GENERAL INFORMATION AND OTHER CONTRACT PLANS FOR APPROPRIATE INFORMATION.
2. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING THIS SEDIMENT AND EROSION CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE PROPER INSTALLATION AND MAINTENANCE OF SEDIMENT AND EROSION CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED WITH CONSTRUCTION ON THE SITE OF THE REQUIREMENTS AND OBJECTIVES OF THIS PLAN, INFORMING THE AUTHORITY HAVING JURISDICTION OR COUNTY SOILS CONSERVATION DISTRICT, INLAND WETLANDS AGENCY OR CONSERVATION COMMISSION OF ANY TRANSFER OF THIS RESPONSIBILITY, AND FOR CONVEYING A COPY OF THE SEDIMENT & EROSION CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.
3. AN EROSION CONTROL BOND MAY BE REQUIRED TO BE POSTED WITH THE TOWN OF HINGHAM TO ENSURE IMPLEMENTATION OF THE SEDIMENT AND EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE POSTING OF THIS BOND AND FOR INQUIRIES TO THE TOWN OF HINGHAM FOR INFORMATION ON THE METHOD, TYPE AND AMOUNT OF THE BOND POSTING UNLESS OTHERWISE DIRECTED BY THE OWNER.
4. VISUAL SITE INSPECTIONS SHALL BE CONDUCTED WEEKLY, AND AFTER EACH MEASURABLE PRECIPITATION EVENT OF 0.25 INCHES OR GREATER BY QUALIFIED PERSONNEL, TRAINED AND EXPERIENCED IN SEDIMENT AND EROSION CONTROL, TO ASCERTAIN THAT THE SEDIMENT AND EROSION CONTROL (E&S) BMPs ARE OPERATIONAL AND EFFECTIVE IN PREVENTING POLLUTION. A WRITTEN REPORT OF EACH INSPECTION SHALL BE KEPT AND INCLUDE:
A) A SUMMARY OF THE SITE CONDITIONS, EAS BMPs, AND COMPLIANCE; AND
B) THE DATE, TIME, AND THE NAME OF THE PERSON CONDUCTING THE INSPECTION
5. THE CONTRACTOR SHALL CONSTRUCT ALL SEDIMENT AND EROSION CONTROLS IN ACCORDANCE WITH THE LATEST EDITION OF THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, AND AS DIRECTED BY THE MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT AND/OR CONSERVATION COMMISSION. THE CONTRACTOR SHALL KEEP A COPY OF THE GUIDELINES ON-SITE FOR REFERENCE DURING CONSTRUCTION.
6. ADDITIONAL AND/OR ALTERNATIVE SEDIMENT AND EROSION CONTROL MEASURES MAY BE INSTALLED DURING THE CONSTRUCTION PERIOD IF FOUND NECESSARY BY THE CONTRACTOR, OWNER, SITE ENGINEER, MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT AND/OR CONSERVATION COMMISSION, OR OTHER GOVERNING AGENCIES. THE CONTRACTOR SHALL CONTACT THE OWNER AND APPROPRIATE GOVERNING AGENCIES FOR APPROVAL IF ALTERNATIVE CONTROLS OTHER THAN THOSE SHOWN ON THE PLANS ARE PROPOSED.
7. THE CONTRACTOR SHALL INSPECT ALL SEDIMENT AND EROSION CONTROLS BEFORE AND AFTER EACH STORM (0.25 INCHES OR GREATER RAINFALL), OR AT LEAST WEEKLY, TO VERIFY THAT THE CONTROLS ARE OPERATING PROPERLY AND MAKE REPAIRS WHERE NECESSARY.
8. THE CONTRACTOR SHALL KEEP A SUPPLY OF SEDIMENT AND EROSION CONTROL MATERIAL (HAY BALES, SILT FENCE, JUTE MESH, RIP RAP, ETC.) ON-SITE FOR MAINTENANCE AND EMERGENCY REPAIRS.
9. PROTECT EXISTING TREES THAT ARE TO BE SAVED BY FENCING AT THE DRIP LINE OR AS SHOWN WITH SNOW FENCE, ORANGE SAFETY FENCE, OR EQUIVALENT FENCING. ANY LIMB TRIMMING SHOULD BE DONE BEFORE CONSTRUCTION BEGINS IN THAT AREA; FENCING SHALL BE MAINTAINED AND REPAIRED DURING CONSTRUCTION.

- 10. INSTALL PERIMETER SEDIMENT AND EROSION CONTROLS PRIOR TO CLEARING OR CONSTRUCTION. ALL CONSTRUCTION SHALL BE CONTAINED WITHIN THE LIMIT OF DISTURBANCE, WHICH SHALL BE MARKED WITH SILT FENCE, SAFETY FENCE, COMPOST FILTER SOCKS, RIBBONS, OR OTHER MEANS PRIOR TO CLEARING. CONSTRUCTION ACTIVITY SHALL REMAIN ON THE UPHILL SIDE OF THE SILT FENCE UNLESS WORK IS SPECIFICALLY CALLED FOR ON THE DOWNHILL SIDE OF THE FENCE.
11. STONE CONSTRUCTION ENTRANCE ANTI-TRACKING PADS SHALL BE INSTALLED AT START OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION. THE LOCATION OF THE TRACKING PADS MAY CHANGE AS VARIOUS PHASES OF CONSTRUCTION ARE COMPLETED.
12. TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING. ALL EARTH STOCKPILES SHALL HAVE HAY BALES OR SILT FENCE AROUND THE LIMIT OF PILE. PILES SHALL BE TEMPORARILY SEEDED IF PILE IS TO REMAIN IN PLACE FOR MORE THAN ONE (1) MONTH.
13. SEDIMENT BASINS AND SEDIMENT TRAPS SHALL PROVIDE 134 CUBIC YARDS OF SEDIMENT STORAGE PER ACRE CONTRIBUTING TO THE BASIN. PROVIDE BASIN VOLUMES FOR ALL DISTURBANCE ON SITE.
14. COMPLY WITH REQUIREMENTS OF NPDES GENERAL PERMIT FOR CONSTRUCTION DEWATERING ACTIVITY DISCHARGES, FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES AND WITH MASSACHUSETTS DEP RECORD KEEPING AND INSPECTION REQUIREMENTS.
15. STONE CONSTRUCTION ENTRANCE ANTI-TRACKING PADS SHALL BE INSTALLED PRIOR TO ANY ON SITE EXCAVATION AND SHALL BE MAINTAINED DURING ALL DEMOLITION, EXCAVATION AND CONSTRUCTION ACTIVITIES.
16. MINIMIZE LAND DISTURBANCES. SEED AND MULCH DISTURBED AREAS WITH TEMPORARY MIX AS SOON AS PRACTICABLE (ONE WEEK MAXIMUM UNSTABILIZED PERIOD) USING PERENNIAL RYEGRASS AT 40 LBS PER ACRE. MULCH ALL CUT AND FILL SLOPES AND SWALES WITH LOOSE HAY AT A RATE OF 2 TONS PER ACRE. IF NECESSARY, REPLACE LOOSE HAY ON SLOPES WITH EROSION CONTROL BLANKETS OR JUTE CLOTH. MODERATELY GRADED AREAS, ISLANDS, AND TEMPORARY CONSTRUCTION STAGING AREAS MAY BE HYDROSEEDED WITH TACKIFIER.
17. MAINTAIN EXISTING PAVED AREAS FOR CONSTRUCTION STAGING FOR AS LONG AS POSSIBLE.
18. SILT FENCE AND OTHER SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH CONTRACT DRAWINGS AND MANUFACTURER'S RECOMMENDATIONS PRIOR TO WORK IN ANY UPLAND AREAS.
19. EXCAVATED MATERIAL FROM TEMPORARY SILT TRAPS MUST BE STOCKPILED ON UPHILL SIDE OF SILT FENCE.
20. INSTALL SILT FENCE ACCORDING TO MANUFACTURER'S INSTRUCTION, PARTICULARLY, BURY LOWER EDGE OF FABRIC INTO GROUND. SILT FENCE SHALL BE TENCATE ENVROFENCE, PROPEX GEOTEX OR EQUIVALENT APPROVED BY THE CIVIL ENGINEER. FILTER FABRIC USED SHALL BE TENCATE 140N OR 170N, OR APPROVED EQUIVALENT. SEE SPECIFICATIONS FOR FURTHER INFORMATION.
21. INSTALL COMPOST FILTER SOCKS ACCORDING TO MANUFACTURER'S INSTRUCTIONS, PARTICULARLY, PLACE THE FILTER SOCKS BEHIND THE SILT FENCE AND PLACE THE FILTER MEDIA ON THE SIDE OF THE SILT FENCE. IF NECESSARY, PLACE 2" X 2" X 36" WOODEN STAKES THROUGH THE CENTER OF THE FILTER SOCKS EVERY 10'. MAKE SURE THAT 1' OF THE WOODEN STAKE IS BELOW THE GROUND SURFACE. FILTER SOCK MATERIAL AND MEDIA SHALL BE FROM FILTEREXX OR APPROVED EQUAL AS DETERMINED BY THE CIVIL ENGINEER. SEE SPECIFICATIONS FOR FURTHER DETAILS.
22. WHERE INDICATED ON SEDIMENT AND EROSION CONTROL PLANS USE NEW HAY/STRAW BALES AND REPLACE THEM WHENEVER THEIR CONDITION DETERIORATES BEYOND REASONABLE USABILITY. STAKE BALES SECURELY INTO GROUND AND BUTT TIGHTLY TOGETHER TO PREVENT UNDERCUTTING AND BYPASSING.
23. INSTALL TEMPORARY DIVERSION DITCHES, PLUNGE POOLS, SEDIMENT BASINS, SEDIMENT TRAPS, CONCRETE WASH PITS AND DEWATERING PITS AS SHOWN AND AS NECESSARY DURING VARIOUS PHASES OF CONSTRUCTION TO CONTROL RUNOFF UNTIL UPHILL AREAS ARE DETERMINED TO BE STABILIZED BY THE AUTHORITY HAVING JURISDICTION. LOCATION OF TEMPORARY SEDIMENT BASINS WILL REQUIRE REVIEW AND APPROVAL BY THE CIVIL ENGINEER AND AUTHORITY HAVING JURISDICTION.
24. DIRECT ALL DEWATERING PUMP DISCHARGE TO A SEDIMENT CONTROL DEVICE SUCH AS TEMPORARY PITS, SEDIMENT TRAP, SEDIMENT BASINS OR GRASS FILTERS WITHIN THE APPROVED LIMIT OF DISTURBANCE. DISCHARGE TO STORM DRAINAGE SYSTEM OR SURFACE WATERS FROM SEDIMENT CONTROLS SHALL BE CLEAR.
25. SWEEP AFFECTED PORTIONS OF OFF SITE ROADS ONE OR MORE TIMES A DAY (OR LESS FREQUENTLY IF TRACKING IS NOT A PROBLEM) DURING CONSTRUCTION. OTHER DUST CONTROL MEASURES TO BE USED AS NECESSARY INCLUDE WATERING DOWN DISTURBED AREAS, USING CALCIUM CHLORIDE, AND COVERING LOADS ON DUMP TRUCKS.
26. PERIODICALLY CHECK ACCUMULATED SEDIMENT LEVELS IN THE SEDIMENT BASINS AND SEDIMENT TRAPS DURING CONSTRUCTION AND CLEAN ACCUMULATED SILT WHEN NECESSARY OR WHEN ONE FOOT OF SEDIMENT HAS ACCUMULATED OR PER SPECIFIC CLEANOUT MARKER ELEVATION. CLEAN ACCUMULATED SEDIMENT FROM CATCH BASIN SUMPS AS NECESSARY AND AS DIRECTED BY THE CIVIL ENGINEER OR OWNER'S CONSTRUCTION REPRESENTATIVE. REMOVE ACCUMULATED SEDIMENT FROM BEHIND COMPOST FILTER SOCKS AND SILT FENCE WHEN LEVEL REACHES HALF THE HEIGHT OF THE FILTER SOCK OR ONE FOOT AT SILT FENCE. DISPOSE OF SEDIMENT LEGALLY EITHER ON OR OFF SITE.
27. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
28. ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG OR EQUIVALENT SEDIMENT REMOVAL FACILITY, OVER UNDISTURBED VEGETATED AREAS.
29. ALL EXCAVATED MATERIAL SHALL BE PLACED ON THE HIGH SIDE OF UTILITY AND STORM PIPE TRENCHES SO AS TO ALLOW THE TRENCH TO INTERCEPT ALL SILT LADEN RUNOFF.
30. CONTRACTOR SHALL ONLY EXCAVATE AS MUCH UTILITY AND STORM PIPE TRENCH WORK AS CAN BE COMPLETED, BACKFILLED AND STABILIZED IN ONE DAY SO AS TO LIMIT THE AMOUNT OF OPEN, DISTURBED TRENCHING.
31. ANY STOCKPILES OF STRIPPED MATERIALS ARE TO BE PERIODICALLY SPRAYED WITH WATER OR A CRUSTING AGENT TO STABILIZE POTENTIALLY WIND-BLOWN MATERIAL. HAUL ROADS BOTH INTO AND AROUND THE SITE ARE TO BE SPRAYED AS NEEDED TO SUPPRESS DUST. TRUCKS HAULING IMPORT FILL MATERIAL ARE TO BE TARPED TO AID IN THE CONTROL OF AIRBORNE DUST. DURING HIGH WIND EVENTS (20 TO 30 MPH SUSTAINED) CONSTRUCTION ACTIVITY SHALL BE LIMITED OR CEASED IF DUST CANNOT BE CONTROLLED BY WETTING.
32. BLOCK END OF STORM SEWERS IN EXPOSED TRENCHES WITH BOARDS AND SANDBAGS AT THE END OF EACH WORKING DAY WHEN RAIN IS EXPECTED.
33. AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM OF 70% UNIFORM PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING OR OTHER MOVEMENTS UNLESS OTHERWISE DETERMINED BY THE AUTHORITY HAVING JURISDICTION.
34. MAINTAIN ALL PERMANENT AND TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. UPON COMPLETION OF WORK SWEEP PARKING LOT AND REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROLS WHEN AUTHORIZED BY AUTHORITY HAVING JURISDICTION. FILE NOT (NOTICE OF TERMINATION) WITH AUTHORITY HAVING JURISDICTION RESPONSIBLE FOR REGULATING STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES PER NPDES.



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PROPOSED DEVELOPMENT
100 INDUSTRIAL PARK ROAD
HINGHAM, MASSACHUSETTS

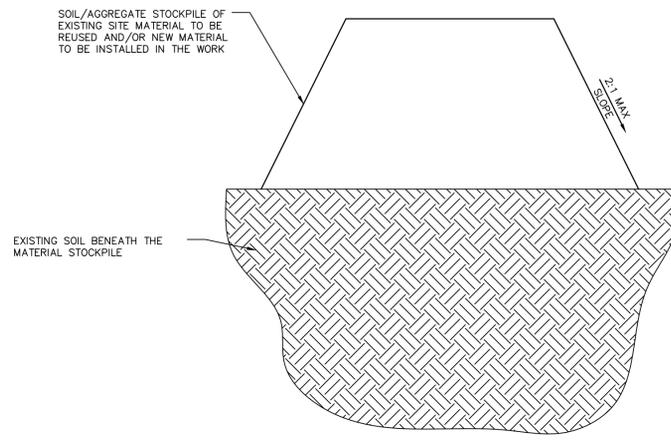
Table with columns: No., Date, Desc., Revisions. Row 1: 1, 05/17/2020, Revisions, Revised per Staff and Commission Comments.

Table with columns: Designed, Drawn, Reviewed, Scale, Project No., Date, CAD File. Values: P.G.M., P.G.M., NONE, 1901517, 03/06/2020, EC190151701

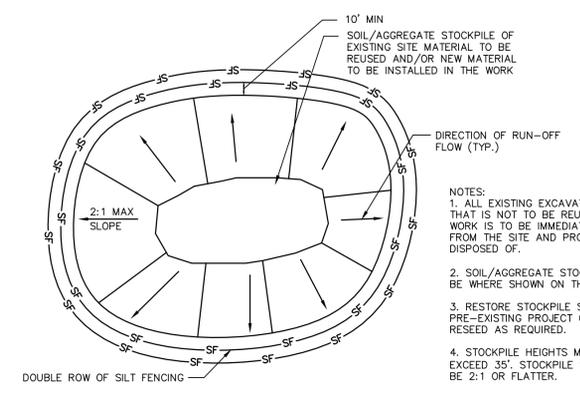
Title
SEDIMENT AND EROSION CONTROL NOTES
Sheet No.

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EC-3

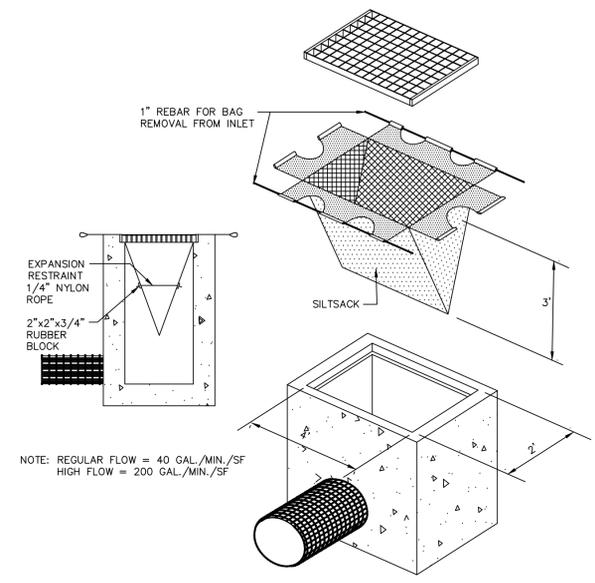
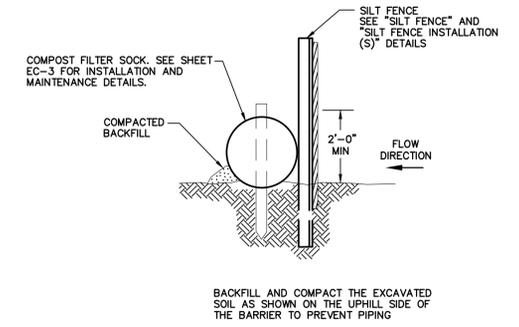


MATERIALS STOCKPILE DETAIL
N.T.S. BLEC-006

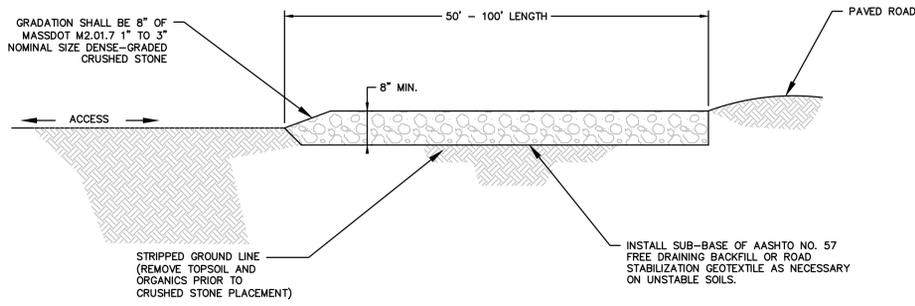


- NOTES:
1. ALL EXISTING EXCAVATED MATERIAL THAT IS NOT TO BE REUSED IN THE WORK IS TO BE IMMEDIATELY REMOVED FROM THE SITE AND PROPERLY DISPOSED OF.
 2. SOIL/AGGREGATE STOCKPILE SITES TO BE WHERE SHOWN ON THE DRAWINGS.
 3. RESTORE STOCKPILE SITES TO PRE-EXISTING PROJECT CONDITION AND RESEED AS REQUIRED.
 4. STOCKPILE HEIGHTS MUST NOT EXCEED 35'. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.

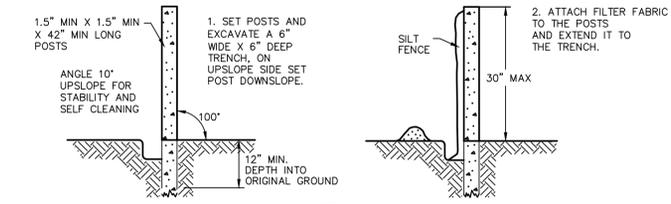
SILT FENCE WITH FILTER SOCK BACKING
N.T.S.



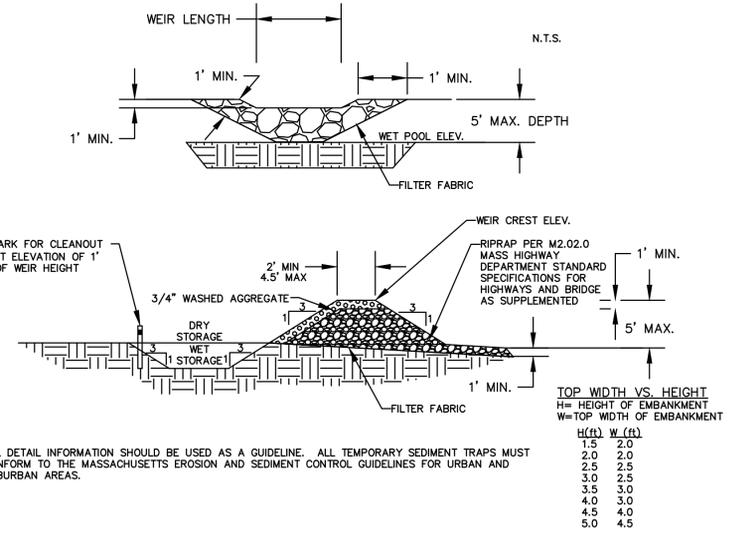
SILTSACK DETAIL
N.T.S. BLEC-005



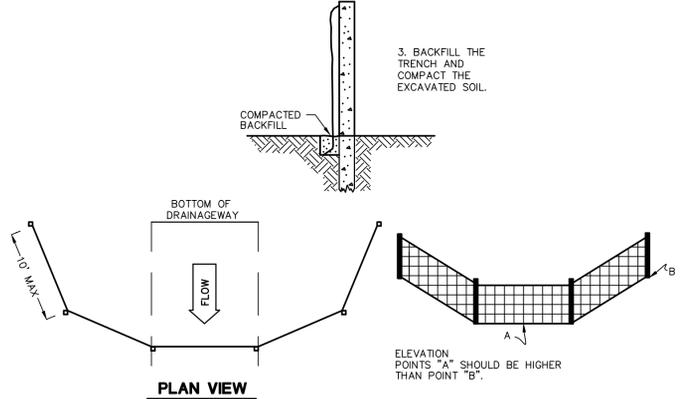
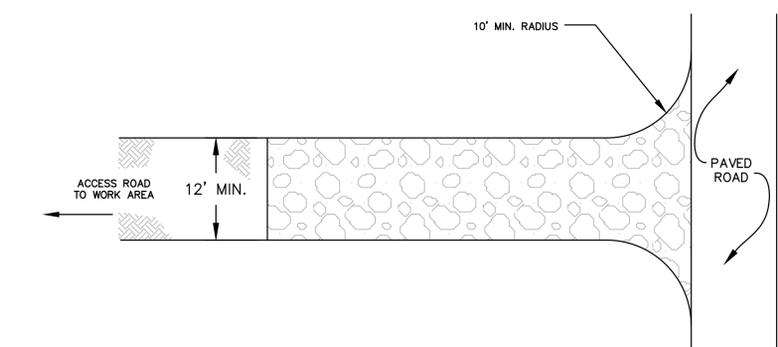
TYPICAL CONSTRUCTION ENTRANCE
N.T.S.



