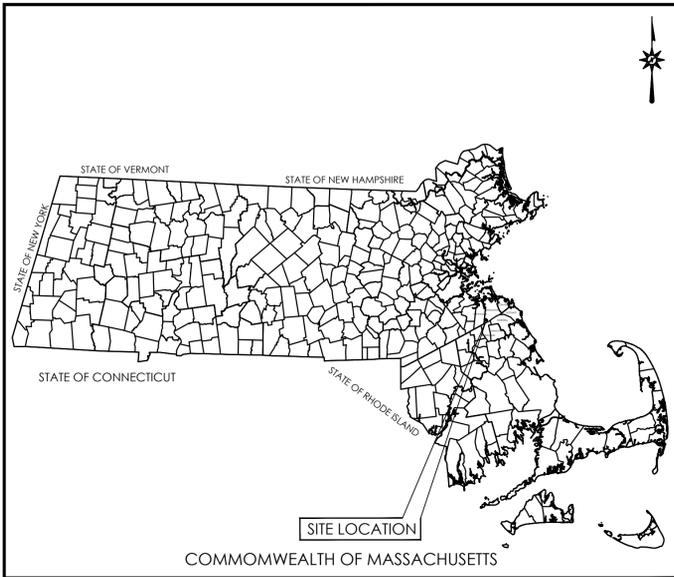


LAND DEVELOPMENT PLANS ISSUED FOR TOWN OF HINGHAM CONSERVATION COMMISSION AND PLANNING BOARD APPROVAL 100 INDUSTRIAL PARK ROAD HINGHAM, MA



LOCATION MAP
N.T.S.



VICINITY MAP
SCALE: 1"=1000'

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CAD FILE: CV190151701
XREF(S): XC1800425_Counties

PREPARED BY:



355 RESEARCH PARKWAY
MERIDEN, CONNECTICUT 06450
(203) 630-1406
(203) 630-2615 Fax

OWNER:
JEB GROUP LLC
PO BOX E-62
BOSTON, MA 02127



DATES

ISSUE DATE: MARCH 6, 2020
REVISION: MAY 12, 2020
JUNE 1, 2020
JULY 13, 2020
JULY 27, 2020
AUGUST 11, 2020

SOUTHEAST EXPRESSWAY (MA ROUTE 3)
(VARIABLE WIDTH - NON ACCESS)

GENERAL NOTES

- NORTH ARROW AND BEARINGS REFER TO NAD 83, MASSACHUSETTS MAINLAND STATE PLANE COORDINATES AND ARE BASED ON GPS OBSERVATIONS PERFORMED BY BL COMPANIES DURING SEPTEMBER 2019.
- ELEVATIONS REFER TO NAVD 88 AND ARE BASED ON GPS OBSERVATIONS PERFORMED BY BL COMPANIES DURING SEPTEMBER 2019.
- PARCEL IS LOCATED WITHIN FLOOD ZONES "A" & "X" AS DEPICTED ON F.I.R.M. COMMUNITY PANEL NO. 2502300091J REVISED: JULY 17, 2012.
- THE UNDERGROUND UTILITIES DEPICTED HAVE BEEN PLOTTED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES DEPICTED ARE IN THE EXACT LOCATION INDICATED THOUGH THEY ARE PLOTTED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY EXPOSED THE UNDERGROUND UTILITIES. PER MASSACHUSETTS COMMONWEALTH LAW, THE CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF EXCAVATION. CALL DIGSAFE AT 811.
- WETLAND FLAGS DEPICTED HEREON ARE BASED ON "RESOURCE AREA DELINEATION PLAN, DRAWING NUMBER 1 OF 1, DATED SEPTEMBER 26, 2016 AND REVISED OCTOBER 12, 2016 BY BEALE ASSOCIATES." ORDER OF RESOURCE DELINEATION: DEP # 034-1271 EXTENSION EXPIRES ON FEBRUARY 19, 2023.
- THERE WAS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED WHILE CONDUCTING FIELDWORK.
- THERE WAS NO EVIDENCE OF PROPOSED CHANGES IN STREET RIGHT OF WAY LINES OR RECENT STREET AND SIDEWALK CONSTRUCTION OR REPAIRS WHILE CONDUCTING FIELDWORK.
- THERE WAS NO EVIDENCE OF CEMETERIES OR BURIAL GROUNDS WHILE CONDUCTING FIELDWORK.
- THERE ARE NO PARTY WALLS WITH RESPECT TO ADJOINING PROPERTIES.
- PARCEL AREA IS 742,680 SQUARE FEET OR 17.050 ACRES.
- THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITMENT.
- THE SITE IS SUBJECT TO AN "ACTIVITY AND USE LIMITATION", DOCUMENT#543142 RECORDED 7/24/2003 AND "ACTIVITY AND USE LIMITATION", DOCUMENT#690193 RECORDED 4/9/2012.
- THE SITE IS TOGETHER WITH THE RIGHT OF WAY OVER COMMERCE ROAD AND INDUSTRIAL PARK ROAD PER DOCUMENT#111510 RECORDED 3/1/1967

PLAN REFERENCES

- "PLAN OF LAND IN HINGHAM, LEWIS W. PERKINS & SONS, SURVEYORS" DATE: JUNE 29, 1953. LAND COURT PLAN#24468A ON THE PLYMOUTH COUNTY LAND RECORDS.
- "SUBDIVISION PLAN OF LAND IN HINGHAM, LEWIS W. PERKINS & SON, SURVEYORS" DATE: NOVEMBER 8, 1964. LAND COURT PLAN#24468C ON THE PLYMOUTH COUNTY LAND RECORDS.
- "PLAN OF LAND IN HINGHAM, LEWIS W. PERKINS & SON, SURVEYORS" DATE: NOVEMBER 8, 1964, MAY 21, 1965 & JANUARY 14, 1966. LAND COURT PLAN#28722A.
- "PLAN OF LAND IN HINGHAM, LEWIS W. PERKINS & SONS, SURVEYORS" DATE: APRIL 2, 1965. LAND COURT PLAN #33719A ON THE PLYMOUTH COUNTY LAND RECORDS.
- "SUBDIVISION PLAN OF LAND IN HINGHAM, PERKINS ENGINEERING, INC., SURVEYORS" DATE: MARCH 13, 1975. SCALE: 60 FEET TO AN INCH. LAND COURT PLAN #24468G ON THE PLYMOUTH COUNTY LAND RECORDS.
- "SUBDIVISION, PLAN OF LAND ON COMMERCE ROAD IN HINGHAM, MASS. (PLYMOUTH COUNTY)" BY BOSTON SURVEY CONSULTANTS. SCALE: 1 INCH = 80 FEET. DATE: JULY 19, 1977. RECORDED IN BOOK 19, PAGE 623.
- "RESOURCE AREA DELINEATION PLAN, DRAWING NUMBER 1 OF 1, SCALE: 1"=30'. DATE: SEPTEMBER 26, 2016 REV TO OCTOBER 12, 2016." MAP PREPARED BY BEALE ASSOCIATES.
- "ALTA/ASCM LAND TITLE SURVEY 100 INDUSTRIAL PARK ROAD HINGHAM (PLYMOUTH COUNTY) MASS." SCALE: 1"=40', DECEMBER 8, 1989, REVISED: DECEMBER 12, 1989, BY HARRY R. FELDMAN, INC., BOSTON, MASS.

LEGEND

	Property Line		Handhole
	Easement Line		Electric Meter
	Land Court Plan Bearing		Utility Pole
	Edge of Water		Utility Pole w/ Light
	Limit of Wetlands		Guy Wire
	Treeline		Light Pole
	Brushline		Flood Light
	Major Contour		Ballard Light
	Minor Contour		Gas Valve
	Stone Wall		Gas Meter
	Retaining Wall		Cleanout
	Guide Rail		Catch Basin
	Fence		Manhole
	Overhead Wires		Fire Hydrant
	Gas Line		Water Valve
	Sanitary Sewer		Water Meter
	Storm Sewer		Water Well
	Water Line		Sign
	Shrub		Handicap Symbol
	Deciduous Tree		Mail Box
	Coniferous Tree		Monitoring Well
			Boring

SURVEY CERTIFICATION

TO:
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2-5,7(a),7(b),7(c),8,9,10(a),11,13,14,16-18, AND 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON SEPTEMBER 3, 2019.

DATED: 7/13/2020 SIGNED:
JENNIFER MARKS L.S. #38712



N/F
90 INDUSTRIAL PARK JV, LLC
BOOK 612 PAGE 15
PARCEL ID: 131201000000120

N/F
JEB GROUP, LLC
LCC 96743
BOOK 483 PAGE 143
PARCEL ID: 131207000000030
TOTAL PARCEL AREA:
742,680 SQ FT
17.050 ACRES

Jul 01, 2020 3:40pm schaeffer C:\WORKS\14\1001517.DWG: A:\100151701.dwg
Layover: ALI, Sheet 1 of 2

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LAND OF JEB GROUP, LLC
100 INDUSTRIAL PARK ROAD
HINGHAM, PLYMOUTH COUNTY, MASSACHUSETTS

REVISIONS
Date: 03/09/2020
1. Revised Wetland Locations per Order of Resource
Description: PRR # 034 1271 EXTENSION
Date: 07/10/2020
2. Revised Storm Drainage Per Map Ref. H.