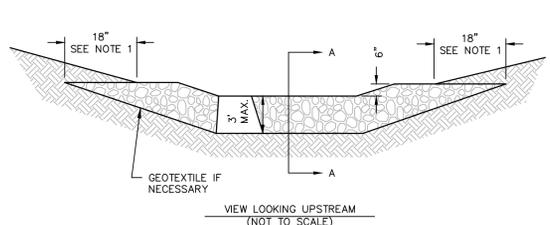
SILT FENCE BARRIER
N.T.S.



TEMPORARY SEDIMENT TRAP
N.T.S. BLEC-002

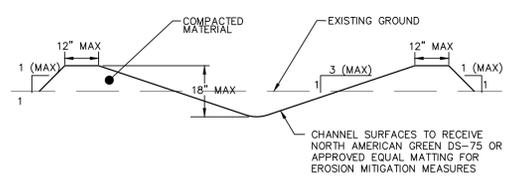
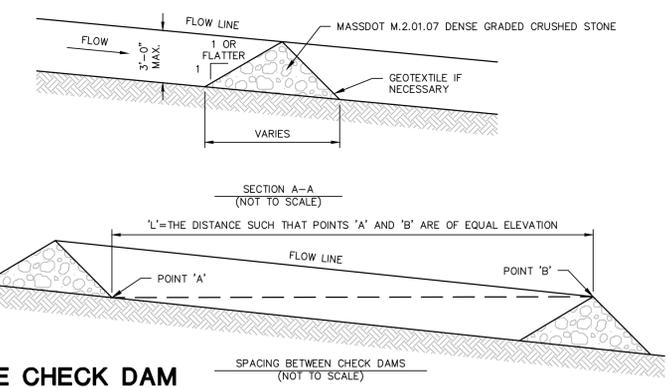


SILT FENCE BARRIER
N.T.S.



- NOTES:
- 1) KEY STONE INTO THE DITCH BANKS AND EXTEND INTO THE ABUTMENTS A MINIMUM OF 18" TO PREVENT FLOW FROM FLANKING THE CHECK DAM.
 - 2) THE MINIMUM DESIGN CAPACITY SHALL CONVEY A 2 YEAR - 24 HOUR PEAK FLOW.

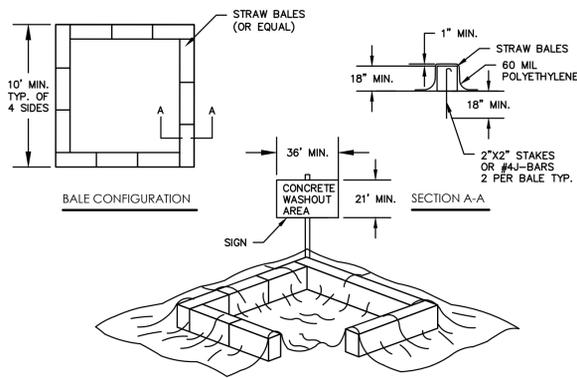
STONE CHECK DAM INSTALLATION IN DRAINAGeways
N.T.S.



NON-ENGINEERED TEMPORARY DIVERSION SWALE DETAIL
N.T.S.

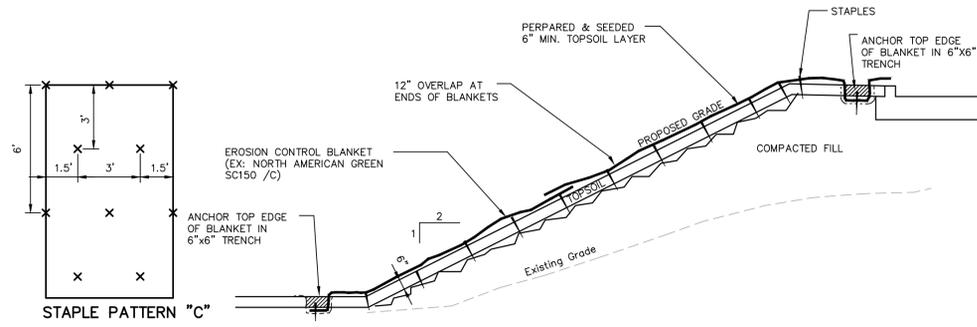
SEE SHEET EC-3 FOR SEDIMENT AND EROSION CONTROL NOTES

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CONCRETE WASH PIT

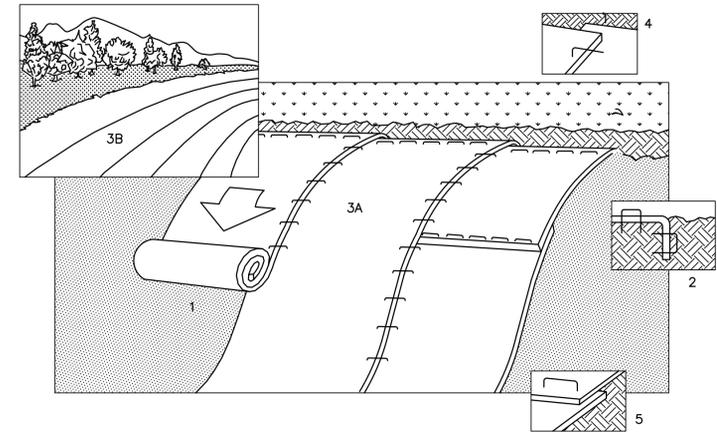
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BLANKET ON FILL SLOPE

N.T.S.

BLEC-009

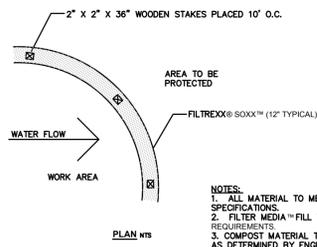
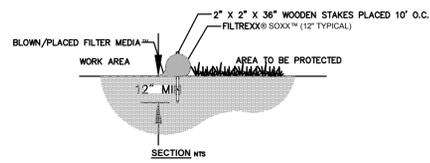


1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.

SLOPE STABILIZATION DETAIL

N.T.S.

BLEC-010



- NOTES:
1. ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS.
 2. FILTER MEDIA™ FILL TO MEET APPLICATION REQUIREMENTS.
 3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

FILTREXX® SEDIMENT CONTROL FILTER SOCK OR APPROVED EQUAL

NTS

REVISIONS

No.	Date	Desc.
1.	05/12/2020	Revised per Staff and Commission Comments

Designed	P.G.M.
Drawn	P.G.M.
Reviewed	
Scale	NONE
Project No.	1901517
Date	03/06/2020
CAD File:	EC190151701

Title
SEDIMENT AND EROSION CONTROL DETAILS

SEE SHEET EC-3 FOR SEDIMENT AND EROSION CONTROL NOTES

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Sheet No.

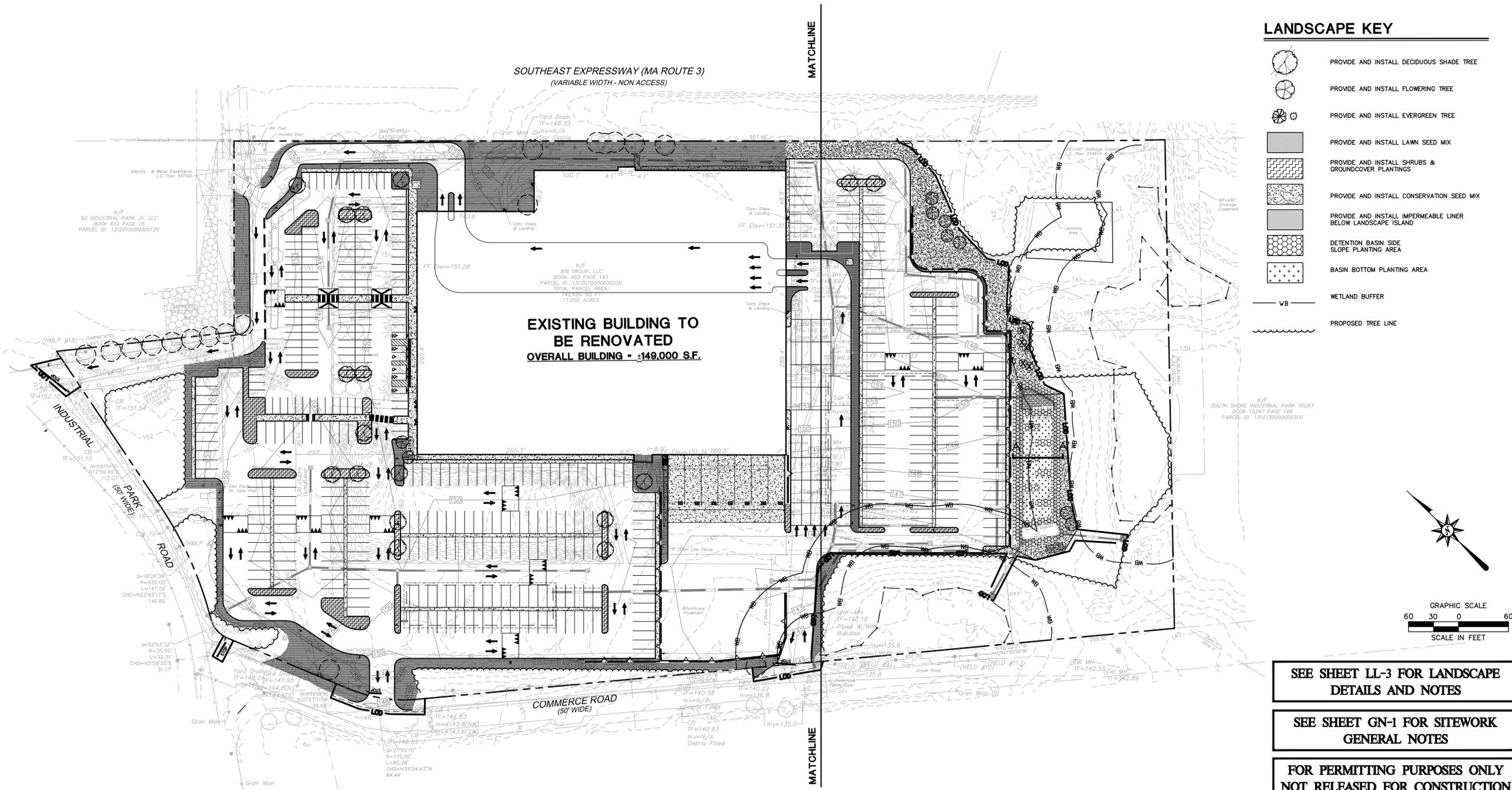
EC-5

ZONING INFORMATION

LOCATION: HINGHAM			
ZONE: IP (INDUSTRIAL PARK) & S. HINGHAM DEVELOPMENT ZONING OVERLAY			
USE: WAREHOUSE (PERMITTED USE)			
ITEM #	ITEM	REQUIREMENTS	PROPOSED
1	PARKING LOT LANDSCAPING (SECTION V-5.M.)	ONE (1) TREE (MIN. 3" CAL) AND ADDITIONAL UNDERSTORY PLANTINGS PER TEN (10) PARKING SPACES (460 SPACES (AUTO & VAN) / 10 = 46 TREES REQ.) PARKING AREAS ADJACENT TO PUBLIC RIGHT-OF-WAY SHALL BE SCREENED	EXISTING TREES TO REMAIN: 27 TREES PROPOSED: 19 TREES TOTAL: 46 TREES EXISTING VEGETATION ALONG INDUSTRIAL PARK ROAD AND COMMERCE ROAD TO REMAIN
2	LOT AREA COVERAGE (SECTION IV-B.2.)	A MINIMUM OF 15% OF THE AREA OF EACH LOT SHALL NOT BE BUILT UPON, PAVED OR PARKED UPON, AND SHALL BE MAINTAINED EITHER IN ITS NATURAL STATE OR LANDSCAPED	246,573 SF UNPAVED AREA (LANDSCAPED AND NATURAL)/742,660 SF LOT AREA = 33.2%
3	LANDSCAPE FRONTAGE (SECTION IV-B.2)	ALONG THE ENTIRE STREET FRONTAGE OF EACH LOT A GREEN OR LANDSCAPED STRIP NOT LESS THAN 15' WIDE SHALL BE MAINTAINED IN ITS NATURAL STATE OR LANDSCAPED WITH GRASS, TREES AND SHRUBS. NOT PAVED EXCEPT FOR DRIVEWAYS, NOT PARKED UPON AND NOT BUILT UPON EXCEPT FOR SIGNS. THE REQUIRED 15% MAY INCLUDE THE 15' GREEN STRIP.	>15 FEET

LANDSCAPE PLANT SCHEDULE						
PARKING LOT - DECIDUOUS TREES						
KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	COMMENTS
AR	4	Acer rubrum 'Franksred'	Red Sunset Red Maple	B&B	3" CAL. MIN.	6' BRANCH HT. MIN.
CF	2	Cornus florida 'Cherokee Princess'	Cherokee Princess Flowering Dogwood	B&B	2" CAL. MIN.	
GT	13	Gleditsia triacanthos var. inermis 'Shodemaster'	Shodemaster Honeylocust	B&B	3" CAL. MIN.	6' BRANCH HT. MIN.
TOTAL	19					
SHRUBS, GRASSES, AND GROUNDCOVERS						
AM	65	Aronia melanocarpa 'UCONNAM165'	Low Scape Mound Chokeberry	CONT.	12" HT. MIN.	PLANT 36" O.C.
IG	66	Ilex glabra 'Shamrock'	Shamrock Inkberry	CONT.	30" HT. MIN.	PLANT 4' O.C.
PV	40	Panicum virgatum 'Shenandoah'	Shenandoah Switchgrass	CONT.	24" HT. MIN.	PLANT 36" O.C.
RA	130	Rhus aromatica 'Gro-low'	Gro-low Sumac	CONT.	12" HT. MIN.	PLANT 36" O.C.

- NOTES:**
- 1) ALL SUBSTITUTIONS MUST RECEIVE APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO DELIVERY TO SITE.
 - 2) PROVIDE AND INSTALL ALL PLANTS SHOWN ON THE PLANTING PLAN DRAWINGS; THE QUANTITIES IN THE PLANT LIST ARE PROVIDED FOR THE CONTRACTOR'S CONVENIENCE ONLY. IF DISCREPANCIES OCCUR, THE LARGER QUANTITY SHALL APPLY.
 - 3) IF THERE IS A DISCREPANCY BETWEEN BOTANICAL AND COMMON NAME, BOTANICAL NAME PREVAILS.
 - 4) FOR DETENTION BASIN PLANTING, REFER TO SHEET LL-3



SEE SHEET LL-3 FOR LANDSCAPE DETAILS AND NOTES

SEE SHEET GN-1 FOR SITEWORK GENERAL NOTES

**FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION**



PROPOSED DEVELOPMENT
100 INDUSTRIAL PARK ROAD
HINGHAM, MASSACHUSETTS

Disc. Revised per Staff and Commission Comments
Revised per Staff and Commission Comments

REVISIONS	Date	By
No. 1	05/17/2020	68617/2226
No. 2		

Designed	W.E.V.
Drawn	W.E.V.
Reviewed	
Scale	1"=60'
Project No.	1901517
Date	03/06/2020
CAD File:	LL190151701

OVERALL LANDSCAPE PLAN

Sheet No.

LL-0

Jun 04, 2020 2:53pm p:\projects\1901517\DWG\LL1901517.dwg
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SOUTHEAST EXPRESSWAY (MA ROUTE 3)
(VARIABLE WIDTH - NON ACCESS)

LANDSCAPE KEY

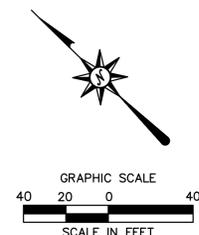
-  PROVIDE AND INSTALL DECIDUOUS SHADE TREE
-  PROVIDE AND INSTALL FLOWERING TREE
-  PROVIDE AND INSTALL EVERGREEN TREE
-  PROVIDE AND INSTALL LAWN SEED MIX
-  PROVIDE AND INSTALL SHRUBS & GROUND COVER PLANTINGS
-  PROVIDE AND INSTALL CONSERVATION SEED MIX
-  PROVIDE AND INSTALL IMPERMEABLE LINER BELOW LANDSCAPE ISLAND
-  DETENTION BASIN SIDE SLOPE PLANTING AREA
-  BASIN BOTTOM PLANTING AREA
-  WETLAND BUFFER
-  PROPOSED TREE LINE

N/F
90 INDUSTRIAL PARK JV, LLC
BOOK 612 PAGE 15
PARCEL ID: 131201000000120

N/F
JEB GROUP, LLC
BOOK 483 PAGE 143
PARCEL ID: 131207000000030
TOTAL PARCEL AREA:
742,680 SQ. FT.
17,050 ACRES

**EXISTING BUILDING TO
BE RENOVATED**
OVERALL BUILDING - ±149,000 S.F.

MATCHLINE SEE SHEET LL-2



**SEE SHEET LL-0 FOR
LANDSCAPE PLANT SCHEDULE**

**SEE SHEET LL-3 FOR LANDSCAPE
DETAILS AND NOTES**

**SEE SHEET GN-1 FOR SITEWORK
GENERAL NOTES**

**FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION**



PROPOSED DEVELOPMENT
100 INDUSTRIAL PARK ROAD
HINGHAM, MASSACHUSETTS

Disc. Revised per Staff and Commission Comments
05/17/2020
Revised per Staff and Commission Comments
06/17/2020

REVISIONS
Date
05/17/2020
No. 1
06/17/2020

Designed
Drawn
Reviewed
Scale
Project No.
Date

CAD File:
LL190151701

Title
**LANDSCAPE
PLAN**

Sheet No.