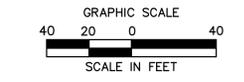
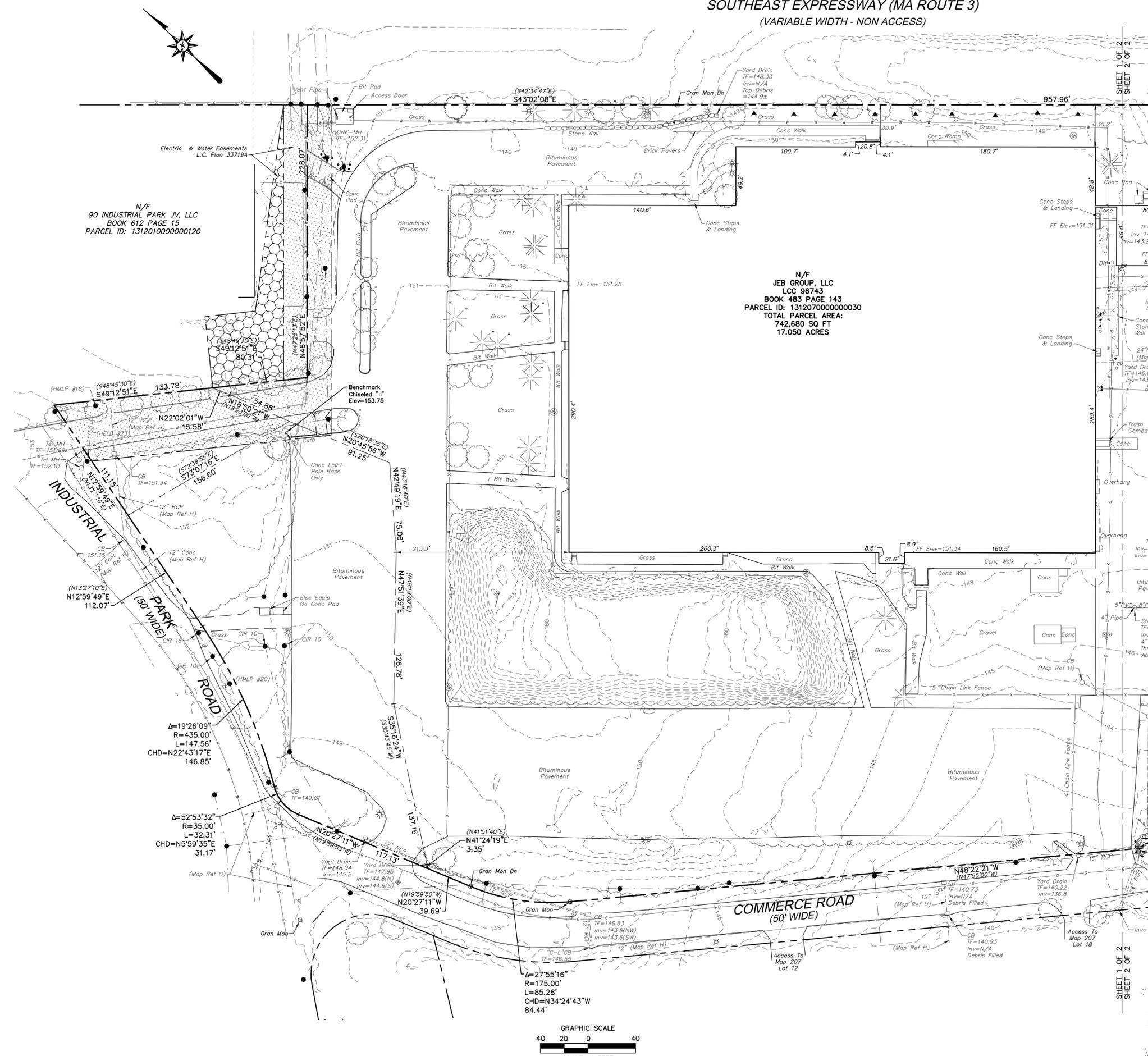
Surveyed: TN/DO
Drawn: JS
Reviewed: PJ/C
Scale: 1"=40'
Project No.: 1901517
Date: 09/27/2019
Field Book: 506
CAD File: AL190151701

Title:
**ALTA/NSPS
LAND TITLE
SURVEY**

Sheet No. 1 of 2

AL-1

Jul 01, 2020 3:40pm schaeffer C:\WORKS\14\1001517.DWG: A:\100151701.dwg
Layover: ALI, Sheet 1 of 2



SHEET 1 OF 2
SHEET 2 OF 2

GENERAL NOTES

1. SEE PAGE 1 OF 2 FOR NOTES, MAPR REFERENCES AND CERTIFICATION.



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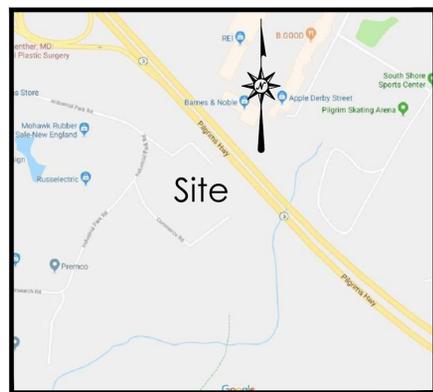
REV	NO.	DATE	DESCRIPTION
1.	03/09/2020	Revised Wetland Locations per Order of Resource	
2.	07/10/2020	Revised Storm Drainage Per Map Ref. H.	

Surveyed	TN/DO
Drawn	JS
Reviewed	PIC
Scale	1"=40'
Project No.	1901517
Date	09/27/2019
Field Book	506
CAD File:	AL190151701

ALTA/NSPS
LAND TITLE
SURVEY

Sheet No. 2 of 2

AL-1



LOCATION MAP
NOT TO SCALE

RECORD LEGAL DESCRIPTION

THAT CERTAIN PARCEL OF LAND SITUATE IN HINGHAM, IN THE COUNTY OF PLYMOUTH AND COMMONWEALTH OF MASSACHUSETTS, DESCRIBED AS FOLLOWS: BEING LOT 4 AS DETERMINED BY THE COURT TO BE LOCATED AS SHOWN ON PLAN #28722A, DRAWN BY LEWIS W. PERKINS & SON, SURVEYORS, DATED NOVEMBER 8, 1964, MAY 21, 1965 AND JANUARY 14, 1966, AS MODIFIED AND APPROVED BY THE COURT, FILED IN THE LAND REGISTRATION OFFICE, A COPY OF A PORTION OF WHICH IS FILED WITH CERTIFICATE OF TITLE NO. 41721; ALSO ANOTHER CERTAIN PARCEL OF LAND AS DETERMINED BY THE COURT TO BE LOCATED AS SHOWN ON PLAN #33719A, DRAWN BY LEWIS W. PERKINS & SON, SURVEYORS, DATED APRIL 2, 1965, AS MODIFIED AND APPROVED BY THE COURT, FILED IN THE LAND REGISTRATION OFFICE, A COPY OF A PORTION OF WHICH IS FILED WITH CERTIFICATE OF TITLE NO. 39764; AND LOT 60 ON SUBDIVISION PLAN #24468C, DRAWN BY LEWIS W. PERKINS & SON, SURVEYORS, DATED NOVEMBER 8, 1964 AND FILED WITH CERTIFICATE OF TITLE NO. 20654.

THERE IS EXCEPTED AND EXCLUDED FROM THE LAND IN CASE #33719, THE FEE IN THE SOUTHEAST EXPRESSWAY (NO ACCESS) AND COMMERCE ROAD ABUTTING SAID LAND.

WHICH PREMISES ARE MORE PARTICULARLY DESCRIBED IN EXHIBIT A-1 ATTACHED HERETO AND MADE A PART HEREOF.

PARCELS OF LAND SITUATED IN THE TOWN OF HINGHAM, COUNTY OF PLYMOUTH, COMMONWEALTH OF MASSACHUSETTS, TOGETHER WITH THE BUILDINGS AND IMPROVEMENTS LOCATED THEREON, BOUNDED AND DESCRIBED AS FOLLOWS:

NORTHWESTERLY: BY INDUSTRIAL PARK ROAD, ONE HUNDRED ELEVEN AND 15/100 (111.15) FEET;

NORTHEASTERLY: BY LOT 7, AS SHOWN ON THE PLAN HEREINAFTER MENTIONED, ONE HUNDRED THIRTY-THREE AND 78/100 (133.78) FEET;

NORTHEASTERLY: BY LAND NOW OR FORMERLY OF REED ROLLED THREAD DIE COMPANY, SEVENTY AND 46/100 (70.46) FEET; AND

SOUTHERLY: BY LAND NOW OR FORMERLY OF ARTHUR OMAN AND SONS, INC. ONE HUNDRED FIFTY-SIX AND 60/100 (156.60) FEET.

ALL OF SAID BOUNDARIES ARE DETERMINED BY THE PLYMOUTH COUNTY REGISTRY DISTRICT OF THE LAND COURT TO BE LOCATED AS SHOWN ON PLAN # 28722A, DRAWN BY LEWIS W. PERKINS & SON, SURVEYORS, DATED NOVEMBER 8, 1964, MAY 21, 1965 AND JANUARY 14, 1966, AS MODIFIED AND APPROVED BY SAID COURT FILED IN THE LAND REGISTRATION OFFICE, A COPY OF A PORTION OF WHICH IS FILED WITH CERTIFICATE OF TITLE NO. 41721 AND THE ABOVE DESCRIBED LAND IS SHOWN AS LOT 4 ON SAID PLAN.

THERE IS APPURTENANT TO SAID LOT THE RIGHT TO USE SAID INDUSTRIAL PARK ROAD, AS SHOWN ON SAID PLAN FOR ALL PURPOSES FOR WHICH STREETS OR WAYS ARE COMMONLY USED IN THE TOWN OF HINGHAM.

ALSO THAT CERTAIN PARCEL OF LAND SITUATED IN SAID TOWN OF HINGHAM BOUNDED AND DESCRIBED AS FOLLOWS:

NORTHEASTERLY: BY THE SOUTHWESTERLY LINE OF SOUTHEAST EXPRESSWAY (NO ACCESS), ELEVEN HUNDRED SEVENTEEN AND 28/100 (1117.28) FT.

SOUTHEASTERLY: FIVE HUNDRED EIGHTY-THREE AND 41/100 (583.41) FEET;

SOUTHWESTERLY: TWO HUNDRED FIFTY-NINE AND 92/100 (259.92) FEET BY LAND NOW OR FORMERLY OF WALLACE R. MARDEN, TRUSTEES;

SOUTHWESTERLY: BY THE NORTHEASTERLY LINE OF COMMERCE ROAD, SEVEN HUNDRED SEVENTY-SIX AND 82/100 (76.82) FEET;

NORTHWESTERLY: BY LAND NOW OR FORMERLY OF ARTHUR OMAN & SONS, INC. THREE HUNDRED FORTY-TWO AND 35/100 (342.35) FEET;

SOUTHWESTERLY: BY LAND NOW OR FORMERLY OF SAID OMAN & SONS, INC AND OF OMAN REALTY, INC. ONE HUNDRED SIXTY-ONE AND 71/100 (161.71) FEET;

NORTHEASTERLY: EIGHTY AND 31/100 (80.31) FEET; AND

NORTHWESTERLY: TWO HUNDRED TWENTY-EIGHT AND 08/100 (228.08) FEET BY LAND NOW OR FORMERLY OF WALLACE R. MARDEN, TRUSTEE.

ALL OF SAID BOUNDARIES ARE DETERMINE BY THE PLYMOUTH COUNTY REGISTRY DISTRICT OF THE LAND COURT TO BE LOCATED AS SHOWN ON PLAN #33719A, DRAWN BY LEWIS W. PERKINS & SON, SURVEYORS, DATED APRIL 2, 1965, AS MODIFIED AND APPROVED BY SAID COURT FILED IN THE PLYMOUTH COUNTY LAND REGISTRATION OFFICE, A COPY OF A PORTION OF WHICH IS FILED WITH CERTIFICATE OF TITLE NO. 39764.

ALSO ANOTHER CERTAIN PARCEL OF LAND SITUATED IN SAID TOWN OF HINGHAM BOUNDED AND DESCRIBED AS FOLLOWS:

SOUTHWESTERLY: BY COMMERCE ROAD, ONE HUNDRED SEVENTEEN AND 11/100 (117.11) FEET;

WESTERLY: BY THE JUNCTION OF SAID COMMERCE ROAD AND INDUSTRIAL PARK ROAD MEASURING ON THE CURING LINE THEREOF THIRTY-TWO AND 31/100 (32.31) FEET;

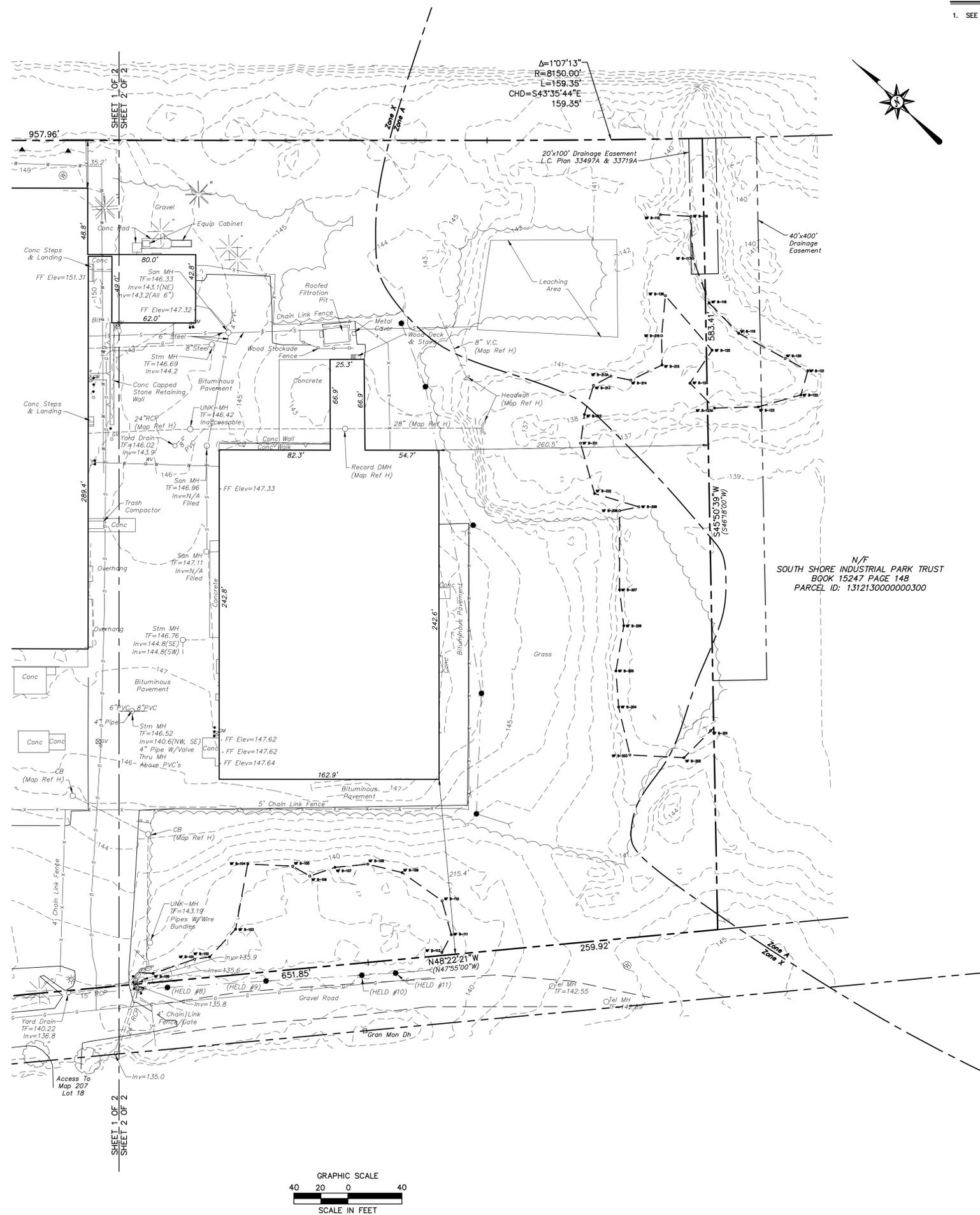
NORTHWESTERLY: BY SAID INDUSTRIAL PARK ROAD, TWO HUNDRED FIFTY-NINE AND 63/100 (259.63) FEET;

NORTHEASTERLY: BY LAND NOW OR FORMERLY OF OMAN REALTY INC, ONE HUNDRED FIFTY-SIX AND 60/100 (156.60) FEET; AND AGAIN

NORTHEASTERLY: BY LAND NOW OR FORMERLY OF GORDON P. MARSHALL, NINETY-ONE AND 25/100 (91.25) FEET; AND

SOUTHEASTERLY: BY LAND NOW OR FORMERLY OF GILBERT M. WEST, CO, INC., THREE HUNDRED FORTY-TWO AND 35/100 (342.35) FEET.

SAID PARCEL IS SHOW AS LOT 60 ON SUBDIVISION PLAN #24468C DRAWN BY LEWIS W. PERKINS & SON, SURVEYORS, DATED NOVEMBER 8, 1964 AND FILED WITH CERTIFICATE OF TITLE NO. 20654.



PROPOSED DEVELOPMENT
100 INDUSTRIAL PARK ROAD
HINGHAM, MASSACHUSETTS

Disc. Revised per Staff and Commission Comments
07/13/2020
Revised per Staff and Commission Comments
07/13/2020
Revised per Planning and Peer Review Comments
07/27/2020
Revised per Conservation Commission Comments
07/27/2020

No.	Date	Revisions
1.	07/13/2020	Disc.
2.	07/13/2020	Revised per Staff and Commission Comments
3.	07/13/2020	Revised per Planning and Peer Review Comments
4.	07/27/2020	Revised per Conservation Commission Comments

Designed A.T.K.
Drawn A.T.K.
Reviewed K.W.H.
Scale 1"=60'
Project No. 1901517
Date 03/06/2020

CAD File: DM190151701
Title

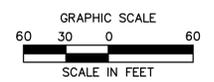
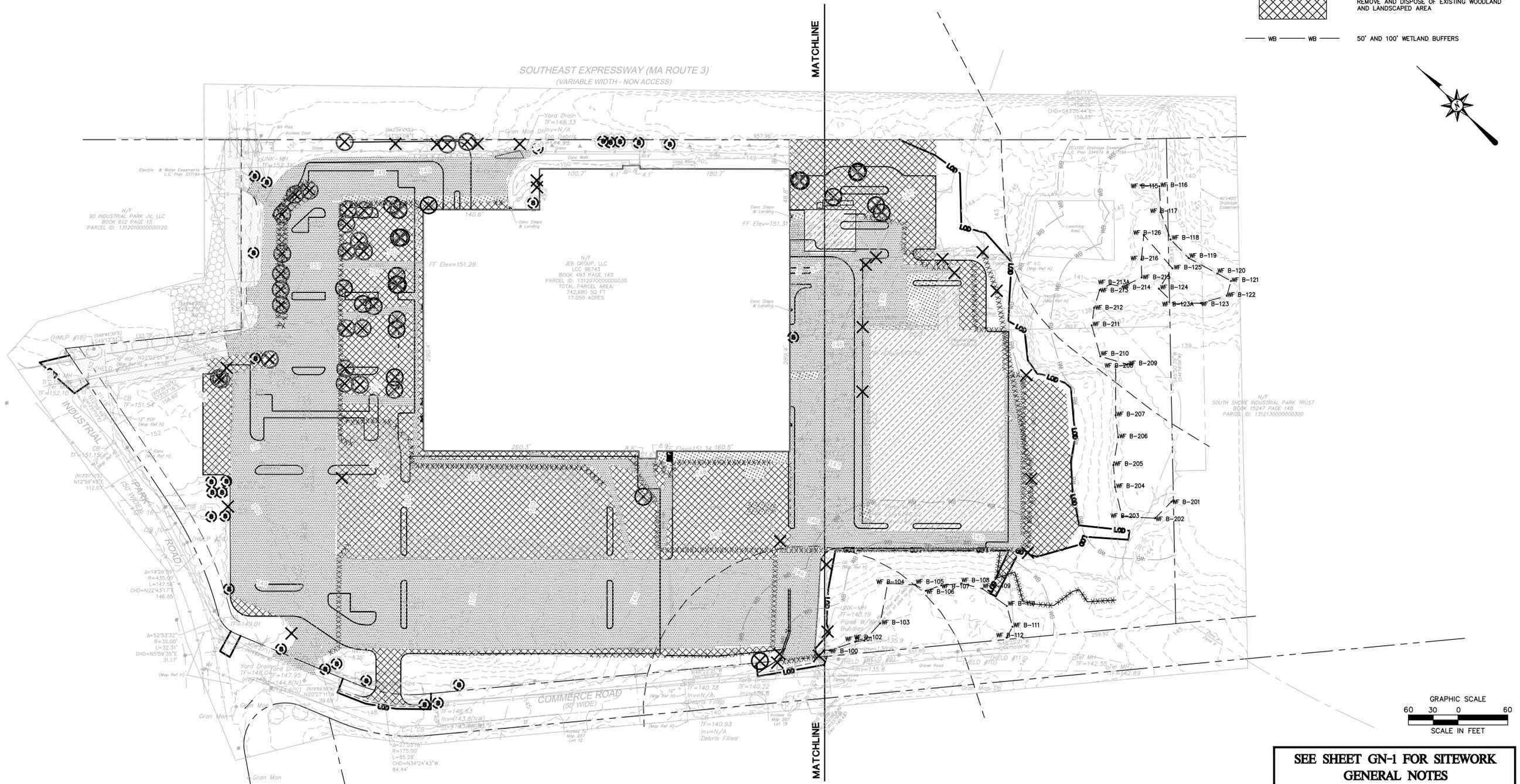
OVERALL DEMOLITION PLAN

Sheet No.