LL-1

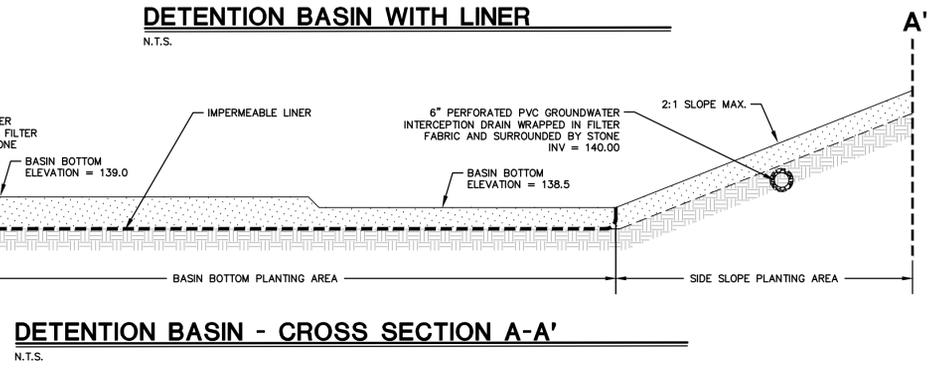
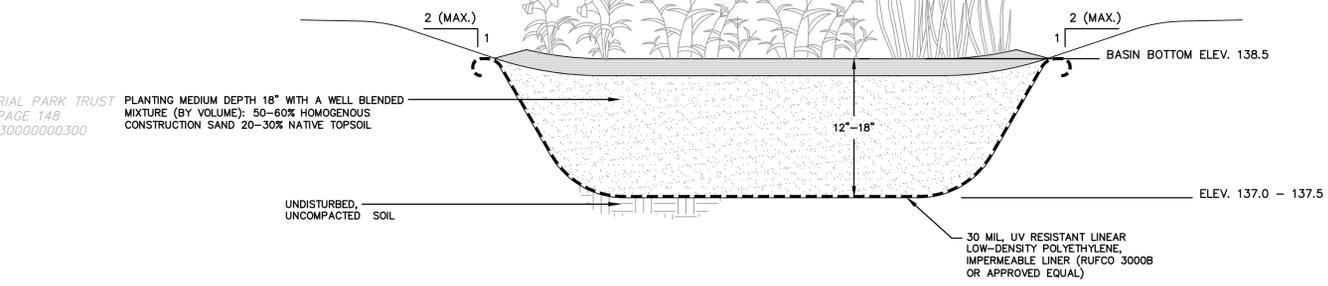
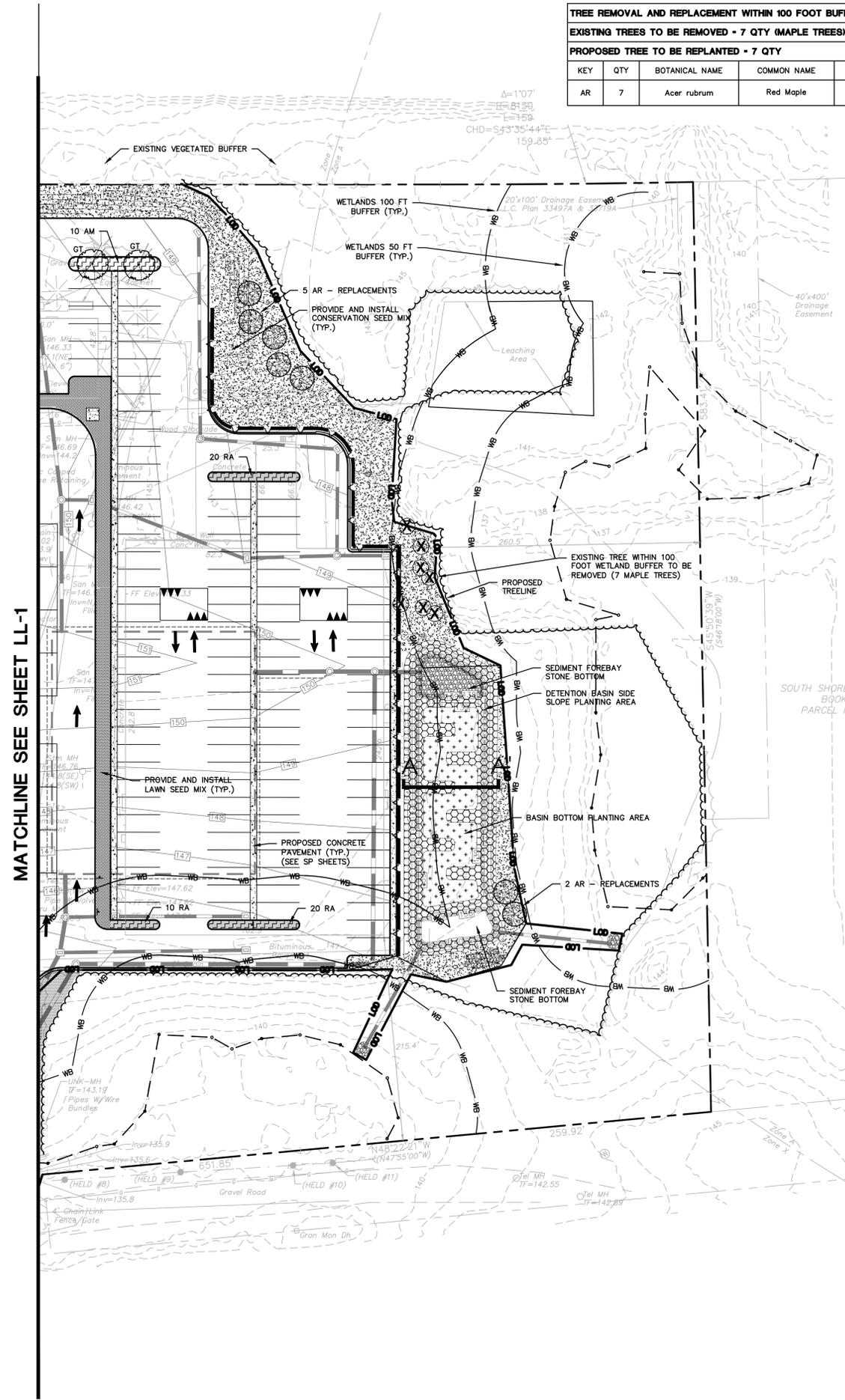
TREE REMOVAL AND REPLACEMENT WITHIN 100 FOOT BUFFER ZONE					
EXISTING TREES TO BE REMOVED - 7 QTY (MAPLE TREES)					
PROPOSED TREE TO BE REPLANTED - 7 QTY					
KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
AR	7	Acer rubrum	Red Maple	B&B	2" CAL. MIN.

DETENTION BASIN PLANTING SCHEDULE					
BASIN BOTTOM PLANTING AREA (3,200 SF ±) (6"-12" WATER DEPTH)					
QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	
300	Acorus calamus	Sweet Flag	2" PLUG	PLANT 12" O.C.	
300	Carex stricta	Tussock Sedge	2" PLUG	PLANT 12" O.C.	
300	Juncus effusus	Soft Rush	2" PLUG	PLANT 12" O.C.	
300	Scirpus validus	Soft-Stem Bulrush	2" PLUG	PLANT 12" O.C.	
100	Sparganium eurycarpum	Giant Burreed	2" PLUG	PLANT 36" O.C.	
SIDE SLOPE PLANTING AREA (6,400 SF ±)					
60	Cephalanthus occidentalis	Buttonbush	18"-24"	PLANT 4' O.C.	
60	Ilex verticillata	Winterberry	18"-24"	PLANT 4' O.C.	
60	Viburnum dentatum	Arrowwood Viburnum (Upper Slope)	18"-24"	PLANT 4' O.C.	
200	Panicum virgatum	Switchgrass (Upper Slope)	2" PLUG	PLANT 18" O.C.	
200	Acorus calamus	Sweet Flag	2" PLUG	PLANT 12" O.C.	
200	Carex stricta	Tussock Sedge	2" PLUG	PLANT 12" O.C.	
200	Juncus effusus	Soft Rush	2" PLUG	PLANT 12" O.C.	

LANDSCAPE KEY

- PROVIDE AND INSTALL DECIDUOUS SHADE TREE
- PROVIDE AND INSTALL FLOWERING TREE
- PROVIDE AND INSTALL EVERGREEN TREE
- PROVIDE AND INSTALL LAWN SEED MIX
- PROVIDE AND INSTALL SHRUBS & GROUNDCOVER PLANTINGS
- PROVIDE AND INSTALL CONSERVATION SEED MIX
- PROVIDE AND INSTALL IMPERMEABLE LINER BELOW LANDSCAPE ISLAND
- DETENTION BASIN SIDE SLOPE PLANTING AREA
- BASIN BOTTOM PLANTING AREA
- WETLAND BUFFER
- PROPOSED TREE LINE

NOTES:
 1) PLUG PLANTINGS TO BE DISTRIBUTED EVENLY THROUGHOUT PLANTING AREA.
 2) SPECIES SHALL GROUPED TOGETHER IN MINIMUM QUANTITY OF 5.
 3) REFER TO PLANTING DETAILS ON SHEET LL-3.
 4) WET SEED MIX (HYDROSEED) TO BE INSTALLED AT THE BASIN BOTTOM PLANTING AREA FOR GROUNDCOVER ESTABLISHMENT. PLUG PLANTINGS TO BE INSTALLED AFTER HYDROSEEDING HAS BEEN COMPLETED.
 5) CONSERVATION SEED MIX (HYDROSEED) TO BE INSTALLED AT SIDE SLOPE PLANTING AREA FOR GROUNDCOVER ESTABLISHMENT. SHRUB AND PLUG PLANTINGS TO BE INSTALLED AFTER HYDROSEEDING HAS BEEN COMPLETED.



**SEE SHEET LL-0 FOR
LANDSCAPE PLANT SCHEDULE**

**SEE SHEET LL-3 FOR LANDSCAPE
DETAILS AND NOTES**

**SEE SHEET GN-1 FOR SITEWORK
GENERAL NOTES**

**FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION**



Disc: Revised per Staff and Commission Comments
 Revised per Staff and Commission Comments

REVISIONS	Date	Description
No. 1	06/17/2020	
No. 2	06/17/2020	

Designed	W.E.V.
Drawn	W.E.V.
Reviewed	
Scale	1"=40'
Project No.	1901517
Date	03/06/2020
CAD File:	LL190151701

Title: **LANDSCAPE PLAN**

Sheet No.

LANDSCAPE NOTES

1. THE LANDSCAPE PLAN AND DETAIL SHEET ARE FOR LANDSCAPING INFORMATION ONLY. REFER TO THE SITE PLAN, GRADING AND DRAINAGE PLAN, SITE UTILITIES PLAN, LIGHTING PLAN AND REMEDIATION PLAN FOR ALL OTHER INFORMATION.
2. COORDINATE PLANT MATERIAL LOCATIONS WITH SITE UTILITIES. UTILITY LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE. EXERCISE CARE WHEN DIGGING IN AREAS OF POTENTIAL CONFLICT WITH UNDERGROUND OR OVERHEAD UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONTRACTOR'S NEGLIGENCE AND SHALL REPLACE OR REPAIR ANY DAMAGE AT CONTRACTOR'S EXPENSE.
3. THE LOCATIONS FOR PLANT MATERIAL ARE APPROXIMATE AND ARE SUBJECT TO FIELD ADJUSTMENT DUE TO UTILITY LOCATIONS AND SITE CONDITIONS. THE CONTRACTOR SHALL ACCURATELY STAKE OUT THE LOCATIONS FOR ALL PLANTS FOR THE REVIEW, ADJUSTMENT, AND APPROVAL BY OWNER OR LANDSCAPE ARCHITECT PRIOR TO PLANTING.
4. THE CONTRACTOR SHALL GUARANTEE THAT ALL PLANTS SHALL BE HEALTHY AND FREE OF DISEASE FOR A PERIOD OF ONE YEAR OR JUNE 1ST OF THE YEAR FOLLOWING INSTALLATION, WHICHEVER IS LONGER. AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE BY OWNER OR LANDSCAPE ARCHITECT, CONTRACTOR SHALL REPLACE ANY DEAD OR UNHEALTHY PLANTS AT CONTRACTOR'S EXPENSE. PLANT MATERIAL REPLACEMENTS SHALL BE GUARANTEED FOR ONE FULL YEAR FROM DATE OF REPLACEMENT. REPLACEMENT PLANTS SHALL BE THE SAME AS SPECIFIED FOR THE ORIGINAL PLANTING. REPLACEMENTS SHALL BE MADE AS MANY TIMES AS NECESSARY TO ENSURE HEALTHY PLANTS. FINAL ACCEPTANCE SHALL BE MADE IF ALL PLANTS MEET THE GUARANTEE REQUIREMENTS INCLUDING MAINTENANCE, MAINTENANCE RESPONSIBILITIES INCLUDE CULTIVATING, SPRAYING, WEEDING, WATERING, FERTILIZING, PRUNING, MULCHING, AND ANY OTHER OPERATIONS NECESSARY TO MAINTAIN PLANT VIABILITY. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING AND CONTINUE UNTIL THE END OF THE GUARANTEE PERIOD. DURING THE LANDSCAPE MAINTENANCE PERIOD (GUARANTEE) THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF ANY SITE CONSTRAINTS (PHYSICAL, ENVIRONMENT, ETC.) OR MAINTENANCE DEFICIENCIES THAT MAY AFFECT LANDSCAPE VEGETATION ESTABLISHMENT.
5. THE CONTRACTOR SHALL SUPPLY ALL LABOR, PLANTS, AND MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT SCHEDULE. IN THE EVENT OF A DISCREPANCY BETWEEN THE QUANTITIES SHOWN IN THE PLANT SCHEDULE AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER SHALL APPLY. ALL PLANTS SHALL BE ACCLIMATED BY THE SUPPLY NURSERY TO THE LOCAL HARDINESS ZONE AND BE CERTIFIED THAT THE PLANTING MATERIAL HAS BEEN GROWN FOR A MINIMUM OF TWO YEARS AT THE SOURCE AND OBTAINED WITHIN 200 MILES OF PROJECT SITE UNLESS OTHERWISE APPROVED BY OWNER OR LANDSCAPE ARCHITECT.
6. PLANTS SHALL HAVE TAGS THAT IDENTIFY PLANT GENUS, SPECIES, CULTIVAR (IF APPLICABLE), PLANT COMMON NAME, NAME OF SOURCE NURSERY, AND SIZE OF PLANT FOR REVIEW BY OWNER OR LANDSCAPE ARCHITECT.
7. NO PLANT SHALL BE PLACED IN THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT. STAKING THE LOCATION OF ALL TREES AND SHRUBS SHALL BE COMPLETED PRIOR TO PLANTING FOR APPROVAL BY THE OWNER OR LANDSCAPE ARCHITECT.
8. FINAL GRADES SHALL BLEND SMOOTHLY WITH EXISTING GRADES, AND TOP AND BOTTOM OF SLOPES SHALL BE ROUNDED.
9. ALL TREE AND SHRUB MASSINGS SHALL BE MULCHED TO A DEPTH OF 3". ANNUAL AND PERENNIAL BEDS SHALL BE MULCHED TO A DEPTH OF 2". MULCH SHALL BE UNCOLORED TRIPLE-SHREDDED HARDWOOD BARK MULCH, AGED AT LEAST 6 MONTHS.
10. IF TREE STAKING IS PROPOSED, TREE STAKING MUST BE COMPLETED THE SAME DAY AS THE TREE IS INSTALLED. ALL TREES SHALL BE STAKED OR GUYED PER DETAIL.
11. LANDSCAPE PLANTING AREAS MUST BE FREE DRAINING. PAVEMENT, COMPACTED SUBGRADE, DEAD OR DYING PLANT MATERIAL, BLASTED ROCK, STONES GREATER THAN 1" IN DIAMETER, AND ANY OTHER MATERIAL HARMFUL TO PLANT GROWTH AND DEVELOPMENT SHALL BE REMOVED FROM AREAS TO BE LANDSCAPED AS REQUIRED BY PLANTING DETAILS OR SPECIFICATIONS.
12. PLANTING SOIL:

DEPTH: PLANTING SOIL SHALL BE INSTALLED AT A MINIMUM DEPTH OF 4" OR AS NOTED IN THE LANDSCAPE DETAILS. PLANTING SOIL SHALL BE UTILIZED IN ALL PLANTING AREAS INCLUDING SEEDED AREAS.

TESTING: CONTRACTOR SHALL SUBMIT (2) SOIL SAMPLES PER SOIL STOCKPILE TO A CERTIFIED TESTING LABORATORY TO DETERMINE ACIDITY, ORGANIC CONTENT, MECHANICAL ANALYSIS, AVAILABLE NUTRIENTS (N,P,K,Ca,Mg,S,Fe,Mn,Zn,Cu,B,Al,Pb) AND NECESSARY AMENDMENTS TO SOIL. THE CONTRACTOR SHALL SUBMIT THE TEST RESULTS TO THE OWNER OR LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. TEST RESULTS SHALL RECOMMEND AMENDMENTS THAT WILL ALTER THE SOIL CHARACTERISTICS SUCH THAT THE CHARACTERISTICS DESCRIBED BELOW ARE ACHIEVED AND THE SPECIFIED PLANTS (CONTRACTOR TO PROVIDE LIST TO TESTING LABORATORY) WILL ACHIEVE PROPER GROWTH THAT IS NEITHER DEFICIENT NOR EXCESSIVE. THE CONTRACTOR SHALL INCORPORATE THESE AMENDMENTS AT NO INCREASE IN CONTRACT PRICE.

CHARACTERISTICS: PLANTING SOIL MAY CONSIST OF EXISTING ON-SITE SOILS, AMENDED ON-SITE SOILS, OR IMPORTED SOILS MEETING THE FOLLOWING CRITERIA:

- A. NOT TO CONTAIN MATERIALS HARMFUL TO PLANT LIFE, TO BE CLEAN, FERTILE, FRIABLE, AND WELL DRAINING. ALL PLANTING SOIL SHALL BE FREE OF ANY SUBSOIL EARTH CLODS, SODS, STONES OVER 1" IN ANY DIMENSION, STICKS, ROOTS, WEEDS, LITTER AND OTHER DELETERIOUS MATERIAL. PLANTING SOIL SHALL BE UNIFORM IN QUALITY AND TEXTURE.
- B. PLANTING SOIL SHALL HAVE THE FOLLOWING OPTIMUM RANGES UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT:

ORGANIC CONTENT	3% - 6% FOR LAWN OR GRASS AREAS 4% - 8% FOR TREE AND SHRUB PLANTERS. 8%-16% FOR RETENTION OR DETENTION BASINS. (BY LOSS OF IGNITION AT 375 C METHOD OF TESTING)
PH	6.0 - 7.3
- C. NUTRIENT LEVELS SHALL BE ACHIEVED BY THE CONTRACTOR'S ADDITION OF AMENDMENTS TO THE PLANTING SOIL TO MEET THE OPTIMUM NUTRIENT LEVELS SPECIFIED IN THE TESTING LABORATORY REPORT FOR EACH OF PLANTS TO BE INSTALLED.
- D. SOIL SHALL BE COMPACTED TO A SURFACE PENETRATION RESISTANCE OF 75-125 LBS/SQ.IN.
- E. SOIL MAY BE TREATED FOR WEEDS WITH PRE-EMERGENT OR POST-EMERGENT HERBICIDE, AS NEEDED AND AS APPROPRIATE FOR THE APPLICATION SEASON OR LOCATION, OR ELIMINATE GROWTH OF UNWANTED PLANT MATERIALS BY APPLYING HERBICIDES IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS. HERBICIDE APPLICATOR MUST BE LICENSED IN THE COMMONWEALTH OF MASSACHUSETTS, AND PERFORM APPLICATIONS IN ACCORDANCE WITH LOCAL REQUIREMENTS, PERMITTING STIPULATIONS, AND ANY OTHER RESTRICTIONS INCLUDING AND IN EXCESS OF STATE AND FEDERAL REGULATIONS.
- F. PROPOSED TOPSOIL SHALL MEET THE USDA SOILS TEXTURAL PERCENTAGES OF SAND, SILT, AND CLAY FOR FOLLOWING CLASSIFICATIONS:
 - LOAM
 - SANDY LOAM WHERE SAND DOES NOT EXCEED 70% AND CLAY IS NOT LESS THAN 5%
 - SANDY CLAY LOAM WHERE SAND DOES NOT EXCEED 70% AND CLAY IS LESS THAN 28%
- G. BIORETENTION SOILS: SOIL TO BE INSTALLED IN RETENTION BASINS, PONDS, OR OTHER STORMWATER MANAGEMENT ENVIRONS SHALL MEET THE ABOVE DESCRIBED CHARACTERISTICS AND AS FOLLOWS:
 - SOIL SHALL NOT CONTAIN MORE THAN 20% CLAY AND LESS THAN 40% SILT.
 - SOIL SHALL HAVE AN INFILTRATION RATE BETWEEN 1/2" AND 3" PER HOUR.
- H. MODIFICATION TO THE PLANTING SOIL CHARACTERISTICS DESCRIBED ABOVE MAY BE SUBMITTED FOR APPROVAL BY THE LANDSCAPE ARCHITECT. CONTRACTOR MUST DEMONSTRATE PROPOSED CHARACTERISTICS ARE EQUAL TO OR SUPERIOR TO THE SPECIFIED CHARACTERISTICS WITH RESPECT TO SUPPORTING PLANT GROWTH, AND STORMWATER MANAGEMENT.

12. PLANTING AMENDMENTS: APPLY FERTILIZER AND OTHER AMENDMENTS AS RECOMMENDED FOR EACH PLANTING AREA BY SOIL ANALYSIS. APPLY AMENDMENTS IN A MANNER CONSISTENT WITH MANUFACTURER'S RECOMMENDATIONS. ANY ORGANIC AMENDMENTS SHALL HAVE A pH BETWEEN 4.5 AND 5.5 UNLESS OTHERWISE RECOMMENDED.

13. PLANT REQUIREMENTS: ALL PLANTS SHALL CONFORM IN SIZE AND GRADE TO THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1 (LATEST EDITION). ALL PLANTS SHALL MEET THE ADDITIONAL REQUIREMENTS SET FORTH BELOW AND IN WRITTEN SPECIFICATIONS AS APPLICABLE. ALL TREES AND SHRUBS SHALL HAVE BEEN GROWN AT A COMMERCIAL NURSERY WITHIN 200 MILES OF THE PROJECT SITE UNLESS OTHERWISE APPROVED BY OWNER OR LANDSCAPE ARCHITECT. THEY SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY. THEY SHALL BE HEALTHY, SYMMETRICAL, EVENLY AND DENSELY BRANCHED, AND DENSELY FOLIATED WHEN IN LEAF. THEY SHALL BE FREE OF BARK INJURY, DISEASE, AND INSECT PESTS. ALL TREES SHALL HAVE A STRAIGHT TRUNK WITH A SINGLE MAIN LEADER UNLESS OTHERWISE CHARACTERISTIC OF THE SPECIES OR VARIETY. THE OWNER OR LANDSCAPE ARCHITECT WILL ALLOW SUBSTITUTIONS ONLY UPON WRITTEN APPROVAL. SIZES SHALL CONFORM TO THE MEASUREMENT SPECIFIED ON THE DRAWINGS. PLANTS LARGER THAN SPECIFIED MAY BE USED IF APPROVED, BUT THE USE OF SUCH PLANTS SHALL NOT INCREASE THE CONTRACT PRICE. ALL OVERSTORY TREES PLANTED ALONG PARKING AREAS, SIDEWALKS AND PEDESTRIAN ACCESSES SHALL NOT BRANCH BELOW 7' FEET IF THE TREE CALIPER IS 3" INCHES OR GREATER. ALL PLANT MATERIALS ARE SUBJECT TO INSPECTION AND ACCEPTANCE BY THE OWNER OR LANDSCAPE ARCHITECT AT THE NURSERY SOURCE. THE CONTRACTOR SHALL COORDINATE SOURCE VISITS WITH THE LANDSCAPE ARCHITECT AND SHALL ACCOMPANY THE OWNER AND/OR LANDSCAPE ARCHITECT FOR ALL INSPECTIONS. CERTIFICATES OF COMPLIANCE WITH SPECIFICATIONS ARE REQUIRED FOR ALL PLANTS.

14. INSPECTION AND REVIEW: ALL PLANT MATERIAL SHALL BE SUBJECT TO INSPECTION AND ACCEPTANCE BY THE OWNER OR LANDSCAPE ARCHITECT AT THE NURSERY SOURCE OR PLACE OF GROWTH. THE CONTRACTOR SHALL COORDINATE WITH THE LANDSCAPE ARCHITECT ON A SCHEDULE FOR SOURCE VISITS AND ACCOMPANY THE OWNER OR LANDSCAPE ARCHITECT FOR ALL SOURCE INSPECTIONS. CERTIFICATES OF COMPLIANCE ARE REQUIRED FOR ALL PLANT MATERIALS. PHOTOGRAPHIC REVIEW OF PLANT MATERIAL IS ACCEPTABLE IF APPROVED BY LANDSCAPE ARCHITECT. PHOTOGRAPHS MUST BE PROVIDED IN QUANTITY AND VARIETY TO ALLOW LANDSCAPE ARCHITECT SUFFICIENT INFORMATION TO MAKE A REASONABLE DETERMINATION AS TO THE PLANTS' QUALITY. OWNER AND LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT PLANT MATERIAL DELIVERED TO THE SITE BUT PREVIOUSLY ACCEPTED IF DAMAGED OR NOT PROPERLY MAINTAINED DURING THE DELIVERY PROCESS.