DM-0

DEMOLITION LEGEND

- LOD ——— PROPERTY LINE
- LIMIT OF DISTURBANCE LINE AND CONTRACT LIMIT LINE
- - - - - SAWCUT LINE
- XXXXXXXXXXXXXXXXXXXXX REMOVE AND DISPOSE OF UNDERGROUND STORMWATER OR UTILITY PIPE, CURB, FENCING, WALLS, OVERHEAD WIRES, ETC.
- X REMOVE AND DISPOSE OF LIGHT POLE, SIGN, PIPING, UTILITY STRUCTURE, APPURTENANCE, FIXTURE, TREE, AND/OR TREE STUMP ETC.
- ⊗ REMOVE AND DISPOSE OF TREE, SHRUB, AND/OR STUMP (TYP.)
- S EXISTING TREE/ SHRUBS OR UTILITY STRUCTURE TO REMAIN AND BE PROTECTED (TYP.)
- [Pattern: Dotted] REMOVE AND DISPOSE OF EXISTING CONCRETE PADS AND/OR CONCRETE SIDEWALKS
- [Pattern: Horizontal Lines] REMOVE AND DISPOSE OF EXISTING BITUMINOUS CONCRETE PAVEMENT STRUCTURE
- [Pattern: Diagonal Lines] REMOVE AND DISPOSE OF EXISTING BUILDING AND FOUNDATION
- [Pattern: Cross-hatch] REMOVE AND DISPOSE OF EXISTING WOODLAND AND LANDSCAPED AREA
- WB WB 50' AND 100' WETLAND BUFFERS



**SEE SHEET GN-1 FOR SITEWORK
GENERAL NOTES**

**FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION**

PROPOSED DEVELOPMENT
100 INDUSTRIAL PARK ROAD
HINGHAM, MASSACHUSETTS

Disc. Revised per Staff and Commission Comments
Date: 06/01/2020
No. 1. Revised per Staff and Commission Comments
2. Revised per Planning and Peer Review Comments
3. Revised per Conservation Commission Comments
4. Revised per Conservation Commission Comments

REVISIONS	Date	Description
No. 1.	06/01/2020	Revised per Staff and Commission Comments
2.	07/13/2020	Revised per Planning and Peer Review Comments
3.	07/27/2020	Revised per Conservation Commission Comments
4.	07/27/2020	Revised per Conservation Commission Comments

Designed A.T.K.
Drawn A.T.K.
Reviewed K.W.H.
Scale 1"=40'
Project No. 1901517
Date 03/06/2020
CAD File: DM190151701

DEMOLITION PLAN

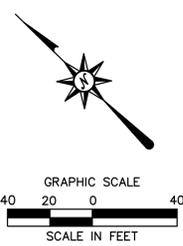
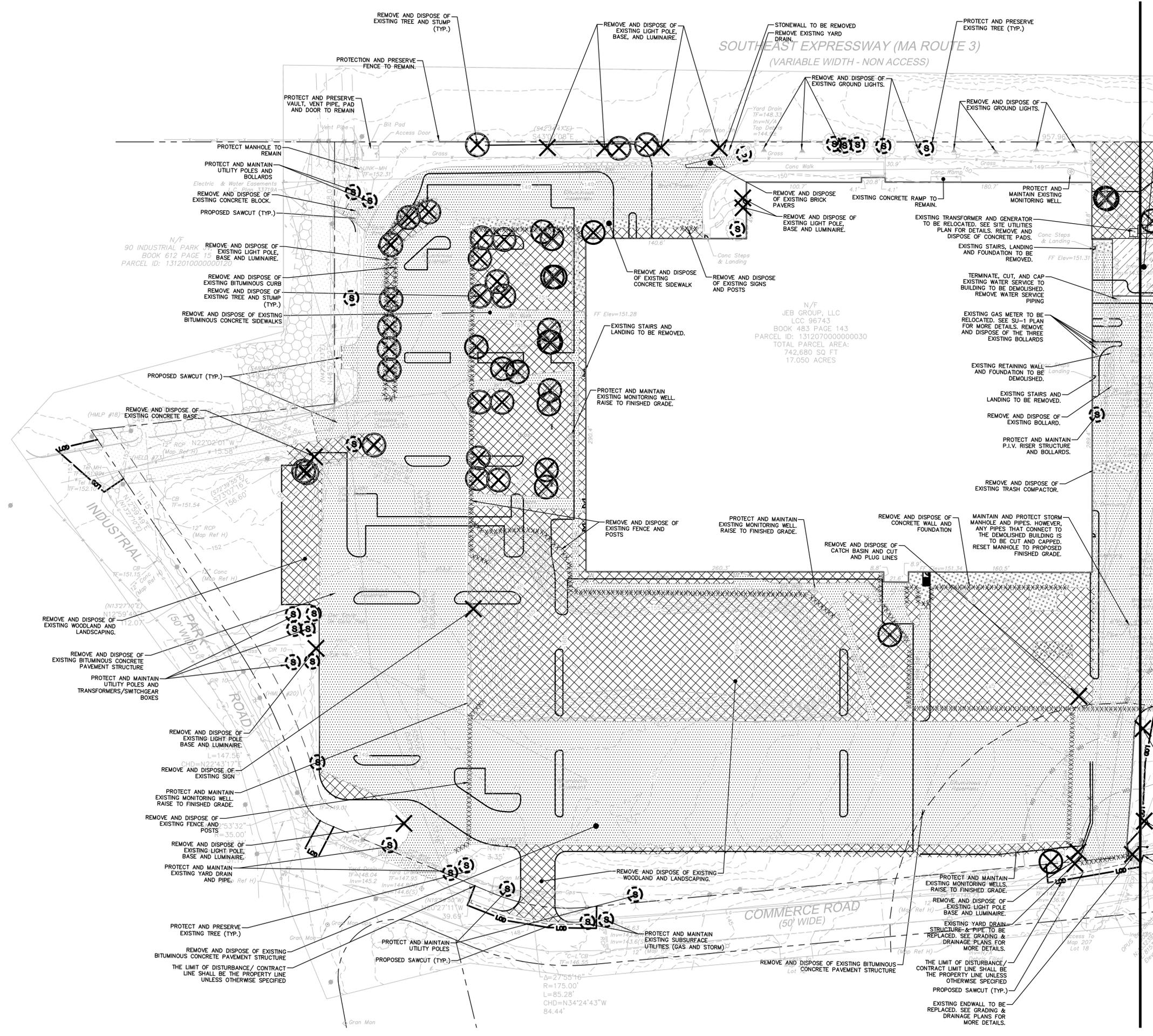
Title
Sheet No.

DM-1

DEMOLITION LEGEND

- PROPERTY LINE
- LIMIT OF DISTURBANCE LINE AND CONTRACT LIMIT LINE
- - - SAWCUT LINE
- X CONSTRUCTION CHAIN LINK FENCE
- XXXXXXXXXXXXXXXXXXXXX REMOVE AND DISPOSE OF UNDERGROUND STORMWATER OR UTILITY PIPE, CURB, FENCING, WALLS, OVERHEAD WIRES, ETC.
- ⊗ REMOVE AND DISPOSE OF LIGHT POLE, SIGN, PIPING, UTILITY STRUCTURE, APPURTENANCE, FIXTURE, TREE, AND/OR TREE STUMP ETC.
- ⊗ REMOVE AND DISPOSE OF TREE, SHRUB, AND/OR STUMP (TYP.)
- ⊙ EXISTING TREE/ SHRUBS OR UTILITY STRUCTURE TO REMAIN AND BE PROTECTED (TYP.)
- [Pattern] REMOVE AND DISPOSE OF EXISTING CONCRETE PADS AND/OR CONCRETE SIDEWALKS
- [Pattern] REMOVE AND DISPOSE OF EXISTING BITUMINOUS CONCRETE PAVEMENT STRUCTURE
- [Pattern] REMOVE AND DISPOSE OF EXISTING BUILDING AND FOUNDATION
- [Pattern] REMOVE AND DISPOSE OF EXISTING WOODLAND AND LANDSCAPED AREA
- WB WB 50' AND 100' WETLAND BUFFERS

MATCHLINE SEE SHEET DM-2



**SEE SHEET GN-1 FOR SITEWORK
GENERAL NOTES**

**FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION**

PROPOSED DEVELOPMENT
100 INDUSTRIAL PARK ROAD
HINGHAM, MASSACHUSETTS

Disc. Revised per Staff and Commission Comments
06/07/2020
Revised per Planning and Peer Review Comments
07/13/2020
Revised per Conservation Commission Comments
07/27/2020

REVISIONS	No.	Date	Description
	1.	06/07/2020	
	2.	07/13/2020	
	3.	07/27/2020	
	4.		

Designed A.T.K.
Drawn A.T.K.
Reviewed K.W.H.
Scale 1"=40'
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Date 03/06/2020

CAD File: DM190151701

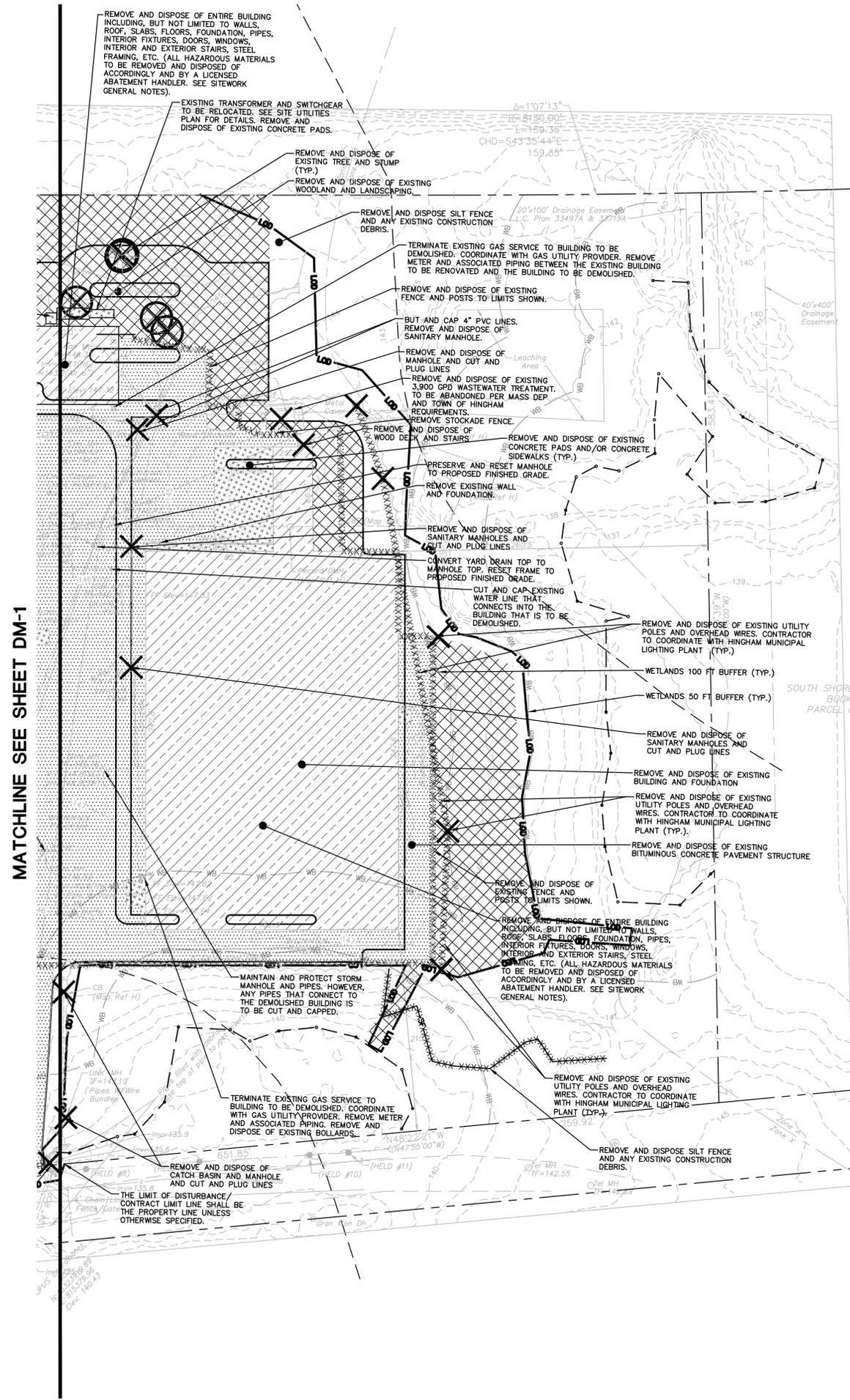
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DEMOLITION PLAN

Sheet No.

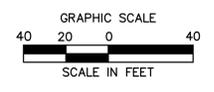
DM-2

DEMOLITION LEGEND

- PROPERTY LINE
- LOD --- LIMIT OF DISTURBANCE LINE AND CONTRACT LIMIT LINE
- SAWCUT LINE
- X CONSTRUCTION CHAIN LINK FENCE
- XXXXXXXXXXXXXXXXXXXXX REMOVE AND DISPOSE OF UNDERGROUND STORMWATER OR UTILITY PIPE, CURB, FENCING, WALLS, OVERHEAD WIRES, ETC.
- X REMOVE AND DISPOSE OF LIGHT POLE, SIGN, PIPING, UTILITY STRUCTURE, APPURTENANCE, FIXTURE, TREE, AND/OR TREE STUMP ETC.
- X REMOVE AND DISPOSE OF TREE, SHRUB, AND/OR STUMP (TYP.)
- S EXISTING TREE/ SHRUBS TO REMAIN AND BE PROTECTED (TYP.)
- REMOVE AND DISPOSE OF EXISTING CONCRETE PADS AND/OR CONCRETE SIDEWALKS
- REMOVE AND DISPOSE OF EXISTING BITUMINOUS CONCRETE PAVEMENT STRUCTURE
- REMOVE AND DISPOSE OF EXISTING BUILDING AND FOUNDATION
- REMOVE AND DISPOSE OF EXISTING WOODLAND AND LANDSCAPED AREA
- WB 50' AND 100' WETLAND BUFFERS



N/F SOUTH SHORE INDUSTRIAL PARK TRUST
BOOK 15247 PAGE 148
PARCEL ID: 1312130000000300



SEE SHEET GN-1 FOR SITEWORK
GENERAL NOTES

FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION

MATCHLINE SEE SHEET DM-1

ZONING INFORMATION

LOCATION: HINGHAM
 ZONE: IP (INDUSTRIAL PARK) & S. HINGHAM DEVELOPMENT ZONING OVERLAY
 USE: WAREHOUSE (PERMITTED USE)

ITEM #	ITEM	REQUIREMENTS	PROPOSED	WAIVER
1	MINIMUM LOT AREA	2 ACRES	±742,680 S.F. (±17.05 AC.)	NO
2	MINIMUM LOT WIDTH	NONE REQUIRED	±1,121 FEET	NO
3	MINIMUM LOT FRONTAGE	250 FEET	±1,557 FEET	NO
4	MINIMUM FRONT SETBACK	35 FEET	±251 FEET	NO
5	MINIMUM SIDE SETBACK	35 FEET	+35 FEET	NO
6	MINIMUM REAR SETBACK	50 FEET	±462 FEET	NO
7	MAXIMUM BUILDING HEIGHT	48 FEET / 4 STORIES (1)	±22 FEET	NO
8	MAXIMUM BUILDING COVERAGE	40 PERCENT / FAR OF 0.35	20.1 PERCENT	NO

(1) BASED UPON SOUTH HINGHAM DEVELOPMENT OVERLAY.

PARKING INFORMATION

ITEM #	ITEM	REQUIREMENTS	PROPOSED	WAIVER
1	BUILDING SIZE	NONE REQUIRED	149,000 S.F.	NO
2	PARKING REQUIRED	OFFICE: 5 SPACE PER EVERY 1,000 S.F. OF GFA (10,216 S.F.) TOTAL REQUIRED = 52 WAREHOUSE: 1 SPACE PER EVERY 1,000 S.F. OF GFA (149,000 S.F.) TOTAL REQUIRED = 139	130 CAR SPACES 330 VAN SPACES	YES
3	MINIMUM HANDICAPPED PARKING SPACES REQUIRED	6 SPACES	6 SPACES	NO
4	PARKING DIMENSIONS	9 FEET X 18 FEET (WITH OVERHANG) 9 FEET X 20 FEET (WITHOUT OVERHANG)	9' x 20' FEET (AUTO SPACES) 11' FEET X 27' FEET (VAN SPACES)	YES
5	aisle width	24 FEET - 2-WAY	24 FEET - 2-WAY (AUTO PARKING LOT) 30 FEET - 2-WAY (VAN PARKING LOT)	YES
6	MINIMUM FRONT SETBACK	15 FEET	±19 FEET	NO
7	MINIMUM SIDE SETBACK	NONE REQUIRED	±21 FEET	NO
8	MINIMUM REAR SETBACK	NONE REQUIRED	±200 FEET	NO
9	LOT AREA COVERAGE	A MINIMUM OF 15% OF THE AREA OF EACH LOT SHALL NOT BE BUILT UPON, PAVED OR PARKED UPON, AND SHALL BE MAINTAINED EITHER IN ITS NATURAL STATE OR LANDSCAPED	246,573 SF UNPAVED AREA (LANDSCAPED AND NATURAL)/742,680 SF LOT AREA = 33.2%	NO

SPECIAL REQUIREMENTS:
 • ALONG ENTIRE STREET FRONTAGE, A 15 FT GREEN OR LANDSCAPED STRIP SHALL BE MAINTAINED.

LEGEND

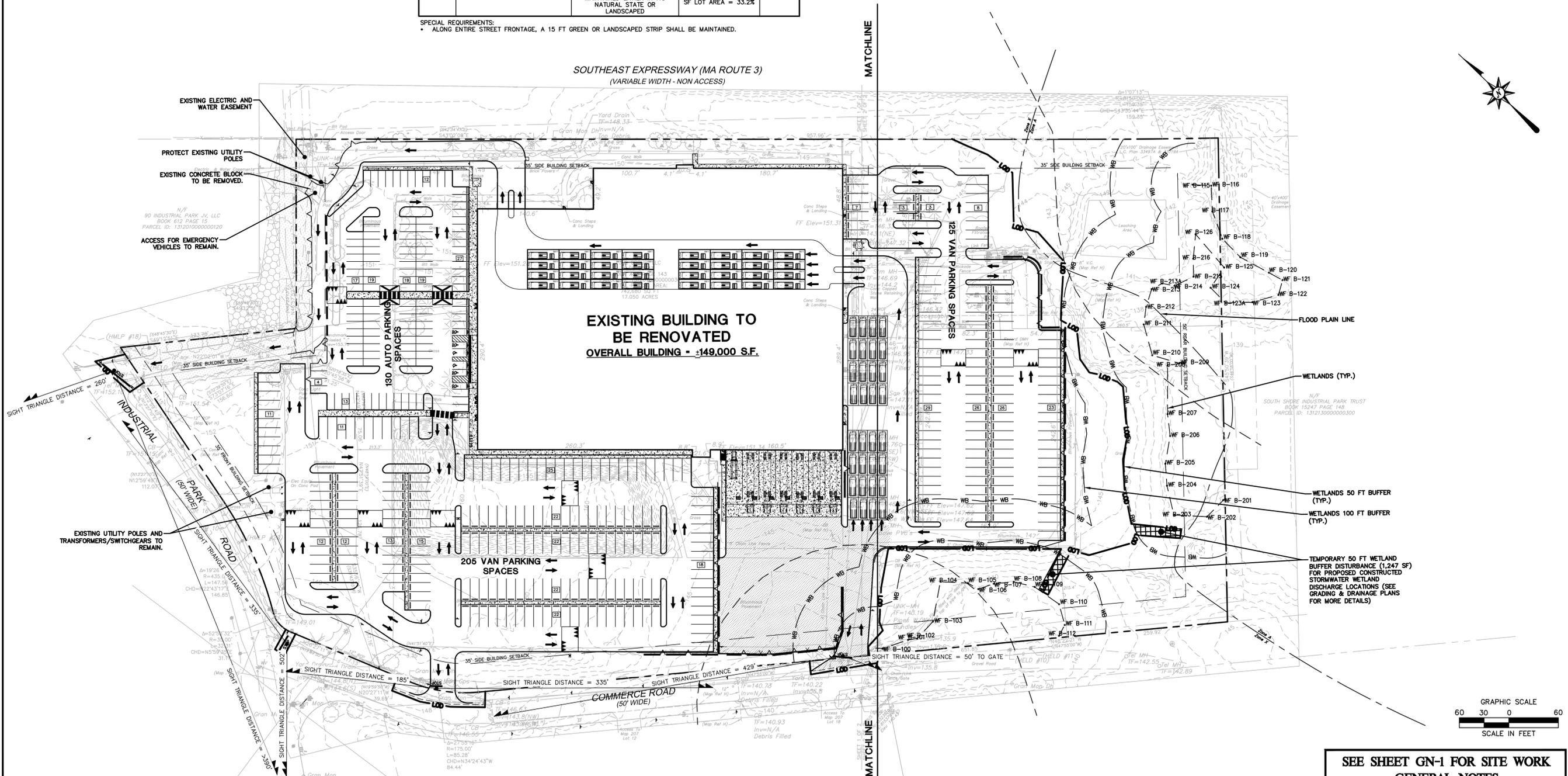
- TRAFFIC FLOW DIRECTION
- - - - - EXISTING PARCEL BOUNDARY
- - - - - PARKING SETBACK PER HINGHAM ZONING BYLAWS
- - - - - BUILDING SETBACK PER HINGHAM ZONING BYLAWS
- - - - - WETLAND BOUNDARY
- - - - - 50' AND 100' WETLAND BUFFERS
- - - - - FLOODPLAIN ZONE A BOUNDARY
- - - - - LIMIT OF DISTURBANCE
- - - - - PROPOSED GUIDE RAIL
- - - - - PROPOSED CONCRETE CURB
- - - - - ZONE A SURFACE WATER SUPPLY PROTECTION AREA BOUNDARY FROM MASSGIS DATA
- - - - - HEAVY DUTY BITUMINOUS CONCRETE PAVEMENT STRUCTURE
- - - - - STANDARD DUTY BITUMINOUS CONCRETE PAVEMENT STRUCTURE
- - - - - CONCRETE PAVEMENT

GENERAL NOTES

- SITE IS HAS AN ACTIVITY AND USE LIMITATION (AUL) OVER THE FULL PROPERTY. A SOIL MANAGEMENT PLAN WILL BE REQUIRED FOR EXCAVATION.