15. PLANTING SEASONS (UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT)

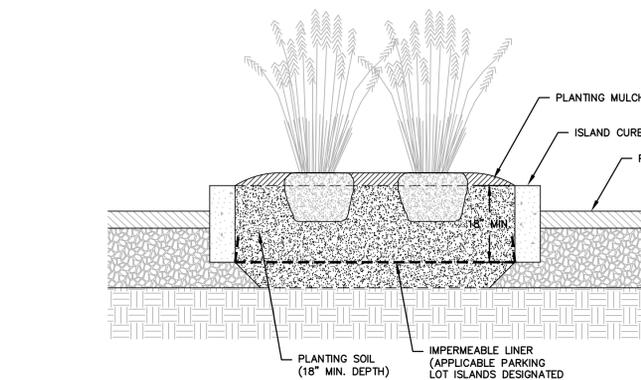
EVERGREEN TREES AND SHRUBS	SPRING	FALL
DECIDUOUS TREES AND SHRUBS	APRIL 1 TO JUNE 15	SEPTEMBER 1 TO OCTOBER 15
SEED MIXES	APRIL 1 TO JUNE 15	SEPTEMBER 15 TO NOVEMBER 15

PER MANUFACTURERS RECOMMENDATIONS OR AS LISTED IN SEED MIX NOTES

16. SEEDING MIXTURES: REFER TO SEED MIX NOTES.
17. ALL SLOPES STEEPER THAN 3:1 RECEIVING A SEED MIX SHALL BE COVERED WITH AN EROSION CONTROL BLANKET OF STRAW FIBER AND BIODEGRADABLE OR PHOTODEGRADABLE NETTING.
18. UNLESS OTHERWISE NOTED IN DRAWING SET, NEW TREELINES SHALL EQUAL CLEARING AND GRUBBING LIMIT FOR CONSTRUCTION.
19. ALL DISTURBED AREAS NOT OTHERWISE DEVELOPED SHALL BE SEEDED WITH THE LAWN SEED MIX.

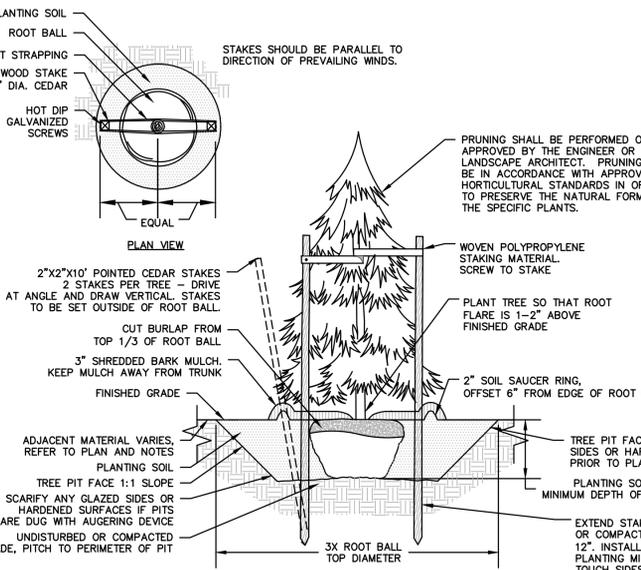
SEED MIX NOTES

- A. LAWN SEEDING MIX:
 - 15 % PERENNIAL RYEGRASS (BLEND OF 3 IMPROVED HYBRIDS)
 - 25 % FINE LEAF OR CREEPING FESCUE (BLEND OF 3 IMPROVED HYBRIDS)
 - 60 % KENTUCKY BLUEGRASS (BLEND OF 3 IMPROVED HYBRIDS)
 SEEDING RATE: 5 LBS/1,000 S.F.
 SEEDING DATES: AUGUST 15 - OCTOBER 1 AND APRIL 15 - JUNE 30 UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.
- B. CONSERVATION SEED MIX -
 - NEW ENGLAND CONSERVATION/WLDLIFE MIX
 - NEW ENGLAND WETLAND PLANTS INC. OR APPROVED EQUAL
 SPECIES: VIRGINIA WILD RYE (ELYMUS VIRGINICUS), LITTLE BLUESTEM (SCHIZACHYRIUM SCOPARIUM), BIG BLUESTEM (ANDROPOGON GERARDII), CREEPING RED FESCUE (FESTUCA RUBRA), SWITCH GRASS (PANICUM VIRGATUM), PARTRIDGE PEA (CHAMAECRISTA FASCICULATA), PANICLED LEAD TICK TREFOL (CESMODIUM PANGICULATUM), INDIAN GRASS (SORGHASTRUM NUTANS), BLUE VERVAIN (VERBENA HASTATA), BUTTERFLY MILKWEED (ASCLEPIAS TUBEROSA), BLACK EYE SUSAN (RUDBECKIA HIRTA), COMMON SNEEZEWEED (HELIENIUM AUTUNALE), HEATH ASTER (ASTERILOPUS/SYMPHYOTRICHUM PILOSUM), EARLY GOLDENROD (SOLIDAGO JUNCEA), UPLAND BENTGRASS (AGROSTIS PERENNANS).
 APPLICATION RATE: 25 LBS/ ACRE (1 LB PER 1,750 SF)
 SEEDING DATES: AUGUST 15 - OCTOBER 1 AND APRIL 15 - JUNE 30 UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.
- C. WET SEED MIX -
 - NEW ENGLAND WET MIX
 - NEW ENGLAND WETLAND PLANTS INC. OR APPROVED EQUAL
 SPECIES: FOX SEDGE (CAREX VULPINOIDEA), LURID SEDGE (CAREX LURIDA), BLUNT BROOM SEDGE (CAREX SCOPARIA), BLUE VERVAIN (VERBENA HASTATA), FOWL BLUEGRASS (POA PALUSTRIS), HOP SEDGE (CAREX LUPULINA), GREEN BULRUSH (SCIRPUS ATROVIRENS), CREEPING SPIKE RUSH (ELEOCHARIS PALUSTRIS), FRINGED SEDGE (CAREX CRINITA), SOFT RUSH (JUNCUS EFFUSUS), SPOTTED JOE PYE WEED (EUPATORIUM MACULATUM), RATTLESNAKE GRASS (GLYCYERIA CANADENSIS), SWAMP ASTER (ASTER PUNICEUS), BLUEFLAG (IRIS VERSICOLOR), SWAMP MILKWEED (ASCLEPIAS INCARNATA), SQUARE STEMMED MONKEY FLOWER (MIMULUS RINGENS).
 APPLICATION RATE: 18 LBS/ ACRE (1 LB PER 2,500 SF)
 SEEDING DATES: AUGUST 15 - OCTOBER 1 AND APRIL 15 - JUNE 30 UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.



PARKING LOT ISLAND WITH LINER

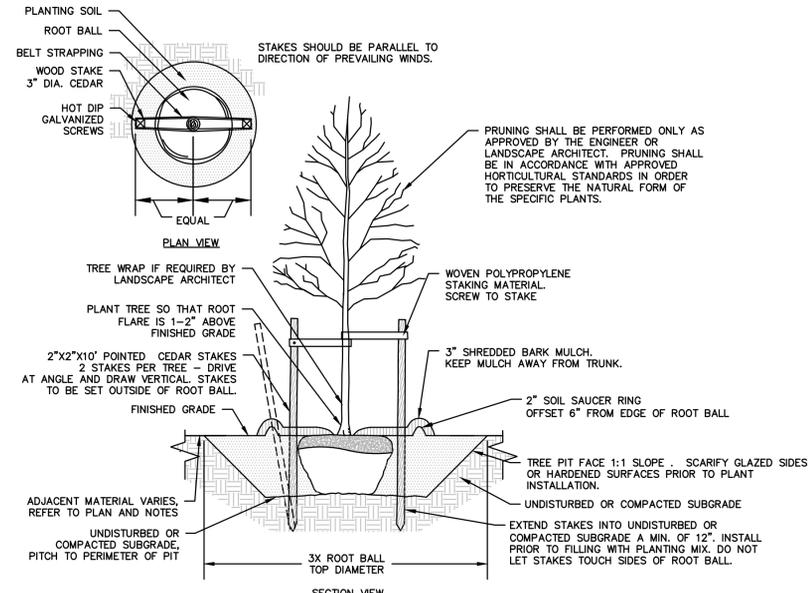
N.T.S.



- NOTES:
1. STAKING FOR TREES ON 4:1 SLOPES OR LESS TO BE PERFORMED AT CONTRACTOR'S DISCRETION.
 2. WOVEN POLYPROPYLENE STAKING MATERIAL SHALL BE DEEPROOT ABORTIVE (GREEN) OR APPROVED EQUIVALENT. MATERIAL SHALL BE LOOPED AROUND TREE THROUGH EACH OTHER, TWISTED, AND SECURED TO THE STAKE. INSTALL SPECIFIED MATERIAL IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS.
 3. BEFORE IN HOLE, REMOVE BOTTOM OF CAGE. ONCE IN HOLE, REMOVE REST OF CAGE FROM ROOT BALL. REMOVE TWINE AND BURLAP FROM TOP 1/3 OF ROOT BALL. SCORE REMAINING 2/3 OF BURLAP. IF BURLAP IS SYNTHETIC OR HAS BEEN TREATED WITH ANTI-DESSICANT, COMPLETELY REMOVE IT FROM ROOT BALL.

EVERGREEN TREE PLANTING

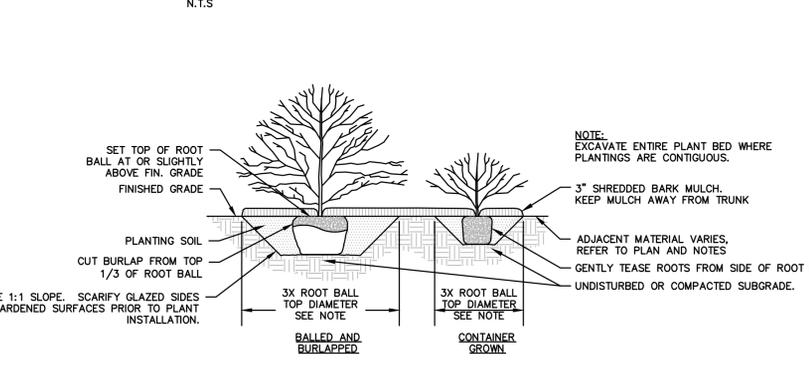
N.T.S.



- NOTES:
1. STAKING FOR TREES ON 4:1 SLOPES OR LESS THAN 3" CALIPER TO BE PERFORMED AT CONTRACTORS DISCRETION.
 2. WOVEN POLYPROPYLENE STAKING MATERIAL SHALL BE DEEPROOT ABORTIVE (GREEN) OR APPROVED EQUIVALENT. MATERIAL SHALL BE LOOPED AROUND TREE THROUGH EACH OTHER, TWISTED, AND SECURED TO THE STAKE. INSTALL SPECIFIED MATERIAL IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS.
 3. BEFORE IN HOLE, REMOVE BOTTOM OF CAGE. ONCE IN HOLE, REMOVE REST OF CAGE FROM ROOT BALL. REMOVE TWINE AND BURLAP FROM TOP 1/3 OF ROOT BALL. SCORE REMAINING 2/3 OF BURLAP. IF BURLAP IS SYNTHETIC OR HAS BEEN TREATED WITH ANTI-DESSICANT, COMPLETELY REMOVE IT FROM ROOT BALL.

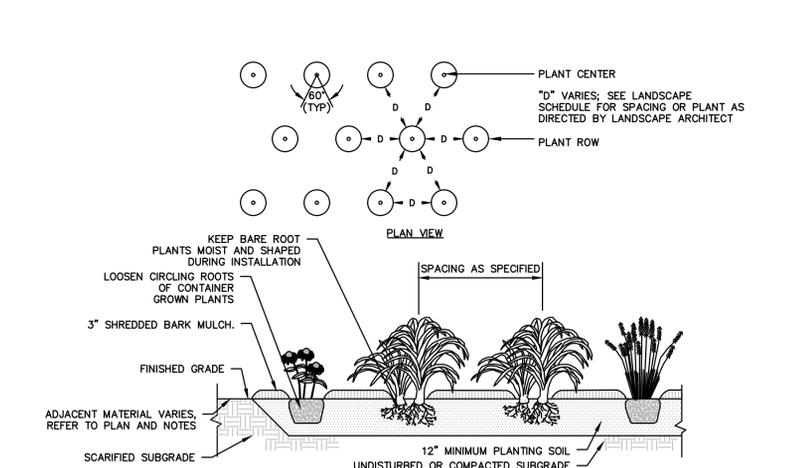
DECIDUOUS TREE PLANTING

N.T.S.



SHRUB PLANTING

N.T.S.



GROUNDCOVER / PLUG PLANTING

N.T.S.

**FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION**



355 Research Parkway
Meriden, CT 06450
(203) 630-1406
(203) 630-2615 Fax



PROPOSED DEVELOPMENT
100 INDUSTRIAL PARK ROAD
HINGHAM, MASSACHUSETTS

Dec: Review per Staff and Commission Comments

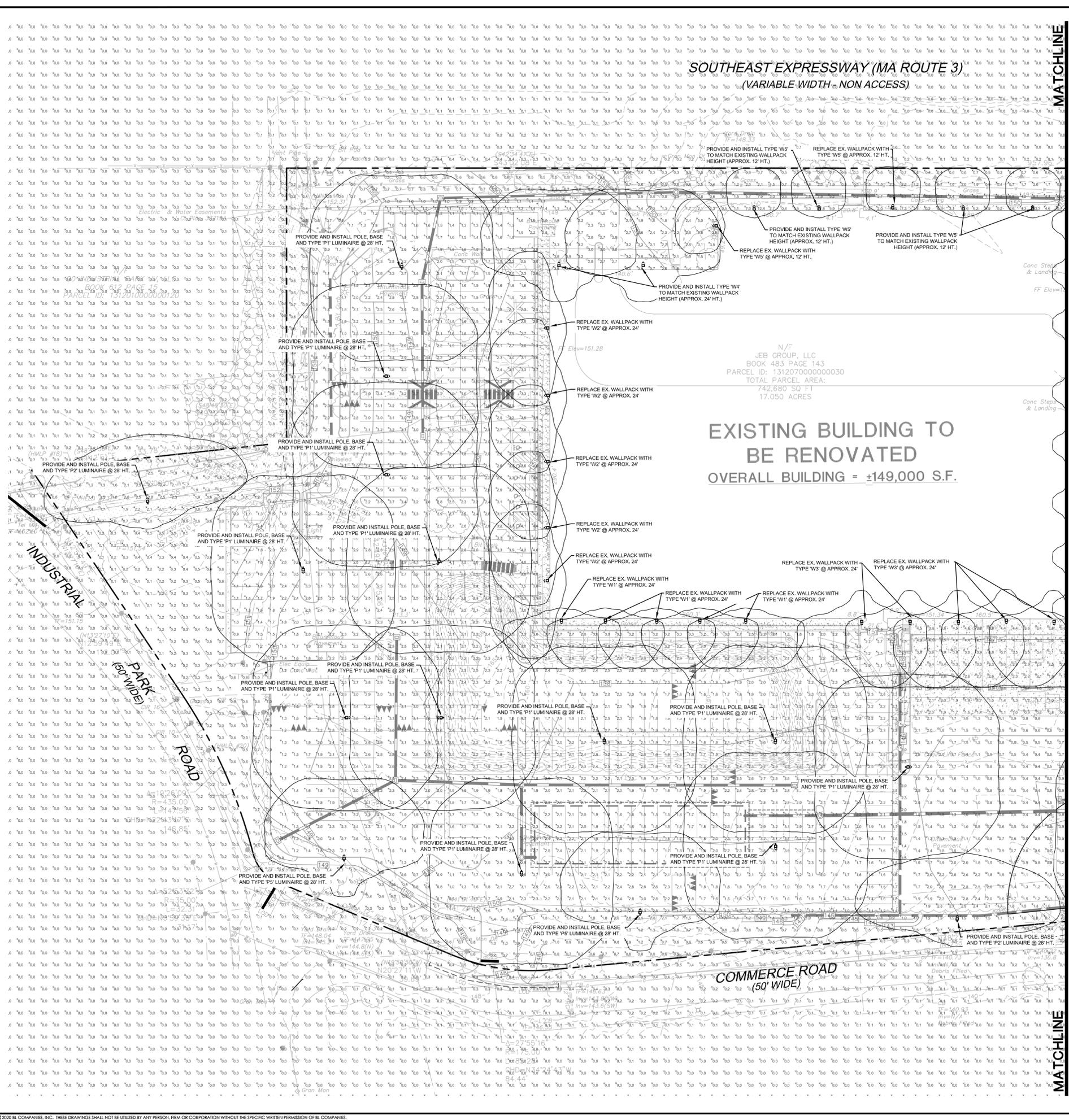
REVISIONS			
No.	Date	By	Checked
1.	05/12/2020		
Designed	W.E.V.		
Drawn	W.E.V.		
Reviewed			
Scale	NIS		
Project No.	1901517		
Date	03/04/2020		
CAD File:	LL190151701		
Title			

LANDSCAPE DETAILS & NOTES

Sheet No.

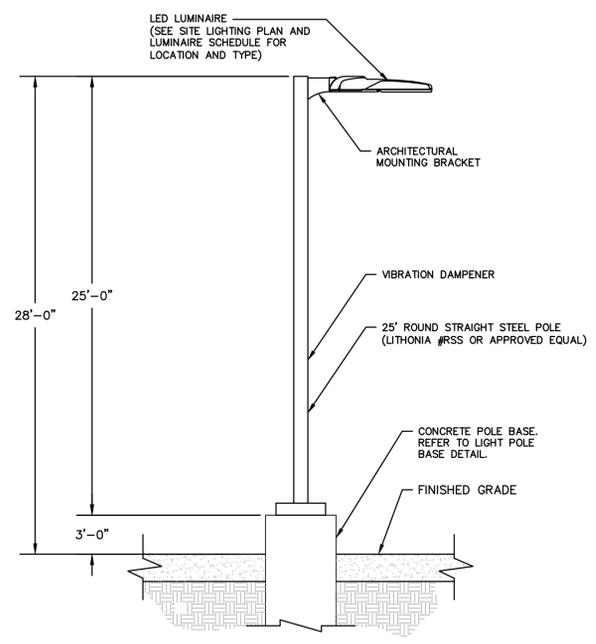
LL-3

SOUTHEAST EXPRESSWAY (MA ROUTE 3)
(VARIABLE WIDTH, NON ACCESS)

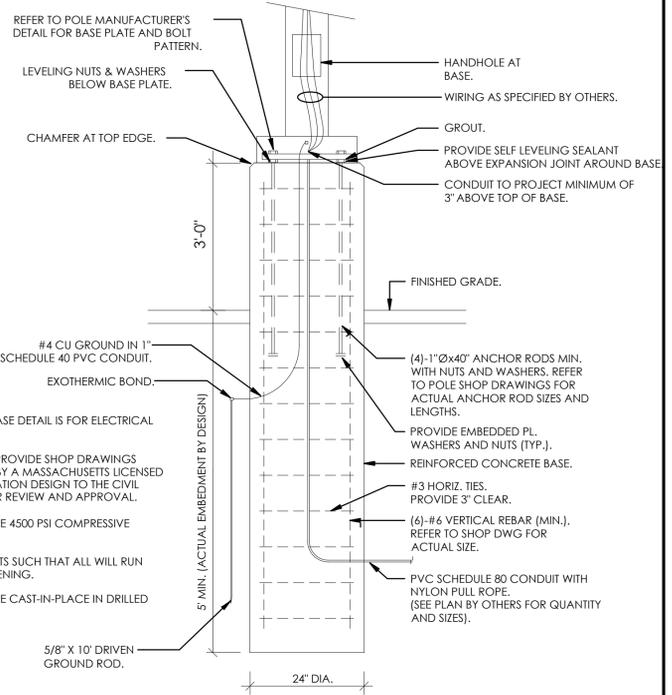


EXISTING BUILDING TO BE RENOVATED
OVERALL BUILDING = ±149,000 S.F.

N/F
JEB GROUP, LLC
BOOK 483 PAGE 143
PARCEL ID: 1312070000000030
TOTAL PARCEL AREA:
742,880 SQ. FT.
17.050 ACRES



TYPICAL LUMINAIRE MOUNTING DETAIL
N.T.S.

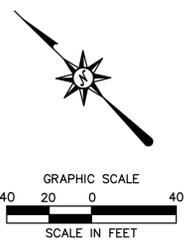


TYPICAL CONCRETE LIGHT POLE BASE DETAIL
N.T.S.

MATCHLINE SEE SHEET LP-2

NOTES:

1. CONCRETE POLE BASE DETAIL IS FOR ELECTRICAL FEATURES ONLY.
2. CONTRACTOR TO PROVIDE SHOP DRAWINGS SIGNED AND SEALED BY A MASSACHUSETTS LICENSED ENGINEER OF FOUNDATION DESIGN TO THE CIVIL DESIGN ENGINEER FOR REVIEW AND APPROVAL.
3. CONCRETE SHALL BE 4500 PSI COMPRESSIVE STRENGTH.
4. ARRANGE CONDUITS SUCH THAT ALL WILL RUN WITHIN POLE BASE OPENING.
5. CONCRETE SHALL BE CAST-IN-PLACE IN DRILLED EXCAVATION.



SEE SHEET LP-0 FOR LIGHTING NOTES

SEE SHEET LP-2 FOR LUMINAIRE SCHEDULE

**FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION**

SITE WORK GENERAL NOTES

- 1. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION.
2. ALL CONSTRUCTION SHALL COMPLY WITH THE PROJECT SPECIFICATION MANUAL, CORPORATION STANDARDS, MUNICIPAL STANDARDS AND SPECIFICATIONS, COUNTY STANDARDS AND SPECIFICATIONS, THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS, 2010 ADA STANDARDS, AND STATE BUILDING CODE IN THE ABOVE REFERENCED INCREASING HIERARCHY.
3. REFER TO OTHER PLANS BY OTHER DISCIPLINES, DETAILS AND PROJECT MANUAL FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE AND BUILDING CONDITIONS IN THE FIELD AND CONTACT THE CIVIL ENGINEER AND ARCHITECT IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS.
4. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES.
5. THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES.
6. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORD DRAWINGS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES AND STORMWATER SYSTEM) TO THE OWNER AT THE END OF CONSTRUCTION.
7. THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION.
8. THE CONTRACTOR SHALL COMPLY WITH CFR 29 PART 1926 FOR EXCAVATION, TRENCHING, AND TRENCH PROTECTION REQUIREMENTS.
9. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL OR COUNTY OR STATE RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE.
10. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN OVER SCALED DIMENSIONS.
11. IF PLANS AND OR SPECIFICATIONS ARE IN CONFLICT, THE MOST COSTLY SHALL APPLY.
12. ALL CONTRACTORS AND SUBCONTRACTORS SHALL OBTAIN COMPLETE DRAWING PLAN SETS FOR BIDDING AND CONSTRUCTION.
13. ALL NOTES AND DIMENSIONS DESIGNATED 'TYPICAL' APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE PROJECT.
14. CONTRACTOR(S) TO TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK AND BE RESPONSIBLE FOR COORDINATION OF SAME.
15. BL COMPANIES WILL PREPARE FINAL CONSTRUCTION DOCUMENTS SUITABLE FOR BIDDING AND CONSTRUCTION.
16. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
17. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS AND MATERIALS PER PLANS AND SPECIFICATIONS TO THE OWNER AND CIVIL ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE.
18. THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE SEDIMENT AND EROSION CONTROL NOTES SHEET.
19. THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING, RAISED CONCRETE SIDEWALKS, LANDINGS, RAMPS, AND STAIRS.
20. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE CIVIL ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
21. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING AS APPLICABLE UNLESS OTHERWISE NOTED.
22. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, TEMPORARY WALKWAYS, TRAFFIC CONTROLLERS AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED OR AS ORDERED BY THE ENGINEER OR AS REQUIRED BY THE LOCAL GOVERNING AUTHORITIES OR AS REQUIRED BY PERMIT STIPULATIONS OR AS REQUIRED BY THE OWNER.
23. TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE COMMONWEALTH DOT STANDARD DETAIL SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
24. REFER TO DETAIL SHEETS FOR PAVEMENT, CURBING, AND SIDEWALK INFORMATION.
25. THE CONTRACT LIMIT IS THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED OR SHOWN ON THE CONTRACT DRAWINGS.
26. THE CONTRACTOR SHALL SUBMIT A SHOP DRAWING OF THE PAVEMENT MARKING PAINT MIXTURE PRIOR TO STRIPING.
27. PAVEMENT MARKING KEY:
4" SYL 4" SOLID YELLOW LINE
4" SWL 4" SOLID WHITE LINE
12" SWB 12" SOLID WHITE STOP BAR
28. PARKING SPACES SHALL BE STRIPED WITH 4" SWL; HATCHED AREA SHALL BE STRIPED WITH 4" SWL AT A 45° ANGLE, 2" ON CENTER.
29. ALL PARKING SPACES AND HATCHED AREAS SHALL HAVE TWO COATS OF PAVEMENT MARKINGS APPLIED TO STRIPING.
30. PAVEMENT MARKINGS SHALL BE HOT APPLIED TYPE IN ACCORDANCE WITH STATE DOT SPECIFICATIONS, UNLESS WHERE EPOXY RESIN PAVEMENT MARKINGS ARE INDICATED.
31. THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, SMALL PAVEMENT MARKINGS, OR SIGNAGE DISTURBED DURING DEMOLITION AND/OR CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE CIVIL ENGINEER AND TO THE SATISFACTION OF THE OWNER AND TO THE TOWN OF HINGHAM.
32. EXISTING BOUNDARY AND TOPOGRAPHY IS BASED ON DRAWING TITLED "ALTA/NSPS LAND TITLE SURVEY" FOR LAND OF JEB GROUP, LLC, 100 INDUSTRIAL PARK ROAD, HINGHAM, PLYMOUTH COUNTY, MASSACHUSETTS, SCALE 1"=50', DATED 9/27/2019, BY BL COMPANIES, INC.
33. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, CIVIL ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION DURING THE BIDDING PROCESS.
34. A DEMOLITION PERMIT IS REQUIRED FOR EXISTING BUILDINGS.
35. THE SITE IS CURRENTLY SERVICED BY PUBLIC WATER.
36. THE PROJECT PARCEL IS LOCATED PARTLY OR WHOLLY WITHIN A FEMA DESIGNATED FLOOD HAZARD AREA.
37. FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FIRE DISTRICT FIRE MARSHAL.
38. THE CONTRACTOR SHALL REMOVE CONFLICTING PAVEMENT MARKINGS IN THE ROADWAY BY METHOD APPROVED BY THE AUTHORITY HAVING JURISDICTION OR DOT AS APPLICABLE FOR THE LOCATION OF THE WORK.
39. ALL ADA DESIGNATED PARKING STALLS, ACCESS AISLES AND PEDESTRIAN WALKWAYS SHALL CONFORM TO THE CURRENT VERSION OF THE AMERICANS WITH DISABILITIES ACT STANDARDS FOR ACCESSIBLE DESIGN AND ANSI STANDARDS AND AS MAY BE SUPERCEDED BY THE STATE BUILDING CODE.
40. CONSTRUCTION OCCURRING ON THIS SITE SHALL COMPLY WITH NFPA 241 STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION AND DEMOLITION OPERATIONS, AND NFPA 1 FIRE CODE.
41. BUILDINGS, INCLUDING FOUNDATION WALLS AND FOOTINGS AND BASEMENT SLABS INDICATED ON THE DEMOLITION PLAN ARE TO BE REMOVED FROM THE SITE.
42. SEDIMENT AND EROSION CONTROLS AS SHOWN ON THE SEDIMENT AND EROSION CONTROL PLAN SHALL BE INSTALLED BY THE DEMOLITION CONTRACTOR PRIOR TO START OF DEMOLITION AND CLEARING AND GRUBBING OPERATIONS.
43. REMOVE AND DISPOSE OF ANY SIDEWALKS, FENCES, STAIRS, WALLS, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED OFF SITE LANDFILL, BY AN APPROVED HAULER.
44. THE CONTRACTOR SHALL SECURE ALL PERMITS FOR HIS DEMOLITION AND DISPOSAL OF HIS DEMOLITION MATERIAL TO BE REMOVED FROM THE SITE.
45. ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL ABATEMENT CONTRACTOR.
46. THE CONTRACTOR SHALL PREPARE ALL MANIFEST DOCUMENTS AS REQUIRED PRIOR TO COMMENCEMENT OF DEMOLITION.
47. THE CONTRACTOR SHALL CUT AND PLUG OR ARRANGE FOR THE APPROPRIATE UTILITY PROVIDER TO CUT AND PLUG SERVICE PIPING AT THE STREET LINE OR AT THE MAIN, AS REQUIRED BY THE UTILITY PROVIDER, OR AS OTHERWISE NOTED OR SHOWN ON THE CONTRACT DRAWINGS.
48. THE CONTRACTOR SHALL PROTECT ALL IRON PINS, MONUMENTS AND PROPERTY CORNERS DURING DEMOLITION AND CONSTRUCTION ACTIVITIES.
49. THE DEMOLITION CONTRACTOR SHALL STABILIZE THE SITE AND KEEP EROSION CONTROL MEASURES IN PLACE UNTIL THE COMPLETION OF HIS WORK OR UNTIL THE COMMENCEMENT OF WORK BY THE SITE CONTRACTOR, WHICHEVER OCCURS FIRST, AS REQUIRED OR DEEMED NECESSARY BY THE ENGINEER OR OWNER'S REPRESENTATIVE.

- PLAN, AT THAT TIME.
50. THE CONTRACTOR SHALL PUMP OUT BUILDING FUEL AND WASTE OIL TANKS (IF ANY ARE ENCOUNTERED) AND REMOVE FUEL TO AN APPROVED DISPOSAL AREA BY A LICENSED WASTE OIL HANDLING CONTRACTOR IN STRICT ACCORDANCE WITH STATE REQUIREMENTS.
51. IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK OF IMPACTED SOIL AND NOTIFY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL LOCATION UNTIL FURTHER INSTRUCTED BY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT.
52. EXISTING WATER SERVICES FOR BUILDINGS BEING DEMOLISHED SHALL BE DISCONNECTED AND CAPPED AT MAIN IN ACCORDANCE WITH THE REQUIREMENTS OF THE WATER UTILITY PROVIDER.
53. EXISTING SANITARY LATERALS FOR BUILDINGS BEING DEMOLISHED SHALL BE PLUGGED WITH NON-SHRINK GROUT AT CURB LINE OR AT MAIN CONNECTION IN ACCORDANCE WITH THE SANITARY UTILITY PROVIDER REQUIREMENTS.
54. DOMESTIC GAS SERVICES FOR BUILDINGS BEING DEMOLISHED SHALL BE CAPPED AND SERVICE LINES PURGED OF RESIDUAL GAS IN ACCORDANCE WITH THE GAS UTILITY PROVIDER REQUIREMENTS.
55. THE CONTRACTOR SHALL PROVIDE DISCONNECT NOTIFICATION TO THE MUNICIPALITY ENGINEERING DEPARTMENT, TELECOMMUNICATIONS UTILITY PROVIDER, GAS UTILITY PROVIDER, ELECTRIC UTILITY PROVIDER, SANITARY UTILITY PROVIDER, AND WATER UTILITY PROVIDER AT LEAST THREE WEEKS PRIOR TO BEGINNING DEMOLITION.
56. THE CONTRACTOR IS RESPONSIBLE FOR SECURING A DEMOLITION PERMIT FROM THE TOWN OF HINGHAM BUILDING DEPARTMENT AND MUST FURNISH THE REQUIRED APPLICATION MATERIAL AND PAY ALL FEES.
57. BACK FILL DEPRESSIONS, FOUNDATION HOLES AND REMOVED DRIVEWAY AREAS IN LOCATIONS NOT SUBJECT TO FURTHER EXCAVATION WITH SOIL MATERIAL APPROVED BY THE OWNER'S GEOTECHNICAL ENGINEER AND COMPACT, FERTILIZE, SEED AND MULCH DISTURBED AREAS NOT SUBJECT TO FURTHER SITE CONSTRUCTION.
58. THE CONTRACTOR SHALL REPAIR PAVEMENTS BY INSTALLING TEMPORARY AND PERMANENT PAVEMENTS IN PUBLIC RIGHTS OF WAYS AS REQUIRED BY LOCAL GOVERNING AUTHORITIES AND THE MUNICIPALITY AND PER PERM REQUIREMENTS DUE TO DEMOLITION AND PIPE REMOVAL ACTIVITIES.
59. THE CONTRACTOR SHALL CUT AND REMOVE AT LUMINAIRE AND SIGN LOCATIONS ANY PROTRUDING CONDUITS TO 24" BELOW GRADE.
60. NO WORK ON THIS SITE SHALL BE INITIATED BY THE CONTRACTOR UNTIL A PRE-CONSTRUCTION MEETING WITH OWNER AND THE CIVIL ENGINEER IS PERFORMED.
61. THE CONTRACTOR SHALL ARRANGE FOR AND INSTALL TEMPORARY OR PERMANENT UTILITY CONNECTIONS WHERE INDICATED ON PLAN OR AS REQUIRED.
62. THE CONTRACTOR SHALL NOT COMMENCE DEMOLITION OR UTILITY DISCONNECTIONS UNTIL AUTHORIZED TO DO SO BY THE OWNER.
63. THE CONTRACTOR OR DEMOLITION CONTRACTOR SHALL INSTALL TEMPORARY SHEETING OR SHORING AS NECESSARY TO PROTECT EXISTING AND NEW BUILDINGS, STRUCTURES AND UTILITIES DURING CONSTRUCTION AND DEMOLITION.
64. NO SALVAGE SHALL BE PERMITTED UNLESS PAID TO THE OWNER AS A CREDIT.
65. ANY EXISTING POTABLE WELL AND ANY ABANDONED SEPTIC TANKS/ABSORPTION AREAS NOT INTENDED FOR USE SHALL BE ABANDONED AND REMOVED PER THE TOWN OF HINGHAM AND MASSACHUSETTS DEPARTMENT OF PUBLIC HEALTH CODE REQUIREMENTS.
66. THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS.
67. TOPSOIL SHALL BE STRIPPED AND STOCKPILED ON SITE FOR USE IN FINAL LANDSCAPING.
68. FILL WITHIN FORMER BUILDING FOUNDATION SHALL BE CHECKED BY TEST PIT AND PROOF-ROLLING AND SHALL BE OBSERVED BY THE OWNER'S GEOTECHNICAL ENGINEER.
69. THE CONTRACTOR SHALL COMPACT FILL IN LIFT THICKNESS PER THE GEOTECHNICAL REPORT UNDER ALL PARKING, BUILDING, DRIVE, AND STRUCTURE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS REQUIRED BY THE GEOTECHNICAL ENGINEER.
70. UNDERDRAINS SHALL BE ADDED, IF DETERMINED NECESSARY IN THE FIELD BY THE OWNER/GEOTECHNICAL ENGINEER, AFTER SUBGRADE IS ROUGH GRADED.
71. VERTICAL DATUM IS NAVD 88.
72. CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE TOWN OF HINGHAM PRIOR TO THE START OF WORK ON THE SITE.
73. PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL SO AS TO PREVENT THE SILTING OF ANY WATERCOURSE OR WETLANDS IN ACCORDANCE WITH THE REGULATIONS OF THE MASSDEP AND THE LATEST EDITION OF THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS.
74. ALL SITE WORK, MATERIALS OF CONSTRUCTION, AND CONSTRUCTION METHODS FOR EARTHWORK AND STORM DRAINAGE WORK SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS AND APPLICABLE SECTIONS OF THE PROJECT SPECIFICATIONS MANUAL.
75. ALL DISTURBANCE INCURRED TO MUNICIPAL, COUNTY, AND COMMONWEALTH PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE MUNICIPALITY, COUNTY AND COMMONWEALTH AS APPLICABLE FOR THE LOCATION OF THE WORK.
76. ALL CONSTRUCTION WITHIN A DOT RIGHT OF WAY SHALL COMPLY WITH ALL DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.
77. THE UTILITY PLAN DETAILS SITE INSTALLED PIPES UP TO 5' FROM THE BUILDING FACE.
78. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION.
79. UTILITY CONNECTION DESIGN AS REFLECTED ON THE PLAN MAY CHANGE SUBJECT TO UTILITY PROVIDER AND GOVERNING AUTHORITY STAFF REVIEW.
80. THE CONTRACTOR SHALL ENSURE THAT ALL UTILITY PROVIDERS AND GOVERNING AUTHORITY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET.
81. THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY PROVIDERS FOR SERVICE INSTALLATIONS AND CONNECTIONS.
82. ALL EXISTING PAVEMENT WHERE UTILITY PIPING IS TO BE INSTALLED SHALL BE SAW CUT.
83. ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
84. SANITARY LATERAL SHALL MAINTAIN (10' MIN. HORIZONTAL 1.5' VERTICAL MIN.) SEPARATION DISTANCE FROM WATER LINES, OR ADDITIONAL PROTECTION MEASURES WILL BE REQUIRED WHERE PERMITTED, WHICH SHALL INCLUDE CONCRETE ENCASEMENT OF PIPING UNLESS OTHERWISE DIRECTED BY THE UTILITY PROVIDERS AND CIVIL ENGINEER.
85. RELOCATION OF UTILITY PROVIDER FACILITIES SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY PROVIDER.
86. THE CONTRACTOR SHALL COMPACT THE PIPE BACKFILL IN 8" LIFTS ACCORDING TO THE PIPE BEDDING DETAILS.
87. CONTRACTOR TO PROVIDE STEEL SLEEVES AND ANNUAL SPACE SAND FILL FOR UTILITY PIPE AND CONDUIT CONNECTIONS UNDER FOOTINGS.
88. BUILDING UTILITY PENETRATIONS AND LOCATIONS ARE SHOWN FOR THE CONTRACTOR'S INFORMATION AND SHALL BE VERIFIED WITH THE BUILDING MEP, STRUCTURAL, AND ARCHITECTURAL DRAWINGS AND WITH THE OWNER'S CONSTRUCTION MANAGER.
89. ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION FOR APPROVAL PRIOR TO BACKFILLING, IN ACCORDANCE WITH THE APPROPRIATE UTILITY PROVIDER REQUIREMENTS.
90. A ONE-FOOT MINIMUM VERTICAL CLEARANCE BETWEEN WATER, GAS, ELECTRICAL, AND TELECOMMUNICATION LINES AND STORM PIPING SHALL BE PROVIDED.
91. GRAVITY SANITARY SEWER PIPING AND PRESSURIZED WATERLINES SHALL BE LOCATED IN SEPARATE TRENCHES AT LEAST 10 FEET APART WHENEVER POSSIBLE.
92. SITE CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC., AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING STUB OUTS, INCLUDING ROOF DRAIN CONNECTIONS TO ROOF LEADERS AND TO STORM DRAINAGE SYSTEM, AND FOOTING DRAIN CONNECTIONS TO STORM DRAINAGE SYSTEM.
93. MANHOLE RIMS AND CATCH BASIN GRATES SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE RIMS AND VALVE COVERS TO BE RAISED OR LOWERED FLUSH WITH FINAL GRADE AS NECESSARY.

- 94. SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF CONDUIT AND CABLES FOR SITE LIGHTING WITH THE BUILDING ELECTRICAL CONTRACTOR.
95. CONTRACTOR SHALL COORDINATE INSTALLATION FOR ELECTRICAL SERVICES TO ANY Pylon OR MONUMENT SIGNS AND SITE LIGHTING WITH THE BUILDING ELECTRICAL CONTRACTOR.
96. THE CONTRACTOR SHALL ARRANGE AND COORDINATE WITH UTILITY PROVIDERS FOR WORK TO BE PERFORMED BY UTILITY PROVIDERS.
97. ELECTRIC AND TELECOMMUNICATIONS SERVICES SHALL BE INSTALLED UNDERGROUND FROM A SERVICE POLE AS REQUIRED OR SHOWN ON BUILDING ELECTRICAL SITE PLAN.
98. ALL WATER LINES TO HAVE A MINIMUM COVER REQUIRED BY AQUARIUM WATER COMPANY.
99. ALL WATER MAINS, WATER SERVICES AND SANITARY SEWER LATERALS SHALL CONFORM TO THE APPLICABLE WATER UTILITY PROVIDER SPECIFICATIONS.
100. THE CONTRACTOR SHALL MAINTAIN ALL FLOWS AND UTILITY CONNECTIONS TO EXISTING BUILDINGS WITHOUT INTERRUPTION UNLESS/UNTIL AUTHORIZED TO DISCONNECT BY THE OWNERS, THE CIVIL ENGINEER, UTILITY PROVIDERS AND GOVERNING AUTHORITIES.
101. THE CONTRACTOR MAY SUBSTITUTE MASONRY STRUCTURES FOR PRECAST STRUCTURES IF APPROVED BY THE CIVIL ENGINEER AND ALLOWED BY THE GOVERNING AUTHORITY ENGINEER OR OTHER GOVERNING AUTHORITY.
102. DUCTILE IRON PIPE, IF APPLICABLE, SHALL CONFORM TO ANMA C151 FOR CLASS 52 WITH CEMENT LINING IN ACCORDANCE WITH ANSI A21.4 FOR WATER MAINS AND SERVICES 3" ID AND LARGER.
103. PIPING SHALL BE LAID FROM DOWNGRADE END OF PIPE RUN IN AN UPGRADE DIRECTION WITH BELL END FACING UPGRADE IN THE DIRECTION OF PIPE LAYING.
104. ALL RCP SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-76; ALL RCP SHALL BE CLASS IV UNLESS OTHERWISE SHOWN.
105. MANHOLE SECTIONS AND CONSTRUCTION SHALL CONFORM TO ASTM C-478.
106. HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER 12" OR GREATER IN DIAMETER SHALL BE N-12WT AS MANUFACTURED BY ADS.
107. GAS PIPE MATERIAL SHALL BE PER GAS COMPANY REQUIREMENTS.
108. POLYVINYL CHLORIDE PIPE (PVCP) FOR SANITARY PIPING SHALL HAVE BUILT-IN RUBBER GASKET JOINTS.
109. THERE ARE WETLANDS LOCATED ON THE SITE BASED ON RESOURCE AREA DELINEATION PLAN, DRAWING NUMBER 1 OF 1, DATED SEPTEMBER 26, 2016 AND REVISED OCTOBER 12, 2016 BY BEALE ASSOCIATES.
110. THE CONTRACTOR SHALL CONTACT AND OBTAIN FROM COUNTY, MUNICIPAL AND STATE SOURCES ALL CONSTRUCTION PERMITS INCLUDING SEWER AND WATER CONNECTION PERMITS AND ROADWAY CONSTRUCTION PERMITS.
111. AN EROSION CONTROL BOND MAY BE REQUIRED TO BE POSTED BY THE CONTRACTOR BEFORE THE START OF ANY ACTIVITY ON OR OFF SITE.