WETLAND BUFFER ENCROACHMENTS

CONDITION	0-50' WETLAND BUFFER	50'-100' WETLAND BUFFER
EXISTING	±4,465 S.F.	±22,812 S.F.
PROPOSED	±4,565 S.F. (120 S.F. INCREASE FOR TWO NEW DISCHARGE LOCATIONS WITH SCOUR HOLES)	±32,743 S.F. (9,931 S.F. INCREASE FOR THE CONSTRUCTED STORMWATER WETLAND TREATMENT POND)
TEMPORARY	±1,247 S.F. (FOR INSTALLATION OF DISCHARGE PIPES, SURFACE TO BE RESORTED ONCE TRENCH HAS BEEN BACKFILLED)	±6,298 S.F. (FOR ADDITIONAL TREE PLANTINGS BY THE PROPOSED STORMWATER WETLAND TREATMENT POND)



SEE SHEET GN-1 FOR SITE WORK
 GENERAL NOTES
 FOR PERMITTING PURPOSES ONLY
 NOT RELEASED FOR CONSTRUCTION



355 Research Parkway
 Meriden, CT 06450
 (203) 630-1406
 (203) 630-2615 Fax



PROPOSED DEVELOPMENT
 100 INDUSTRIAL PARK ROAD
 HINGHAM, MASSACHUSETTS

REVISIONS

No.	Date	Description
1.	05/12/2020	Revised per Staff and Commission Comments
2.	07/13/2020	Revised per Planning and Peer Review Comments
3.	07/13/2020	Revised per Conservation Commission Comments
4.	07/27/2020	

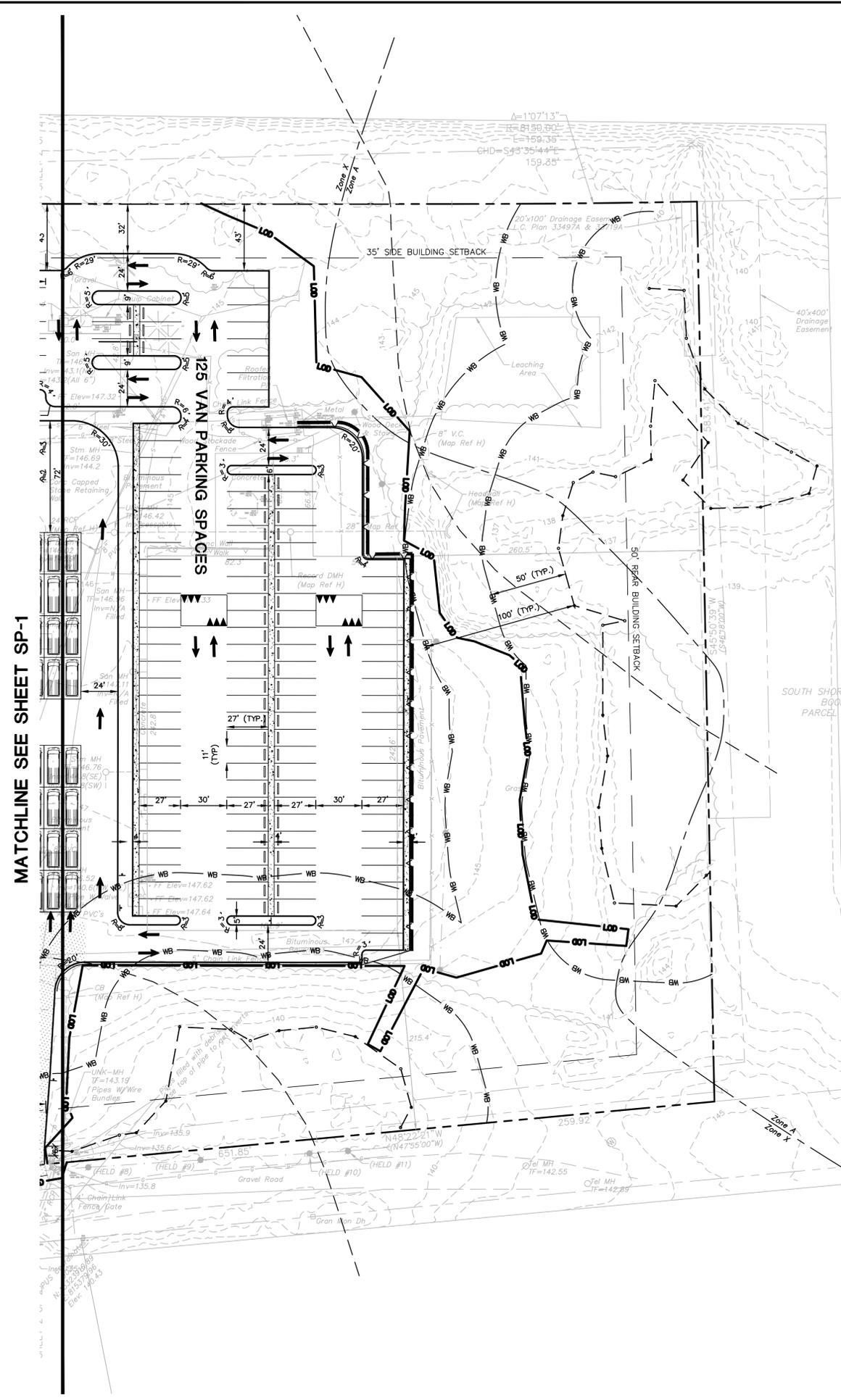
Designed P.G.M.
 Drawn P.G.M.
 Reviewed K.W.H.
 Scale 1"=40'
 Project No. 1901517
 Date 03/06/2020
 CAD File: SP190151701

OVERALL SITE PLAN

Sheet No. **SP-0**

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 User: rbl...
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LEGEND	
	TRAFFIC FLOW DIRECTION
	EXISTING PARCEL BOUNDARY
	PARKING SETBACK PER HINGHAM ZONING BYLAWS
	BUILDING SETBACK PER HINGHAM ZONING BYLAWS
	WETLAND BOUNDARY
	50' AND 100' WETLAND BUFFERS
	FLOODPLAIN A BOUNDARY
	ZONE A SURFACE WATER SUPPLY PROTECTION AREA BOUNDARY FROM MASSGIS DATA
	HEAVY DUTY BITUMINOUS CONCRETE PAVEMENT STRUCTURE
	STANDARD DUTY BITUMINOUS CONCRETE PAVEMENT STRUCTURE
	CONCRETE PAVEMENT



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PROPOSED DEVELOPMENT
 100 INDUSTRIAL PARK ROAD
 HINGHAM, MASSACHUSETTS

REVISIONS	
No.	Date
1.	05/12/2020
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3.	
4.	

Disc.	Revised per Staff and Commission Comments
Date	05/12/2020
Drawn	P.G.M.
Reviewed	P.G.M.
Scale	1"=40'
Project No.	1901517
Date	03/06/2020
CAD File:	SP190151701

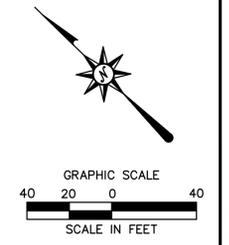
SITE PLAN

Sheet No.

SP-2

SEE SHEET GN-1 FOR SITE WORK
 GENERAL NOTES

FOR PERMITTING PURPOSES ONLY
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N/F
 SOUTH SHORE INDUSTRIAL PARK TRUST
 BOOK 15247 PAGE 148
 PARCEL ID: 1312130000000300

LEGEND

- ← TRAFFIC FLOW DIRECTION
- - - - - EXISTING PARCEL BOUNDARY
- - - - - PARKING SETBACK PER HINGHAM ZONING BYLAWS
- - - - - BUILDING SETBACK PER HINGHAM ZONING BYLAWS
- - - - - WETLAND BOUNDARY
- WB 50' AND 100' WETLAND BUFFERS
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- LOD LIMIT OF DISTURBANCE
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- HEAVY DUTY BITUMINOUS CONCRETE PAVEMENT STRUCTURE
- STANDARD DUTY BITUMINOUS CONCRETE PAVEMENT STRUCTURE
- CONCRETE PAVEMENT

GENERAL NOTES

1. ALL SIGNS AND PAVEMENT MARKINGS TO BE INSTALLED WITHIN THE PROJECT SITE SHALL CONFORM TO THE APPLICABLE SPECIFICATIONS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. SIGNS, LANDSCAPING, AND OTHER FEATURES LOCATED WITHIN SIGHT TRIANGLE AREAS SHALL BE DESIGNED, INSTALLED, AND MAINTAINED SO AS NOT TO EXCEED 2.5 FEET IN HEIGHT. SNOW WINDROWS LOCATED WITHIN SIGHT TRIANGLE AREAS THAT EXCEED 3.5 FEET IN HEIGHT OR THAT WOULD OTHERWISE INHIBIT SIGHT LINES SHALL BE PROMPTLY REMOVED.

KEYNOTE LEGEND

- (A) INSTALL 4" WIDE WHITE STRIPE (TYP.)
- (B) INSTALL 4" WIDE ORANGE WARNING LINE (TYP.)
- (C) INSTALL 24" HIGH 3 DIGIT NUMBER MARKINGS AT DOCK SPACES (TYP.)
- (D) 4" SOLID WHITE LINE STRIPED PAVEMENT MARKINGS (Ø 45', SPACED 4' O.C., TYP.)
- (E) INSTALL S-1 SIGN
- (G) INSTALL S-2 SIGN
- (H) INSTALL S-3 SIGN
- (I) INSTALL S-6 SIGN
- (J) INSTALL S-7 SIGN
- (K) INSTALL S-8 SIGN
- (L) INSTALL S-14 SIGN
- (M) INSTALL S-15 SIGN
- (N) INSTALL S-16 SIGN
- (O) INSTALL AS-26 SIGN. VERIFY LOCATION AND MOUNTING METHOD WITH TENANT'S REPRESENTATIVE PRIOR TO INSTALLATION. 4" SOLID BLUE LINE STRIPED PAVEMENT MARKINGS (Ø 45', SPACED 4' O.C., TYP.)
- (Q) INSTALL PAVEMENT DIRECTION ARROWS (TYP.)
- (R) INSTALL 12" WIDE VEHICLE STOP LINE
- (S) TYPICAL TRAILER PARKING AT DOCK (TYP.)
- (T) INSTALL AS-31 SIGN
- (U) INSTALL PG-17 SIGN
- (V) INSTALL PG-18 SIGN
- (W) INSTALL CONCRETE WHEEL STOP (TYP.)
- (X) INSTALL BITUMINOUS CONCRETE SPEED HUMP (TYP.)
- (Y) INSTALL 4" WIDE YELLOW STRIPE (TYP.)
- (Z) INSTALL R3-2 SIGN (NO LEFT TURN) (TYP.)
- (AA) INSTALL W2-2 SIGN (INTERSECTION WARNING SIGN) (TYP.)
- (AB) INSTALL W13-1P SIGN (20 MPH) (TYP.)
- (AC) INSTALL CONCRETE PEDESTRIAN TABLE WITH CROSSWALK PAVEMENT MARKING
- (AD) INSTALL S-5 SIGN
- (AE) INSTALL S-5A SIGN
- (AF) INSTALL 8' WIDE CROSSWALK PAVEMENT MARKING