DEFINITIONS

- MUNICIPALITY SHALL MEAN TOWN OF HINGHAM
STATE OR COMMONWEALTH SHALL MEAN COMMONWEALTH OF MASSACHUSETTS
WATER UTILITY PROVIDER SHALL MEAN AQUARIUM WATER COMPANY
SANITARY UTILITY PROVIDER SHALL MEAN ROSANO DAVIS SANITARY PUMPING INC.
GAS UTILITY PROVIDER SHALL MEAN NATIONAL GRID
TELECOMMUNICATIONS UTILITY PROVIDER SHALL MEAN GRANITE TELECOMMUNICATIONS
ELECTRIC UTILITY PROVIDER SHALL MEAN HINGHAM MUNICIPAL LIGHTING PLANT



355 Research Parkway
Meriden, CT 06450
(203) 250-1406
(203) 650-2515 Fax



PROPOSED DEVELOPMENT
100 INDUSTRIAL PARK ROAD
HINGHAM, MASSACHUSETTS

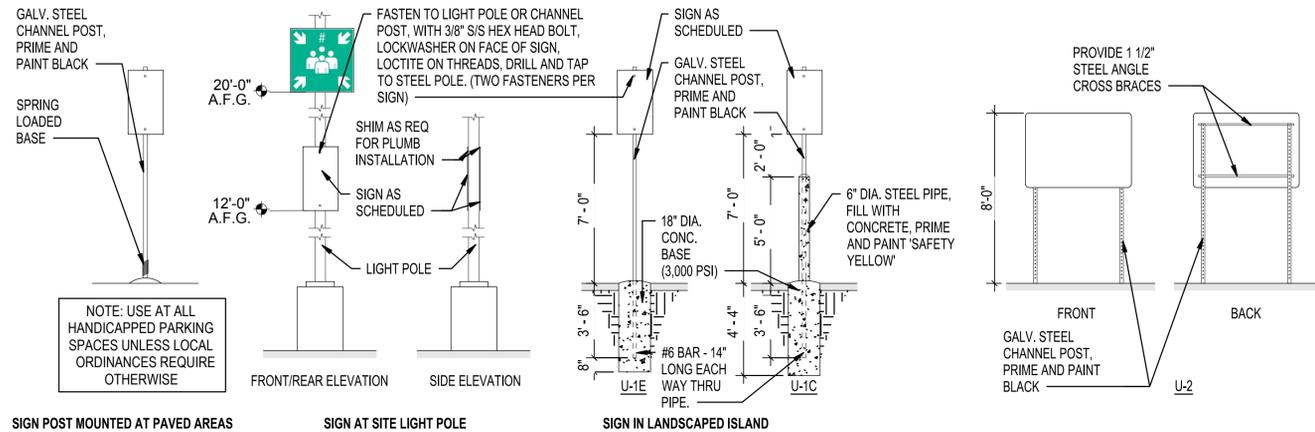
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GENERAL NOTES

Sheet No.

FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION

GN-1



SIGN POST MOUNTED AT PAVED AREAS

SIGN AT SITE LIGHT POLE

SIGN IN LANDSCAPED ISLAND

POST AND PANEL SIGNS - MOUNTING U-1E, U-1C, U-2

DESCRIPTION

1. POST AND PANEL SIGNS WITH STANDARD SIZED MUTCD AND CUSTOM SIGN FACES.
2. ALL SIGNS INDICATED "DOT" SHALL CONFORM TO THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FROM THE FEDERAL HIGHWAY ADMINISTRATION.

MATERIALS AND CONSTRUCTION:

1. THE SIGN CONSISTS OF AN ALUMINUM SIGN PANEL ON A STEEL CHANNEL POST.
2. PANEL TO CONFORM TO MUTCD SPECIFICATIONS. SOLID ALUMINUM, 0.08" THICK. COMPOSITE MATERIALS ARE NOT ACCEPTABLE.
3. POSTS ARE TO BE STEEL CHANNEL POSTS. SEE DETAILS ON THIS SHEET FOR FURTHER POST SPECIFICATIONS.
4. SUPPORTS SHALL BE SUFFICIENT FOR SECURE MOUNTING OF THE SIGN.
5. ALL HARDWARE SHALL BE NON-CORROSIVE. IF ADDITIONAL THICKNESS OF MATERIAL OR ADDITIONAL INTERNAL BRACING IS REQUIRED FOR SECURE INSTALLATION OR TO PROVIDE STABILITY, ALTERATIONS SHALL BE REFLECTED IN SHOP DRAWINGS. WIND LOADING AND DURABILITY SHALL BE TAKEN INTO ACCOUNT IN ENGINEERING OF THE SIGN.

GRAPHICS AND TYPOGRAPHY:

1. GRAPHICS ARE TO BE HEAVY DUTY 3M REFLECTIVE VINYL.
2. CUSTOM GRAPHICS AND TYPOGRAPHY SIGNS ARE AVAILABLE FROM THE TENANT AS ELECTRONIC FILES.
3. COLORS ARE INDICATED ON THIS SHEET.

INSTALLATION:

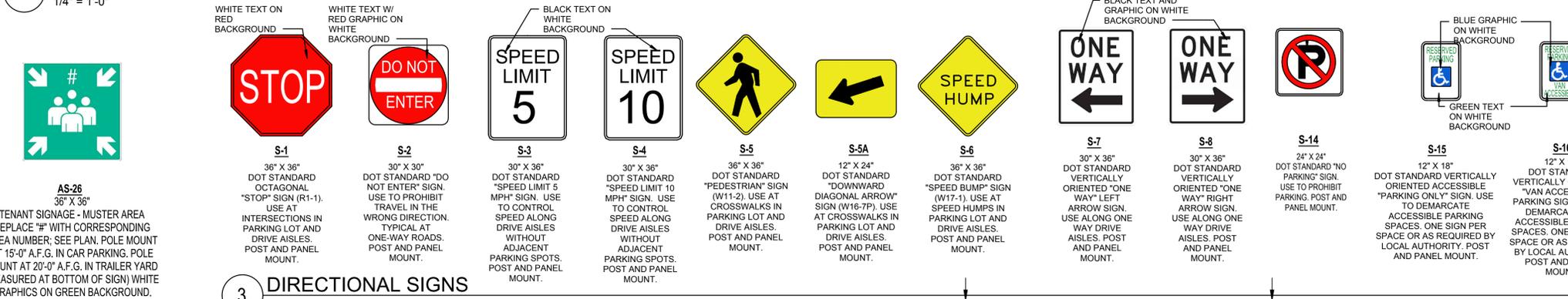
1. LOCATIONS ARE GENERALLY NOTED ON THE ATTACHED LOCATION PLANS. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL INSTALLATION CONDITIONS PRIOR TO FABRICATION.
2. MOUNTING U-1E SHALL BE USED IN FOR SIGNS IN COMPACTED EARTH; MOUNTING U-1C SHALL BE USED FOR SIGNS ON CONCRETE OR ASPHALTIC PAVING.
3. MOUNTING U-1E PROVIDES A 36" MOUNTING TUBE (STEEL CHANNEL POST) DRIVEN TO 1" TO 2" ABOVE GRADE. THE MOUNTING TUBE IS PAIRED WITH AN 18" BREAKAWAY SUPPORT TUBE (STEEL CHANNEL POST). THE SIGN POST SINKS TO THE BASE OF THE ANCHOR TUBE AND FASTENS TO THE ANCHOR TUBE AND BREAKAWAY SUPPORT WITH AN ANGLE BOLT.
4. INTENTIONALLY OMITTED.
5. TYPICAL SIGN PANEL INSTALLS BOTTOM OF SIGN AT 70" ABOVE FINISHED GRADE. THE POST EXTENDS TO WITHIN 2" OF THE TOP OF THE SIGN PANEL. INSTALLATION SHALL BE PLUMB, LEVEL AND STRAIGHT.
6. MOUNTING U-2 PROVIDES TWO POLE SUPPORT SIMILAR TO MOUNTING U-1E. ADDITIONALLY, U-2 REQUIRES CROSS BRACING OF STRUCTURAL ANGLE ON THE BACK OF THE SIGN FACE.
7. TOP OF THE U-2 MOUNTED SIGN INSTALLS 80" ABOVE GRADE. INSTALLATION SHALL BE PLUMB, LEVEL AND STRAIGHT.
8. THE INSTALLATION METHODS AND DETAILS FOR EACH LOCATION SHALL BE ILLUSTRATED IN THE SUBMITTED SHOP DRAWINGS. FINAL LOCATIONS WILL BE APPROVED ON SITE BY THE TENANT OR TENANT REPRESENTATIVE.

SUBMITTALS:

1. THE FOLLOWING SHALL BE SUBMITTED FOR APPROVAL PRIOR TO FABRICATION: THREE (3) SETS OF SHOP DRAWINGS AND THREE (3) 6" X 6" VINYL SAMPLES OF EACH SIGN FACE COLOR. ELECTRONIC SHOP DRAWINGS ARE ACCEPTABLE.
2. SEE GENERAL CONSTRUCTION AND INSTALLATION SPECIFICATIONS FOR ADDITIONAL SUBMITTALS.

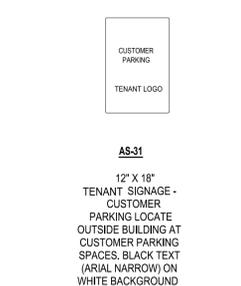
1 SITE SIGN MOUNTING DETAILS

1/4" = 1'-0"



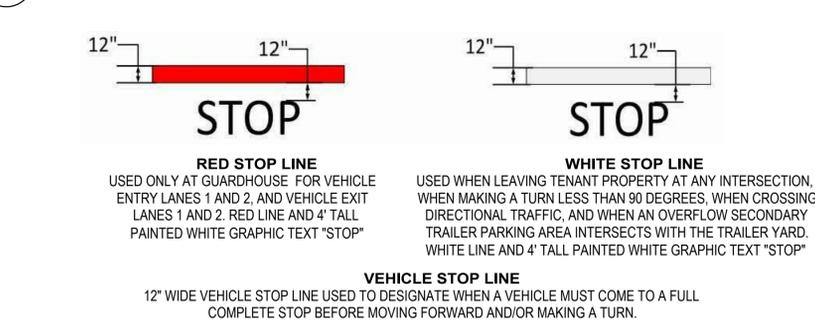
2 WAYFINDING SIGN

1/2" = 1'-0"



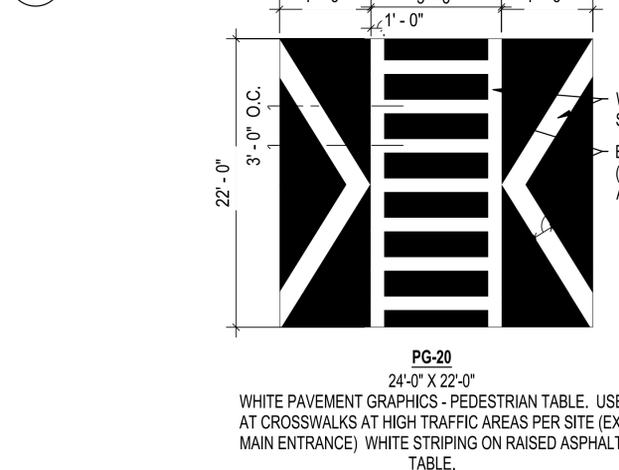
3 DIRECTIONAL SIGNS

1/2" = 1'-0"



6 TYPICAL SIGN POST

NTS

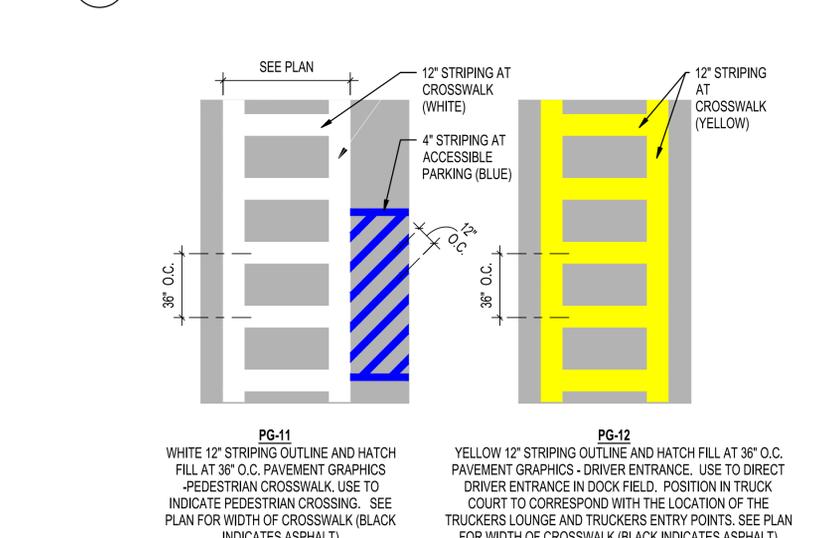


4 TENANT PARKING SIGN

3/4" = 1'-0"

5 VEHICLE STOP LINE

1" = 1'-0"



8 RAISED PEDESTRIAN TABLE WITH CROSSWALK

NTS

CUSTOM SIGNAGE COLORS

	Gloss Vinyl	Reflective Vinyl	Paint
C1 White	Scotchcal White 230-20	Scotchcal 280 White 280-10	Gloss White Two part catalyst hardened acrylic enamel
C2 Black	Scotchcal Black 230-22 (Pantone Black)	Scotchcal Black 280-85	
C3 Yellow	Oracal OPAQUE 020 GOLDEN YELLOW TRANSLUCENT 015 YELLOW ORANGE (Color to match ^{www} 19 guidelines. ^{www} = Pantone 137 U, Pantone 1375 C)		
C4 Gray	Scotchcal Medium Gray 230-31		Satin Finish Two part catalyst hardened acrylic enamel
C5 Red	Scotchcal Red 230-33 (Pantone 485C2X)	Scotchcal Red 280-72	
C6 Blue	Scotchcal Cobalt Blue (Pantone 288C)	Scotchcal Blue 230-75	
C7 Blue	Scotchcal Tour Blue (Pantone 2995C)(RAL 5012)		

SITE SIGNAGE COLOR GENERAL NOTES

ALL SIGNS INDICATED "DOT" SHALL CONFORM TO COLOR AND REFLECTANCE SPECIFICATIONS OF THE MUTCD

MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES)
[HTTP://MUTCD.FHWA.DOT.GOV/KNO-COLORSPEC.HTM](http://mutcd.fhwa.dot.gov/kno-colorspec.htm)

MUTCD COLOR SPECIFICATIONS

COLOR SPECIFICATIONS (23 CFR 655)
 THE COLOR SPECIFICATIONS ARE USED TO DETERMINE THE COLOR OF SIGN SHEETING AND PAVEMENT MARKING MATERIALS FOR DESIGN PURPOSES. MOST OF THE COLOR SPECIFICATIONS WERE LAST REVISED BY THE FINAL RULE: AMENDMENT DATED NOVEMBER 21, 2002. HOWEVER, SOME COLOR SPECIFICATIONS WERE REVISED AND SPECIFICATIONS FOR SOME NEW COLORS WERE ADDED BY THE FINAL RULE DATED DECEMBER 16, 2009. VISIT THE ABOVE LINK FOR MORE INFO.

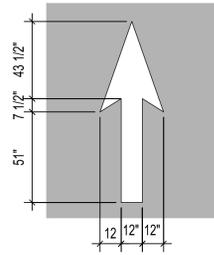
PANTONE MATCHING COLORS

THE FOLLOWING ARE PANTONE SPECIFICATIONS, FOR PRINTING PURPOSES. THEY PROVIDE A GUIDE FOR SELECTING APPROPRIATE LINK COLORS TO CLOSELY MATCH THE STANDARD COLORS OF TRAFFIC CONTROL SIGNS. NOTE: THERE ARE NO PANTONES AVAILABLE FOR FLUORESCENT COLOR SIGNS.

PANTONE SPECIFICATIONS FOR PRINTING

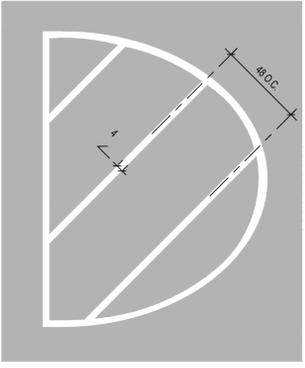
BROWN - 469, RED - 187, YELLOW - 116, PURPLE - 259, GREEN - 342, BLUE - 294, ORANGE - 152

FOR PERMITTING PURPOSES ONLY
 NOT RELEASED FOR CONSTRUCTION



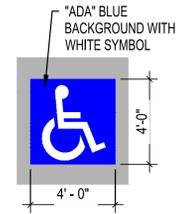
PG-5
8'-0" X 10'-0"
WHITE PAVEMENT GRAPHICS - STRAIGHT ARROW. USE TO DIRECT TRAFFIC AT ONE-WAY DRIVE AISLES (BLACK INDICATES ASPHALT)

1 PAVEMENT ARROWS
1/4" = 1'-0"

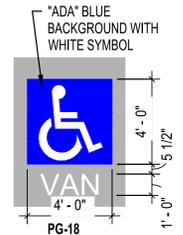


PG-10
4" STRIPING OUTLINE AND FILL AT 45 DEGREES. PAVEMENT GRAPHICS - TRAFFIC ISLAND. USE TO PROHIBIT VEHICLE TRAVEL AND PARKING. YELLOW AT NO TRAFFIC, BLUE AT ACCESSIBLE PARKING SPACES, WHITE AT VENDOR PARKING (BLACK INDICATES ASPHALT). INCLUDE AT EMERGENCY EXITS INTO THE PARKING LOT AT ALL PARKING SPACES THAT IMPEDE DIRECT ACCESS TO THE THOROUGHFARE.

2 PAVEMENT STRIPING
1/4" = 1'-0"

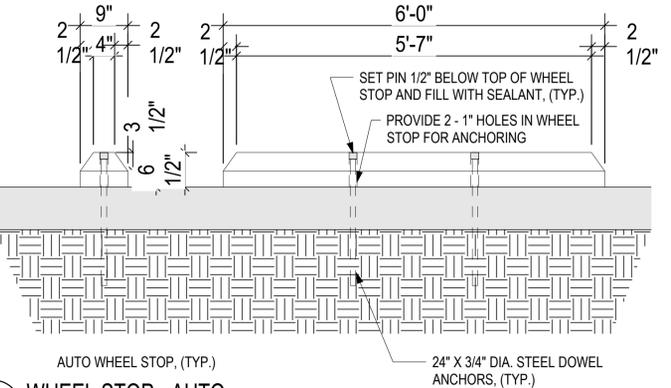


PG-17
4'-0" X 4'-0"
PAVEMENT GRAPHICS - STANDARD ACCESSIBLE PARKING SPACE. USE AT ALL ACCESSIBLE PARKING SPACES. WHITE SYMBOL WITH BLUE BACKGROUND (BLACK INDICATES ASPHALT).

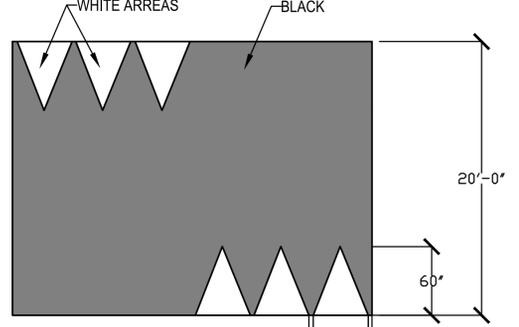


PG-18
4'-0" X 5'-5 1/2"
PAVEMENT GRAPHICS - VAN ACCESSIBLE PARKING SPACE. USE AT ALL VAN ACCESSIBLE PARKING SPACES. WHITE SYMBOL WITH BLUE BACKGROUND, AND WHITE TEXT (BLACK INDICATES ASPHALT).

3 PAVEMENT ADA GRAPHICS
1/4" = 1'-0"

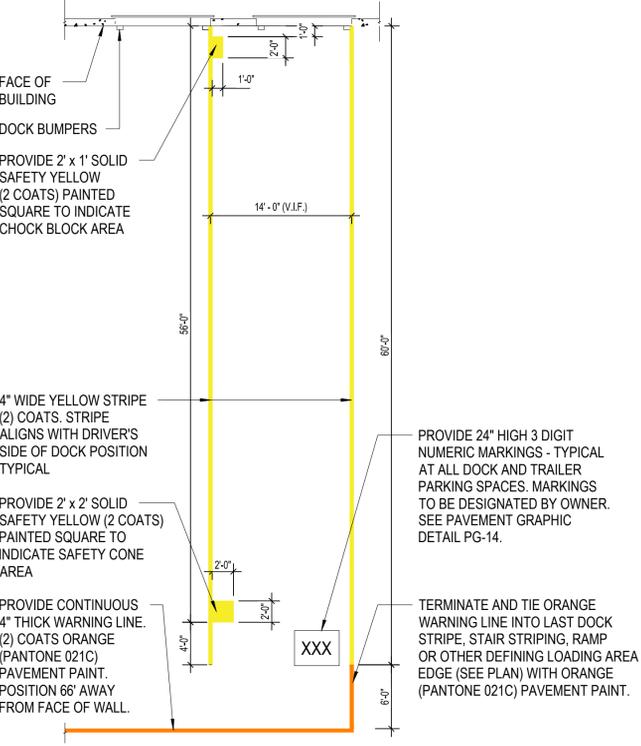


4 WHEEL STOP - AUTO
3/4" = 1'-0"

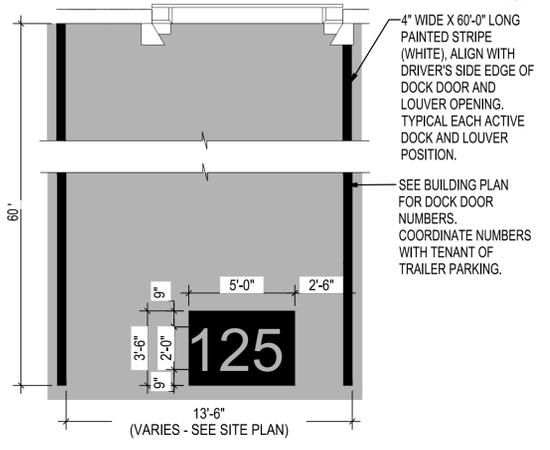


PG-15
20'-0" WIDE
PAVEMENT GRAPHICS - LARGE SPEED BUMP. USE TO CONTROL SPEED AT OUTLYING DRIVE AREAS. WHITE THERMAL APPLIED WHITE ARROWS. ASPHALT SPEED HUMPS SHALL BE USED IN COLDER CLIMATES WHERE SNOW REMOVAL EQUIPMENT IS INTENDED TO BE USED. RUBBER SPEED HUMPS MAY BE USED IN WARMER CLIMATES OR REGIONS WHERE CONCRETE PAVEMENT IS PREVALENT.

5 SPEED BUMP - BITUMINOUS CONCRETE
N.T.S.

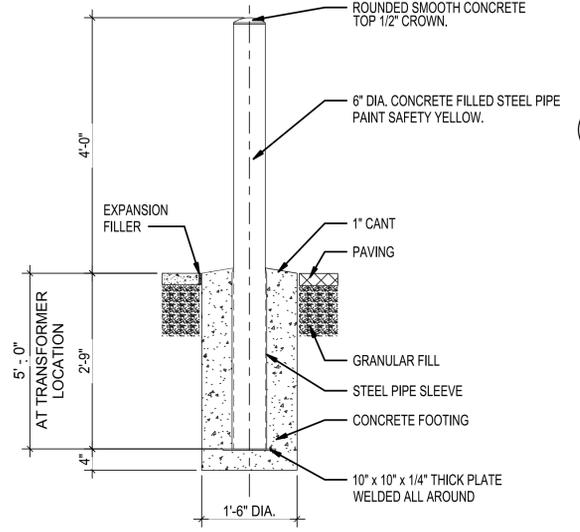


6 TYPICAL TRAILER PARKING AT DOCK
1/8" = 1'-0"

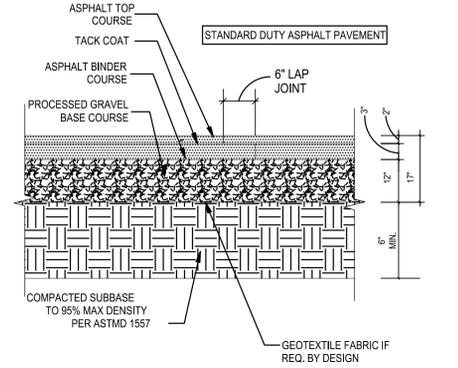


PG-14
WHITE 5'-0" X 3'-6" (24" TALL LETTERING) PAVEMENT GRAPHICS - TRAILER SPACE NUMBERING. USE TO LABEL TRAILER SPACES. TYPICAL ALL TRUCK DOCK SPACES. (BLACK INDICATES ASPHALT). SEE PLANS FOR DOCK DOOR NUMBERS. COORDINATE NUMBERS WITH TENANT OF TRAILER PARKING.

7 DOCK DOOR SLIP MARKINGS
N.T.S.

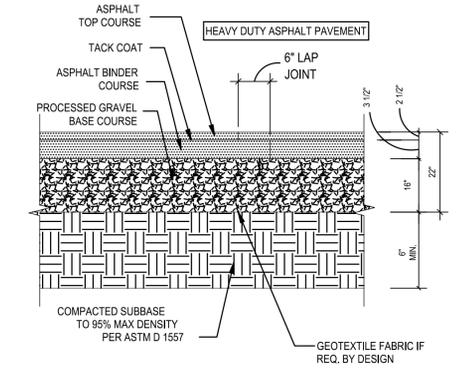


10 TYPICAL SITE PROTECTIVE BOLLARD DETAIL
3/4" = 1'-0"



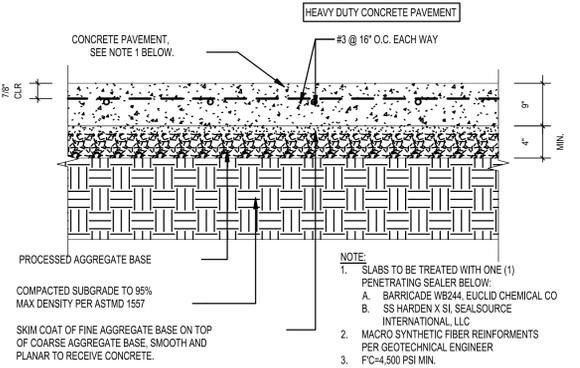
FOR INFORMATION ONLY. FINAL DESIGN BY GEOTECHNICAL ENGINEER AFTER SITE DATA ANALYSIS. PAVEMENT TO MEET LOCAL AND STATE AHJ AND DESIGN. MATERIAL TO BE PER LOCAL DOT PAVEMENT MIX DESIGN FOR WEARING AND BINDER COURSES INCLUDING BASE MATERIALS

11 STANDARD DUTY ASPHALT PAVEMENT
N.T.S.



FOR INFORMATION ONLY. FINAL DESIGN BY GEOTECHNICAL ENGINEER AFTER SITE DATA ANALYSIS. PAVEMENT TO MEET LOCAL AND STATE AHJ AND DESIGN. MATERIAL TO BE PER LOCAL DOT PAVEMENT MIX DESIGN FOR WEARING AND BINDER COURSES INCLUDING BASE MATERIALS

12 HEAVY DUTY ASPHALT PAVEMENT
N.T.S.



FOR INFORMATION ONLY. FINAL DESIGN BY GEOTECHNICAL ENGINEER AFTER SITE DATA ANALYSIS. PAVEMENT TO MEET LOCAL AND STATE AHJ AND DESIGN. MATERIAL TO BE PER LOCAL DOT PAVEMENT MIX DESIGN FOR WEARING AND BINDER COURSES INCLUDING BASE MATERIALS

13 HEAVY DUTY CONCRETE PAVEMENT
N.T.S.

PAVEMENT GRAPHIC NOTES:

- TWO COAT APPLICATION REQUIRED FOR ALL PAVEMENT GRAPHICS.
- REFER TO CIVIL FOR PAINTED GRAPHIC ARROWS AND ADDITIONAL PAVEMENT GRAPHIC CRITERIA.

PAVEMENT PAINT

TA1/PP1	WHITE
TA2/PP2	RED (PANTONE 485C)
TA3/PP3	BLUE (PANTONE 294)
TA4/PP4	GREEN (PANTONE 342)
TA5/PP5	YELLOW (PANTONE 116)

NOTE: TWO COAT APPLICATION REQUIRED FOR ALL PAVEMENT GRAPHICS.

REVISIONS

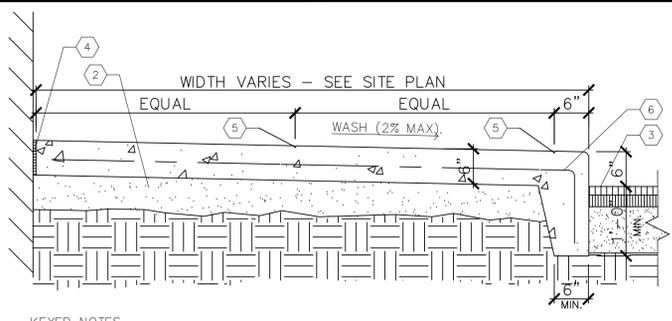
No.	Date	Desc.
1.	05/12/2020	Revised per Staff and Commission Comments
2.	06/01/2020	Revised per Staff and Commission Comments

Designed	P.G.M.
Drawn	P.G.M.
Reviewed	
Scale	NONE
Project No.	1901517
Date	03/06/2020
CAD File:	DN190151701

DETAIL SHEET

Sheet No.

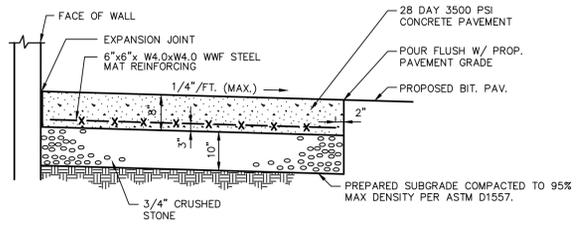
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NOT RELEASED FOR CONSTRUCTION**



- KEYED NOTES**
- 1 N/A
 - 2 6" COMPACTED MHD M2.01.07 DENSE GRADED CRUSHED STONE.
 - 3 PAVEMENT.
 - 4 COMPRESSIBLE FILLER (3/4" MAXIMUM). CUT BACK AND PROVIDE SEALANT, TYPICAL, AT ALL JOINTS WITH FILLER.
 - 5 1/4" TOOLED JOINT
 - 6 6" X 6" W2.1X W2.1 W.W.F.
- NOTE: EXPANSION JOINT 20' O.C. MAXIMUM. 1/4" TOOL JOINT 4' O.C. OR AS DIRECTED. CONCRETE TO BE 4000 P.S.I.

MONOLITHIC CONCRETE CURB AND SIDEWALK DETAIL (AT BUILDING)

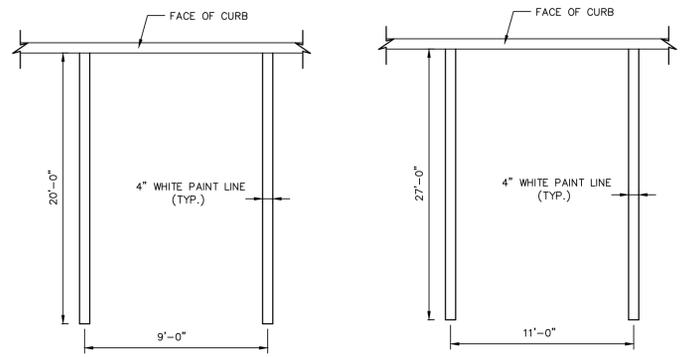
N.T.S. WAG



SECTION VIEW

CONCRETE PAD DETAIL

N.T.S. BLPc-002



- NOTE:
1. PROVIDE 2 COATS OF PAINT ON ALL SURFACES.
 2. SEE PLAN FOR ACTUAL SPACE LOCATION AND DIMENSIONS.

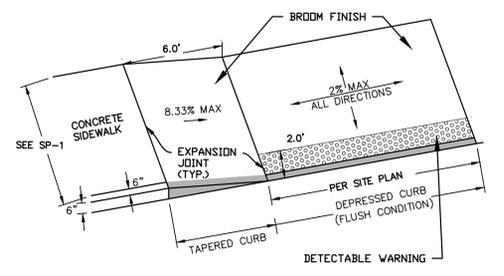
TYPICAL PARKING SPACE DETAIL

N.T.S.

- NOTE:
1. PROVIDE 2 COATS OF PAINT ON ALL SURFACES.
 2. SEE PLAN FOR ACTUAL SPACE LOCATION AND DIMENSIONS.

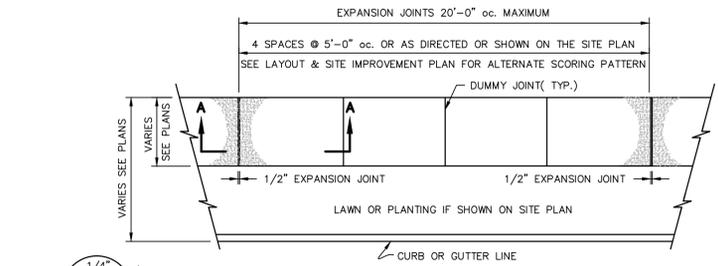
TYPICAL VAN PARKING SPACE DETAIL

N.T.S.



HANDICAP CURB RAMP

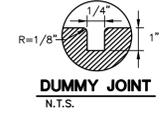
N.T.S.



PLAN VIEW

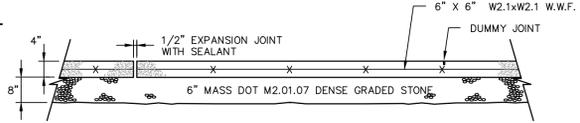
CONCRETE SIDEWALK DETAIL

N.T.S. BLSR-001

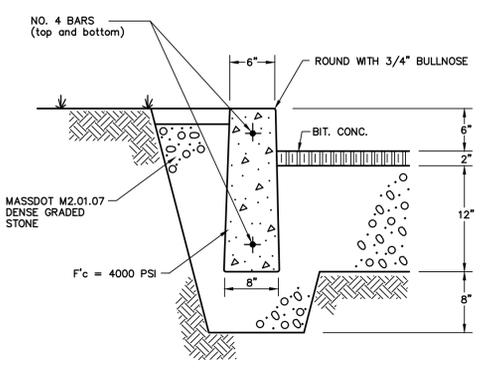


DUMMY JOINT

N.T.S.

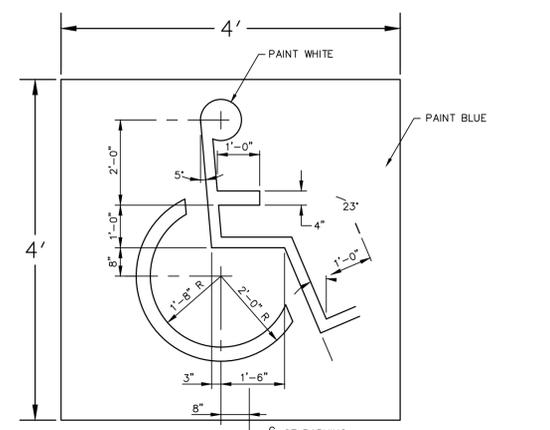


SECTION A-A



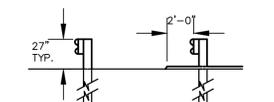
CONCRETE CURB DETAIL

N.T.S. ZPC-010

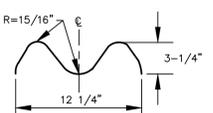


INTERNATIONAL SYMBOL OF ACCESSIBILITY

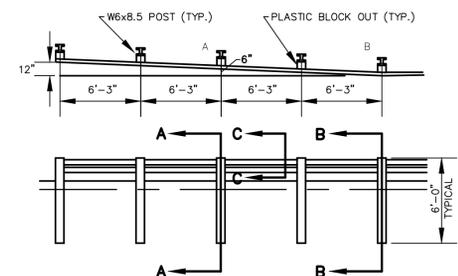
N.T.S. WG



SECTION A-A SECTION B-B HEIGHT WITH CURBING

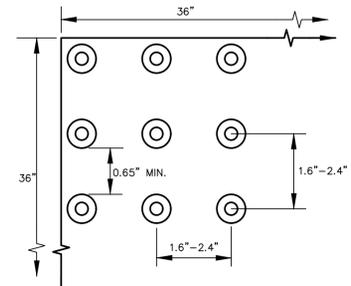


SECTION C-C

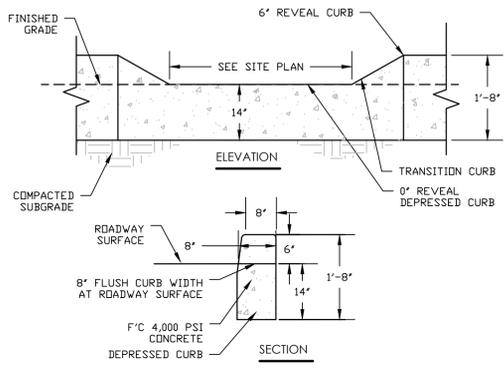


METAL BEAM GUIDE RAIL

N.T.S.

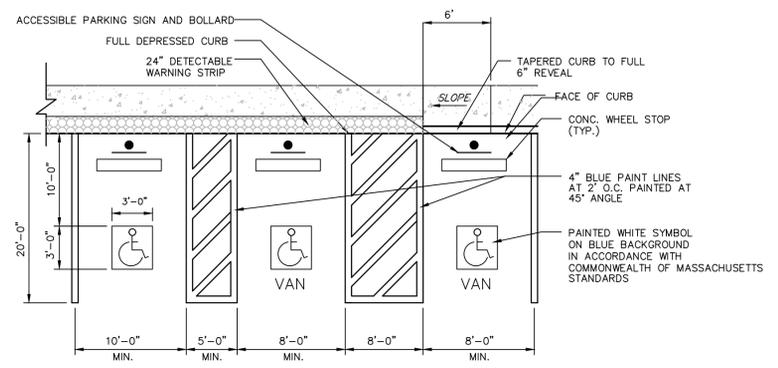


DOME SPACING



6" REVEAL DEPRESSED/ CONCRETE CURB

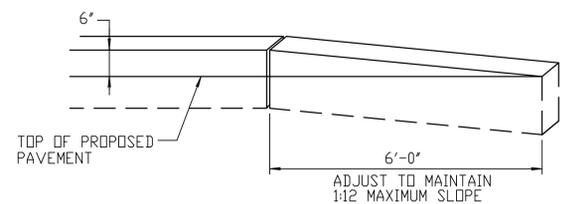
N.T.S.



TYPICAL ACCESSIBLE PARKING SPACE AND RAMP DETAIL

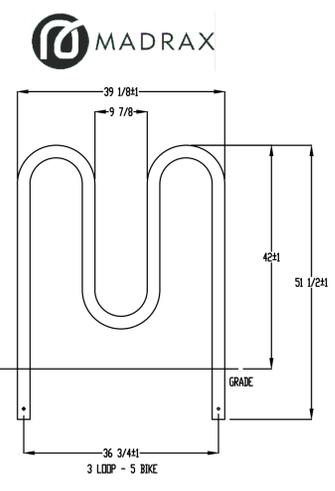
N.T.S. BLPc-004

- NOTES:
1. SEE SITE PLAN FOR ACCESSIBLE SPACE LOCATIONS.
 2. PROVIDE 2 COATS OF PAINT ON ALL SURFACES.

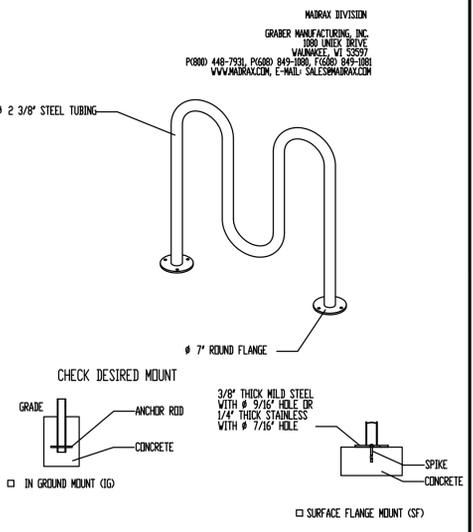


CONCRETE TRANSITION CURB

N.T.S.



PRODUCT: HW238-5-16(S)
 DESCRIPTION: HEAVY DUTY WINDER BIKE RACK
 5 BIKE, SURFACE OR IN GROUND MOUNT
 DATE: 10-16-18
 ENG: SMC
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- NOTES:
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 2. CONSULTANT TO SELECT COLOR OF FINISH. SEE MANUFACTURER'S SPECIFICATIONS.
 3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.

**FOR PERMITTING PURPOSES ONLY
 NOT RELEASED FOR CONSTRUCTION**

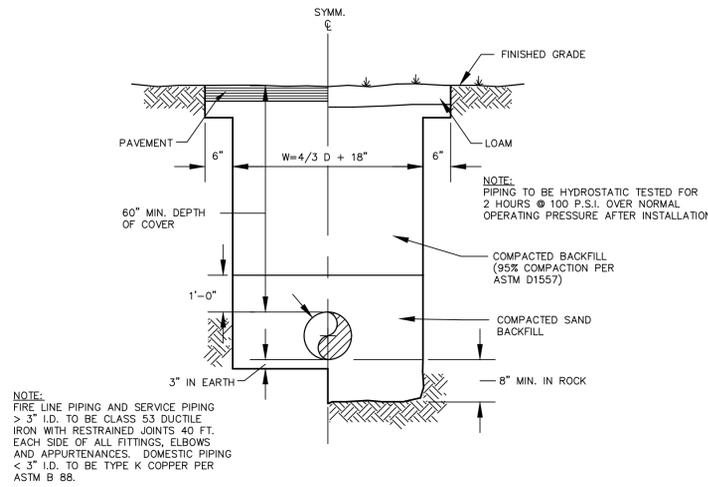
REVISIONS

No.	Date	Description
1.	05/12/2020	Revised per Staff and Commission Comments

Designed	A.T.K.
Drawn	A.T.K.
Reviewed	
Scale	NONE
Project No.	1901517
Date	03/06/2020
CAD File:	DN190151701

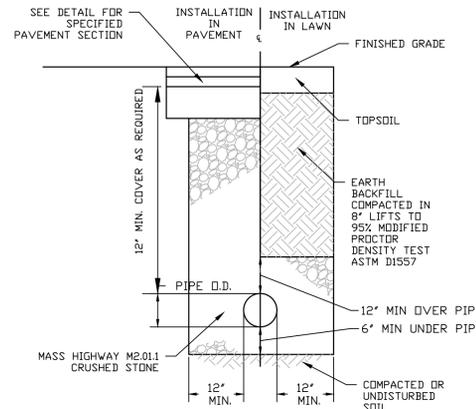
DETAIL SHEET

Sheet No.



TYPICAL WATER MAIN AND SERVICE TRENCH DETAIL

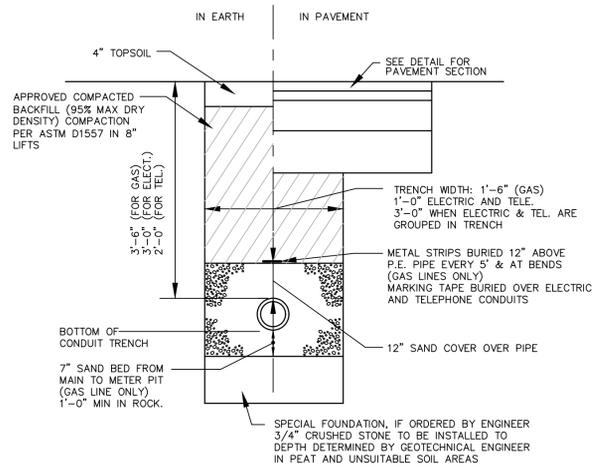
N.T.S. BLWD-005



- NOTES:
- ADDITIONAL CONSIDERATIONS MAY BE REQUIRED BY THE SITE & SOIL CONDITIONS OR PIPE MANUFACTURER'S RECOMMENDATIONS.
 - INSTALLATION OF TRENCHES SHALL CONFORM TO ALL SAFETY REQUIREMENTS OF FEDERAL, STATE & LOCAL LAWS, ORDINANCES AND REGULATIONS, INCLUDING BUT NOT LIMITED TO OSHA REQUIREMENT AND CFR 29 PART 1926.