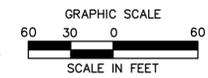
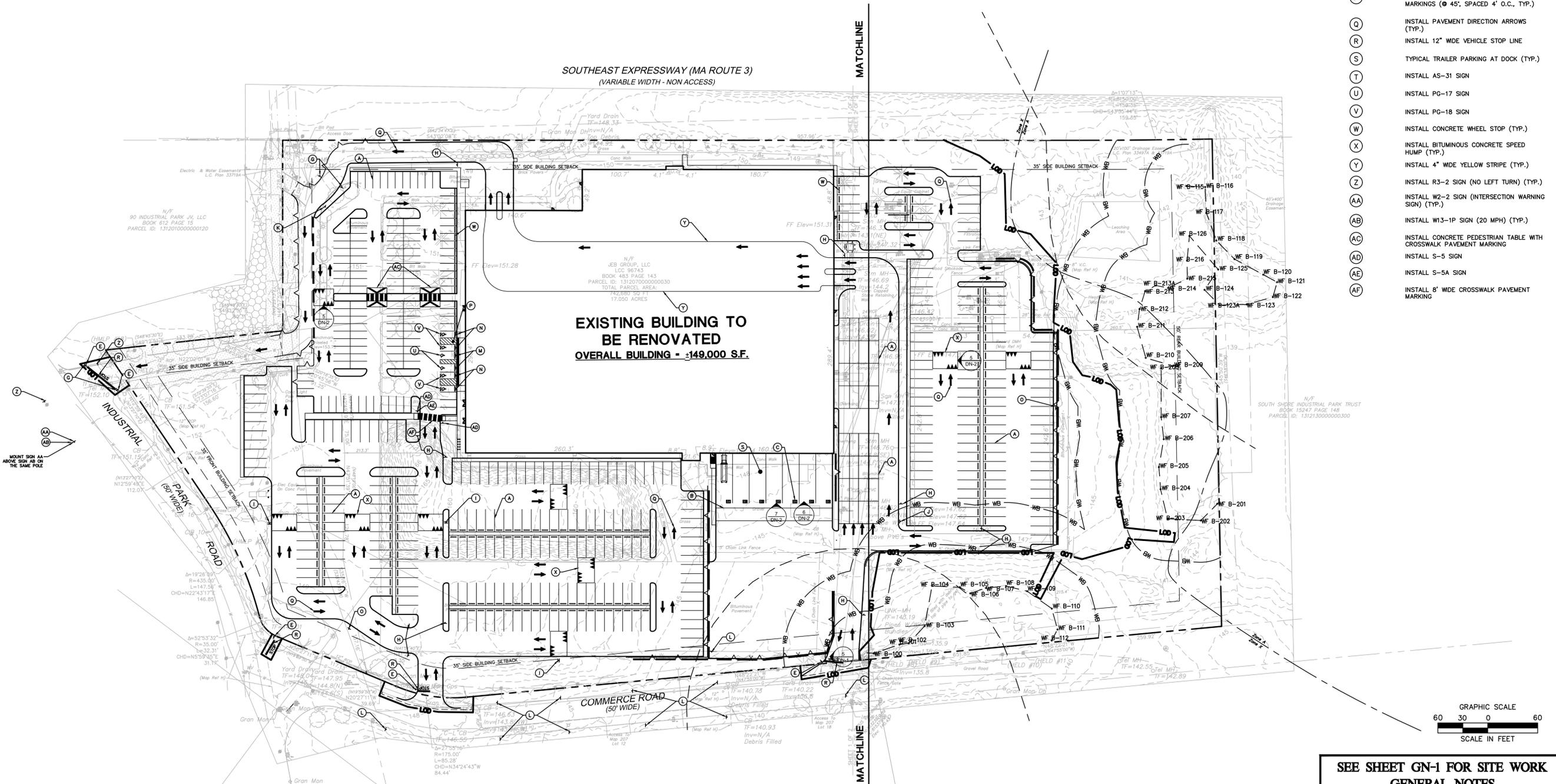


SOUTHEAST EXPRESSWAY (MA ROUTE 3)
(VARIABLE WIDTH - NON ACCESS)

MATCHLINE

EXISTING BUILDING TO BE RENOVATED
OVERALL BUILDING - 3149,000 S.F.

MATCHLINE



SEE SHEET GN-1 FOR SITE WORK
GENERAL NOTES

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Meriden, CT 06450
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PROPOSED DEVELOPMENT
100 INDUSTRIAL PARK ROAD
HINGHAM, MASSACHUSETTS

REVISIONS

No.	Date	Description
1.	05/12/2020	Revised per Staff and Commission Comments
2.	07/13/2020	Revised per Planning and Peer Review Comments
3.	07/13/2020	Revised per Conservation Commission Comments
4.	07/27/2020	

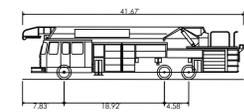
Designed P.G.M.
Drawn P.G.M.
Reviewed K.W.H.
Scale 1"=40'
Project No. 1901517
Date 03/06/2020
CAD File: SP190151701

Title
SITE SIGNAGE AND PAVEMENT MARKING PLAN

Sheet No.

SP-3

Auto 13, 2020 11:23am p:\projects\CA\1901517\DWG\SP190151701.dwg
 User: rbl...
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Hingham Fire Truck
 Overall Length 41.67ft
 Overall Width 8.00ft
 Overall Body Height 9.85ft
 Min Body Ground Clearance 0.81ft
 Track Width 7.70ft
 Lock-to-lock time 6.00s
 Curb to Curb Turning Radius 24.50ft

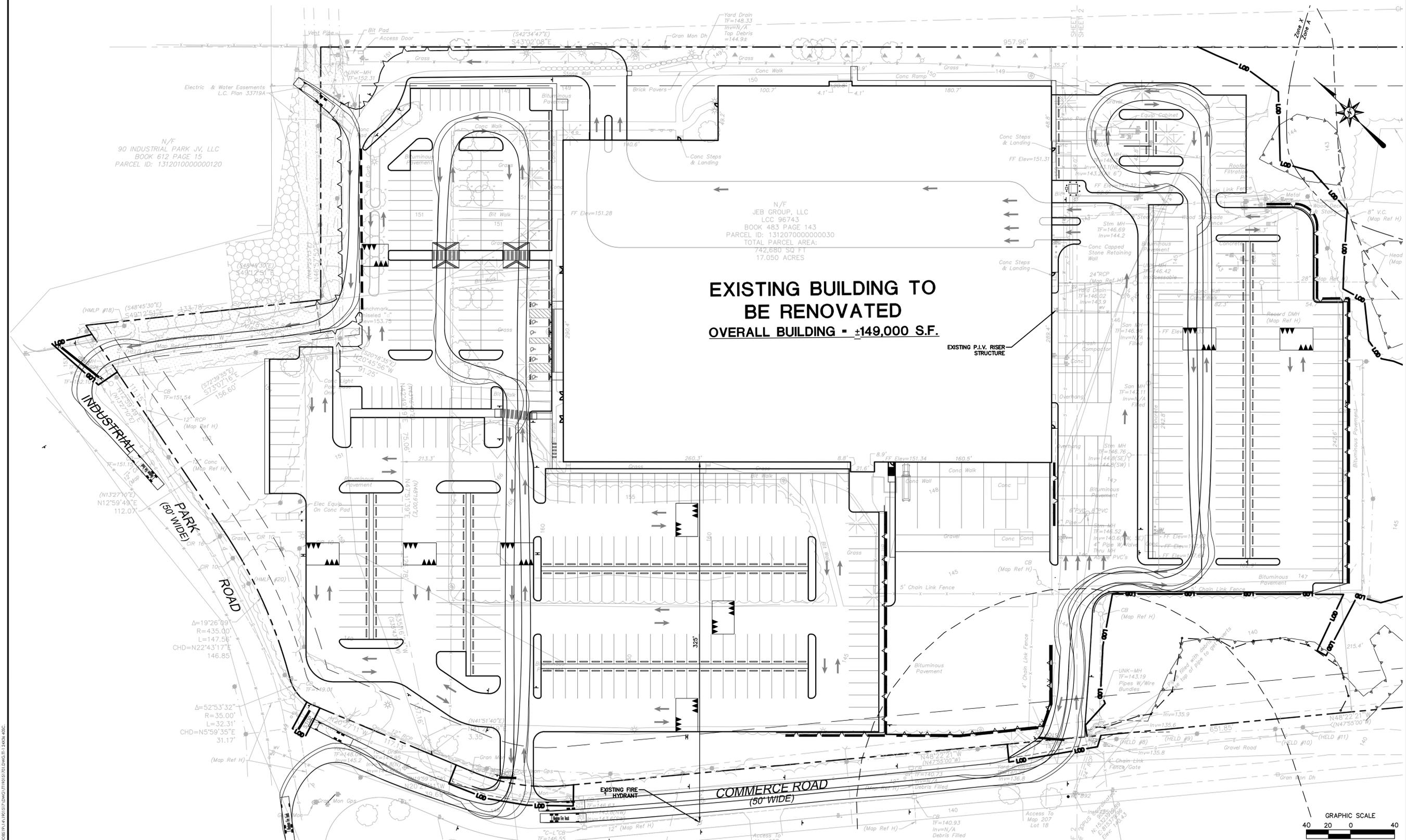


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PROPOSED DEVELOPMENT
 100 INDUSTRIAL PARK ROAD
 HINGHAM, MASSACHUSETTS

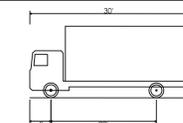
REVISIONS	No.	Date	Desc.
Designed			P.G.M.
Drawn			P.G.M.
Reviewed			K.W.H.
Scale			1"=40'
Project No.			1901517
Date			06/01/2020
CAD File:			TT190151701
Title			TRUCK TURNING PLAN
Sheet No.			TT-1



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Aug 13, 2020 11:20am p:\merrimack\c\j\05219\1\1901517\DWG\TT190151701.dwg
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 Plot: TT190151701.ctb
 Plot Device: HPGL2
 Plot Scale: 1"=40'

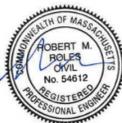
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SU-30 - Single Unit Truck
 Overall Length 30.0ft
 Overall Width 8.00ft
 Overall Body Height 13.5ft
 Min Body Ground Clearance 1.37ft
 Track Width 8.00ft
 Lock-to-lock time 5.00s
 Max Steering Angle (Virtual) 31.80°