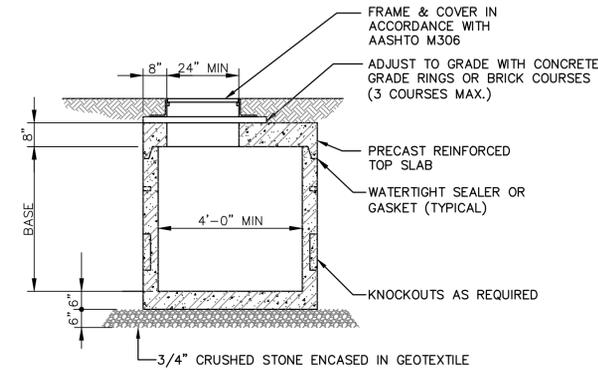
STORM SEWER TRENCH DETAIL (ON-SITE)

N.T.S.



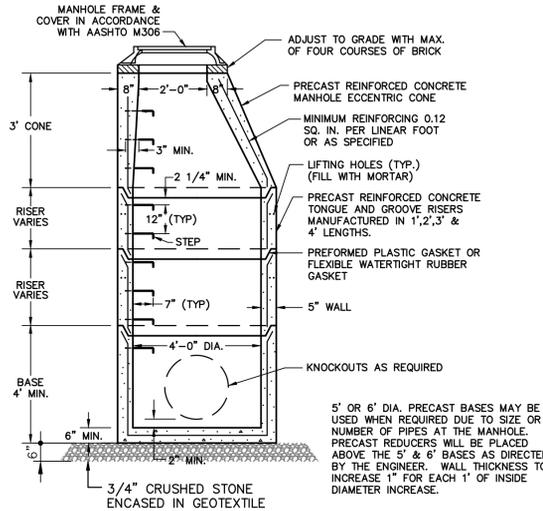
ELECTRICAL, TELECOMMUNICATION AND GAS TRENCH DETAIL

N.T.S. BLUD-001



SHALLOW STORM DRAIN MANHOLE

N.T.S. BLUD-001

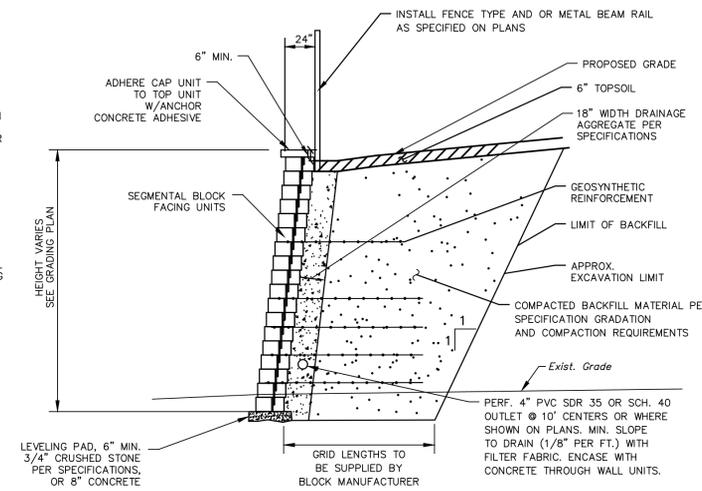


- NOTES:
- LARGER DIAMETER PRECAST BASES MAY BE USED WHEN REQUIRED DUE TO THE SIZE OR NUMBER OF PIPES AT THE MANHOLE. PRECAST REDUCERS WILL BE PLACED ABOVE THE LARGER BASES AS DIRECTED BY THE ENGINEER.
 - PRECAST MANUFACTURER SHALL ADJUST WALL THICKNESS AS NECESSARY FOR STRUCTURES OVER 10' IN DEPTH.
 - PROVIDE HS20 QUALIFIED TOP SLAB FOR SHALLOW MANHOLES.

TYPICAL STORM DRAIN MANHOLE

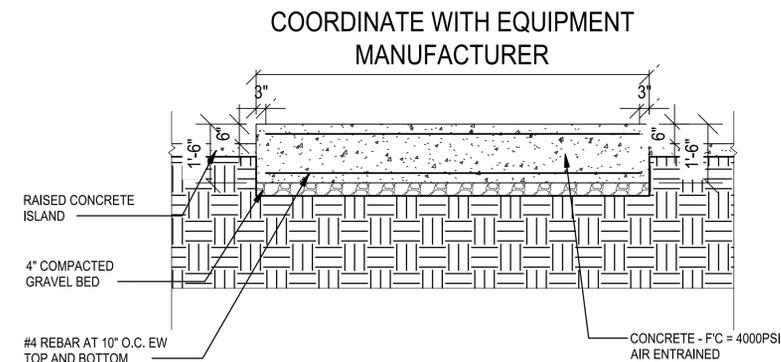
GENERAL NOTES

- STRIP ALL VEGETATION AND ORGANIC SOIL FROM THE WALL AND GRID ALIGNMENT.
 - BENCH CUT ALL EXCAVATED SLOPES.
 - DO NOT OVER EXCAVATE UNLESS DIRECTED BY SITE SOIL ENGINEER TO REMOVE UNSUITABLE SOIL.
 - SITE SOIL ENGINEER SHALL VERIFY FOUNDATION SOILS AS BEING COMPETENT PER THE DESIGN STANDARDS AND PARAMETERS.
 - LEVELING PAD SHALL CONSIST OF MINIMUM 6" THICK, MINIMUM 2000 PSI CONCRETE, OR MINIMUM 6" OF 3/4" CRUSHED STONE.
 - MINIMUM EMBEDMENT OF WALL BELOW FINISH GRADE SHALL BE 24".
 - FOLLOW APPLICABLE PROVISIONS OF THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND WRITTEN SPECIFICATIONS.
 - WHERE DRAIN PIPE IS USED, PROVIDE OUTLETS AS SHOWN ON WALL ELEVATIONS.
 - COMPACTION TESTS SHALL BE TAKEN AS THE WALL IS INSTALLED. THE MINIMUM NUMBER OF TESTS SHALL BE DETERMINED BY THE SITE SOILS ENGINEER, OR AS INDICATED IN THE SPECIFICATION.
 - COMPACTION SHALL BE 95% OF MAXIMUM DRY DENSITY PER ASTM D1557.
 - GEORGRID SHALL BE PER BLOCK MANUFACTURER'S DESIGN ON SHOP DRAWINGS.
 - PULL GEORGRID TIGHT PRIOR TO BACK FILLING. LENGTH OF GEORGRID SHALL BE MEASURED FROM FRONT OF SEGMENTAL CONCRETE UNITS.
 - PROVIDE LATERAL DRAINAGE SWALES TO DIRECT FLOWS AROUND THE ENDS OF THE WALL.
 - ESTABLISH TURT AS SOON AS THE WALL IS COMPLETED.
 - FINAL WALL ALIGNMENT SHALL BE LOCATED IN THE FIELD.
 - REINFORCED BACK FILL REQUIREMENTS FOR THE SEGMENTAL CONCRETE RETAINING WALL SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:
- | SIEVE SIZE | PERCENT PASSING REINFORCED BACK FILL |
|------------|--------------------------------------|
| 5 INCH | 100 |
| 3-1/2 INCH | 90-100 |
| 1-1/2 INCH | 55-95 |
| 3/4 INCH | 25-60 |
| NO. 10 | 15-45 |
| NO. 40 | 5-25 |
| NO. 100 | 0-10 |
| NO. 200 | 0-5 |
- PLASTICITY INDEX (PI) LESS THAN OR EQUAL TO 10 AND A LIQUID LIMIT LESS THAN OR EQUAL TO 40. REINFORCED BACK FILL SHALL BE PLACED AND COMPACTED IN LIFTS NOT EXCEEDING 10 INCHES. REINFORCED BACK FILL SHALL BE COMPACTED TO 95 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY ASTM D1557. THE MOISTURE CONTENT OF THE BACK FILL MATERIAL PRIOR TO AND DURING COMPACTION SHALL BE WITHIN 2 PERCENTAGE POINTS OF DRY OPTIMUM.
- IF CONDITIONS ARE DIFFERENT THAN THOSE STATED IN THESE DRAWINGS AND SPECIFICATIONS, THE CONTRACTOR MUST CONTACT THE ENGINEER PRIOR TO PROCEEDING WITH THE CONSTRUCTION OF THE WALL.



TYPICAL RETAINING WALL SECTION

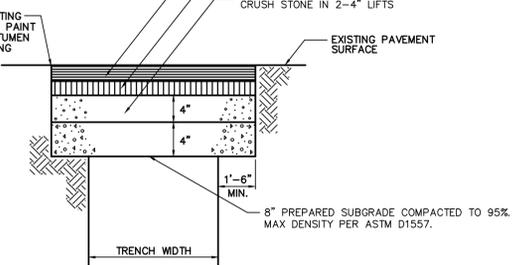
N.T.S.



STANDARD CONCRETE PAD FOR TRANSFORMER

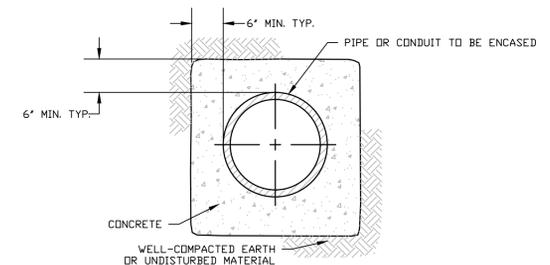
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- NOTE: 1) ALL BITUMINOUS CONCRETE, AGGREGATE BASE, SUBBASE SHALL CONFORM TO THE MATERIALS, EQUIPMENT AND CONSTRUCTION REQUIREMENTS AS PER MASSDOT STATE SPECIFICATIONS FOR WORK WITHIN STATE OR TOWN RIGHT-OF-WAY.
- 2) THE CONTRACTOR SHALL MAINTAIN A MINIMUM 15' WIDE TRAVELWAY AT ROAD CROSSINGS AT ALL TIMES DURING CONSTRUCTION.
- 3) REPLACE STRIPING AS REQUIRED.



PAVEMENT REPAIR OVER TRENCH

N.T.S.



- NOTES:
- EXTEND CONCRETE ENCASEMENT OF CONDUIT 10 FEET BEYOND THE CROSSING FACILITY.

CONCRETE ENCASEMENT SECTION

N.T.S.

**FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION**

REVISIONS	DESCRIPTION	DATE	NO

Designed: Designer
Drawn: Author
Reviewed: Approver
Scale: As Indicated
Project No. 1901517
Date: 05/04/2020

Title: OVERALL FLOOR PLAN

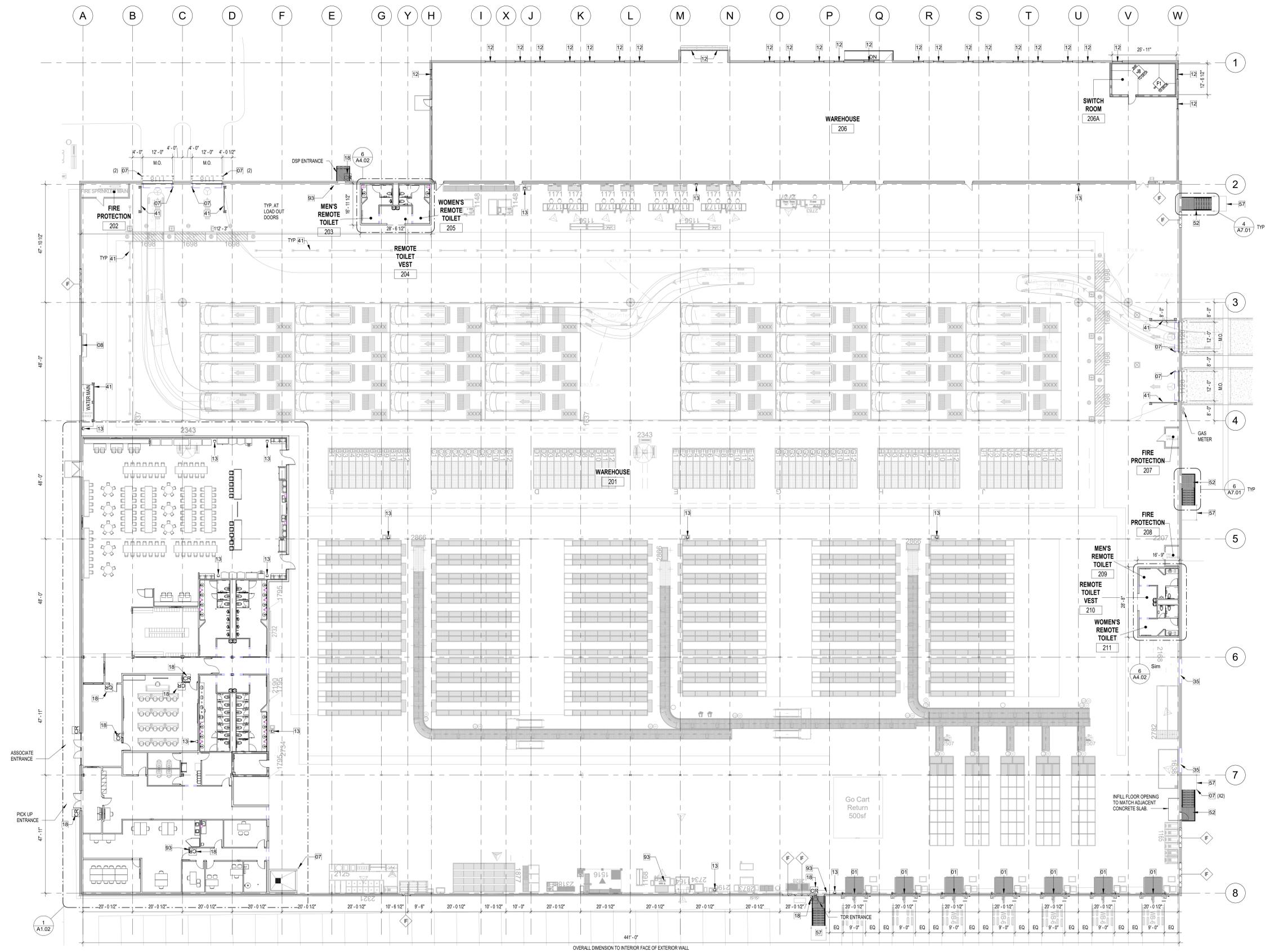
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A1.01

LEGEND	
	EXISTING WALLS TO REMAIN
	NEW WALL
	EXISTING DOOR TO REMAIN
	NEW DOOR
	WALL TYPE WALLS WITH NO TAG TO BE INFILLED TO MATCH EXISTING CONSTRUCTION
	INFILL WALL TO MATCH EXISTING

KEYNOTES	
#	DESCRIPTION
01	NEW OVERHEAD DOOR WITH DOCK EQUIPMENT PACKAGE. SEE DOOR SCHEDULE.
07	6" DIA. STEEL BOLLARD. PAINT SAFETY YELLOW (P-9). SEE DETAIL 5A9.01
08	INACTIVE DOCK DOOR. REFERENCE INACTIVE DOCK DOOR DETAILS ON A6.02
12	SECURITY WINDOW FILM (WF-1). PROVIDE AT ALL WINDOWS AND DOORS EXPOSED IN WAREHOUSE FROM FINISHED FLOOR TO 12'-0" A.F. SEE MATERIAL FINISH KEY ON A10.01 FOR MORE INFO.
13	WATER COOLERS PROVIDED AND INSTALLED BY TENANT. FINAL NUMBER AND LOCATIONS TO BE DETERMINED. SEE PLUMBING AND ELECTRICAL DRAWINGS.
18	CARD READER BY TENANT'S SECURITY CONTRACTOR. G.C. TO PROVIDE CONDUITS AND PULL STRINGS WITHIN PARTITIONS.
35	NEW MECHANICAL LOUVERS. SEE MECHANICAL DRAWINGS FOR MORE INFO.
41	PREFAB GUARDRAIL. LOCATION SHOWN SCHEMATICALLY. FINAL LOCATION TO BE COORDINATED WITH TENANT. SEE A4A.01
52	INSTALL NEW STAIR, RAILING AND BOLLARDS.
93	AI PHONE LOCATION.

- CONSTRUCTION GENERAL NOTES:**
- FIELD VERIFY ALL DIMENSIONS AND ADVISE ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK OR PROCUREMENT OF DIMENSION SENSITIVE PRODUCTS.
 - DIMENSIONS ARE TO THE FACE OF STUDS, UNLESS OTHERWISE NOTED.
 - GYPSUM WALLBOARD
 - WORK SHALL COMPLY WITH ASTM C840 STANDARD SPECIFICATIONS FOR APPLICATION AND FINISHING OF GYPSUM BOARD.
 - GYPSUM WALLBOARD TO RECEIVE LEVEL 4 FINISHES PER ASTM C840. SURFACE SHALL BE SMOOTH AND READY TO RECEIVE FINISH MATERIAL. PROVIDE MOISTURE RESISTANT GWB IN RESTROOM WET WALLS AND AT SINK COUNTERTOPS.
 - GYPSUM WALLBOARD NOT TO RECEIVE FINISHES SHALL BE FINISHED TO LEVEL 2 FINISH PER ASTM C840.
 - WATER RESISTANT GYPSUM TO BE 5/8" GENS ARMOR PLUS OR EQUAL COMPLYING WITH ASTM C1178, C1288 OR C1285. PROVIDE AT PARTITIONS ADJACENT TO PLUMBING FIXTURES.
 - ALL GYPSUM WALLBOARD IS TO BE 5/8" THICK UNLESS NOTED OTHERWISE. PROVIDE TYPE "X" GYPSUM WALLBOARD AT ALL FIRE RATED PARTITIONS.
 - WHERE NEW PARTITIONS ARE ALIGNED WITH EXISTING, ALIGN FROM FINISH FACE OF BOTH. IF PARTITIONS ARE TO ATTACH, MAKE TRANSITION SMOOTH UNIFORM SURFACE.
 - UNIFORM LOAD AT PARTITIONS IS 5 PSF WITH ALLOWABLE DEFLECTION OF L/240 UNLESS SHELING AND EQUIPMENT IS PROPOSED FOR ATTACHMENT.
 - ALL PARTITIONS TO BE BUILT TO DECK SHALL ENCOMPASS ANY STRUCTURE SUCH AS JOISTS AND BEAMS THAT MAY NEED TO BE FRAMED OUT TO PROVIDE DRYWALL TO DECK. ALL PENETRATIONS AND FLUTES IN DECK SHALL BE SEALED AS REQUIRED.
 - PROVIDE BRACING PER MANUFACTURER RECOMMENDATIONS OF ALL PARTITIONS THAT DO NOT EXTENDED FULL HEIGHT TO UNDERSIDE OF STRUCTURE ABOVE. PROVIDE GALVANIZED STEEL SHEET DEEP LEG DEFLECTION TRACK (20 GA.) SLP-TRX BY SLP TRACK SYSTEMS, INC. SECURE TO STRUCTURE WITH FASTENERS AT 2'-0" O.C. MAXIMUM. DO NOT SECURE TRACK TO VERTICAL STUDS. PROVIDE MINIMUM 2" TO TOP OF STUD.
 - ALL BOTTOM TRACK RUNNERS TO BE HELD IN PLACE WITH FASTENERS AT 2'-0" O.C. MAX. WITH HLTI POWDER DRIVEN ANCHORS #288, 0.145" DIA. SHANK WITH 1.18" MIN. PENETRATION.
 - PROVIDE HORIZONTAL BRACING IN ALL PENETRATION FRAMING AT MAXIMUM OF 8'-0" VERTICALLY, UNLESS OTHERWISE NOTED.
 - METAL STUD NON-STRUCTURAL WALL SYSTEMS TO FOLLOW C754 AND ASTM B66.
 - FIRE STOPPING REQUIREMENTS: ALL PENETRATIONS WITHIN OR THROUGH RATED ASSEMBLIES SHALL BE TIGHTLY SEALED USING APPROVED LISTED MATERIAL & SYSTEMS COMPLYING WITH ASTM E 814 OR UL-1479 (AS PER CODE). SEALANT MEETING THESE REQUIREMENTS TO BE FLAME STOP OR APPROVED EQUAL.
 - PROVIDE COMPRESSIBLE FIRE STOPPING MATERIAL AT CEILING LEVEL OF ALL PARTITIONS IN WHICH THE GYP. BD. DOES NOT EXTEND TO DECK. HOLD FIRE STOPPING IN PLACE WITH 1" WIDE (25GA.) 1 1/2" x 1 1/2" IMPLING ANGLE ON EACH STUD TO SECURE EACH END OF MATERIAL.
 - PROVIDE ACOUSTICAL SEALANT AT THE CONNECTION OF ALL GYP. BD. TO DECK OR SLAB CONDITIONS. HOLD GYP. BD. 3/8" OFF STRUCTURE FOR SEALANT. PROVIDE J-BEAD AT ALL SEALED EDGES PER 715 & 715.3 OF B.C. ALL CONCEALED AND EXPOSED INSULATION SHALL HAVE A CLASS A FLAME SPREAD AND SMOKE DEVELOPMENT INDEX PER ASTM E 84.
 - INSULATING MATERIALS WHEN INSTALLED IN BUILDINGS OF ANY TYPE CONSTRUCTION SHALL COMPLY WITH LOCAL JURISDICTION CODE.
 - ALL PLYWOOD & BLOCKING TO BE FIRE RETARDANT TREATED.
 - PROVIDE CONTROL JOINTS IN ALL WALLS EXCEEDING 30' IN LENGTH AND HEIGHT AND EVERY 30' THEREAFTER. USE 48963.
 - ALL SLABS TO BE STRIPPED AND PREPARED FOR SEALING AND TENANT FLOOR STRIPING. REPAIR ALL CONTROL JOINTS AS REQUIRED.
 - ALL DOORS SHALL BE LOCKED WITH HINGE SIDE OF FRAME 4" OFF FINISHED WALL, AT CORNER CONDITION, UNLESS OTHERWISE NOTED.
 - 5% BUT NOT LESS THAN 1% OF SEATING AND STANDING SURFACES AT DINING SURFACES SHALL BE ACCESSIBLE.
 - ZIP WALLS TO BE INSTALLED FOR PROTECTION DURING TIME OF CONSTRUCTION.



1 OVERALL FLOOR PLAN
1/16" = 1'-0"