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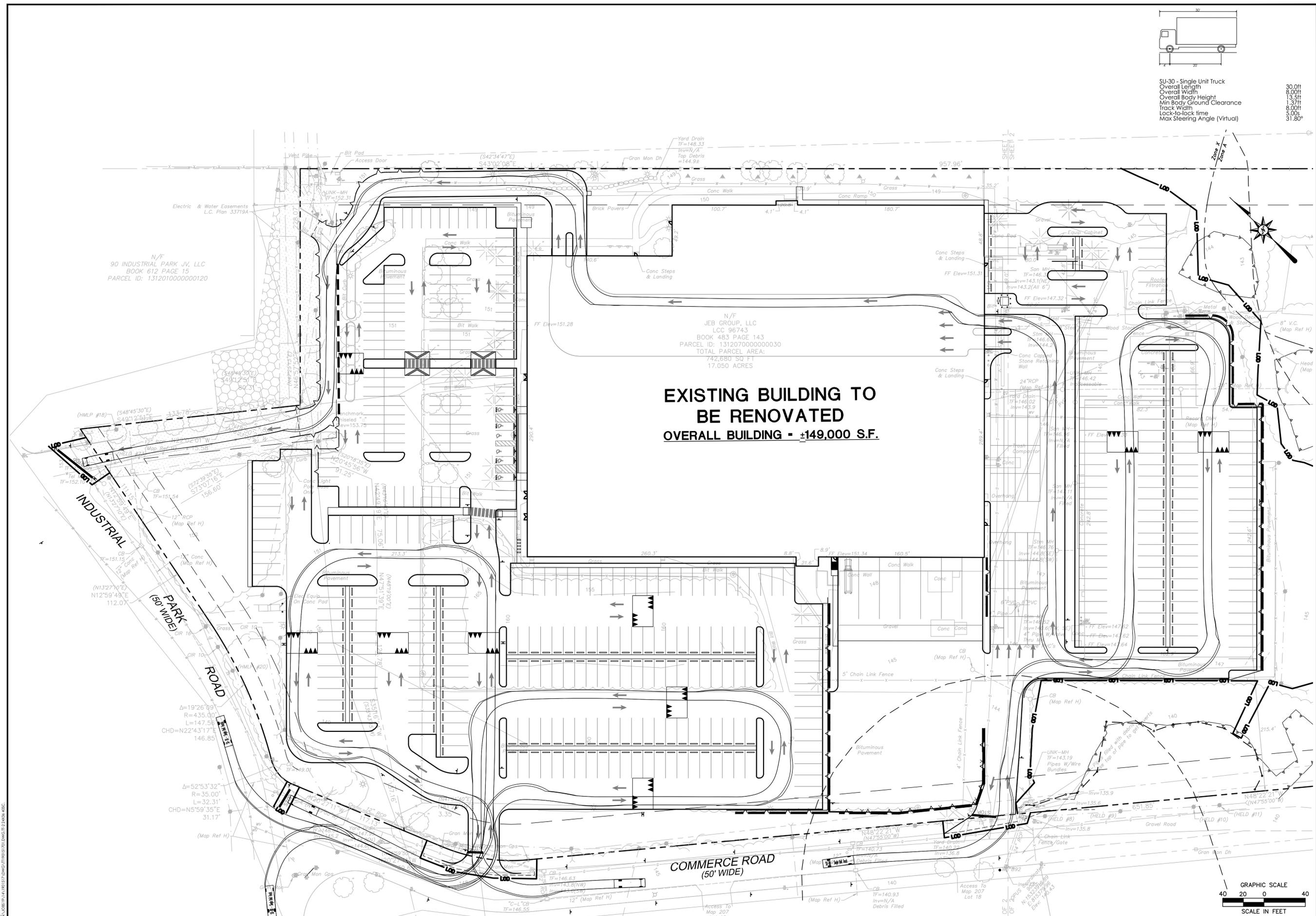


PROPOSED DEVELOPMENT
 100 INDUSTRIAL PARK ROAD
 HINGHAM, MASSACHUSETTS

REVISIONS	No.	Date	Desc.
Designed			P.G.M.
Drawn			P.G.M.
Reviewed			K.W.H.
Scale			1"=40'
Project No.			1901517
Date			06/01/2020
CAD File:			TT190151701

Title
TRUCK TURNING PLAN
 Sheet No.

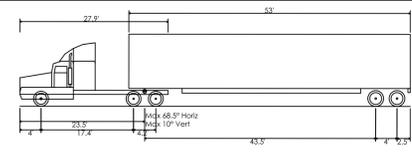
TT-2



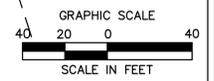
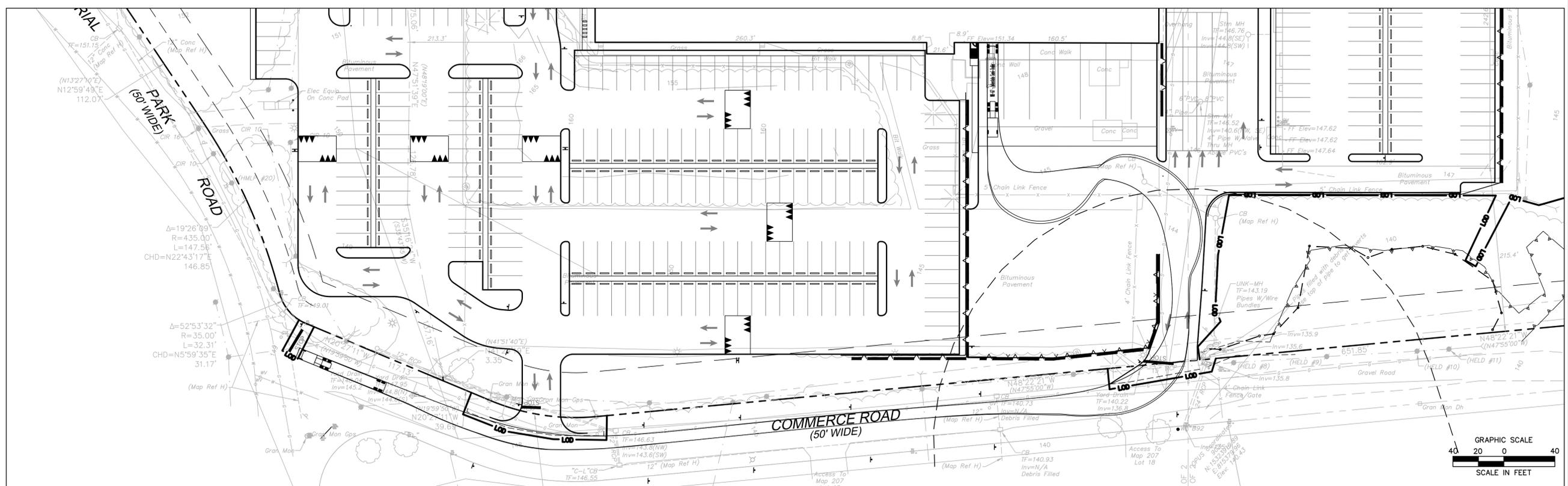
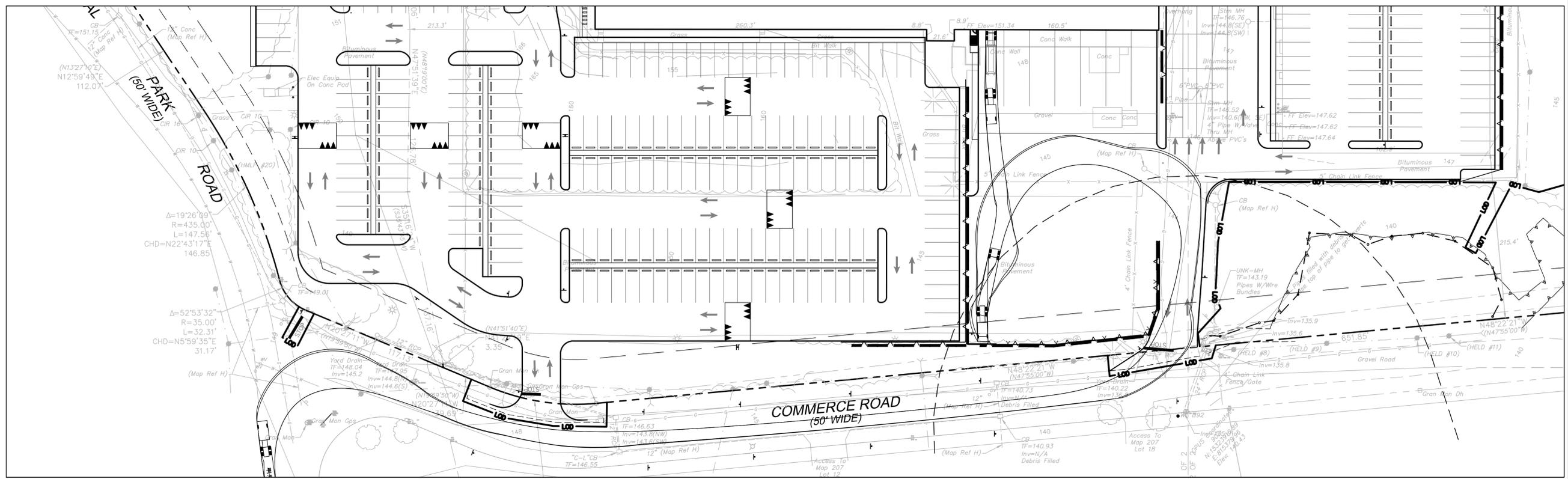
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PROPOSED DEVELOPMENT
100 INDUSTRIAL PARK ROAD
HINGHAM, MASSACHUSETTS



WB-67 - Interstate Semi-Trailer
Overall Length 73.5ft
Overall Width 8.50ft
Overall Body Height 13.5ft
Min Body Ground Clearance 1.33ft
Max Track Width 8.50ft
Lock-to-lock time 5.00s
Max Steering Angle (Virtual) 28.40°



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REVISIONS	No.	Date	Desc.
Designed			P.G.M.
Drawn			P.G.M.
Reviewed			K.W.H.
Scale			1"=40'
Project No.			1901517
Date			06/01/2020
CAD File:			TT190151701

Title
TRUCK TURNING PLAN

Sheet No.

TT-3

SOUTHEAST EXPRESSWAY (MA ROUTE 3)
(VARIABLE WIDTH - NON ACCESS)

GRADING AND DRAINAGE LEGEND

PROPERTY LINE	---
LIMIT OF DISTURBANCE LINE AND CONTRACT LIMIT LINE	---
STORM LINE	---
CATCH BASIN	■
STORM MANHOLE	●
FLARED END	▽
END WALL OR HEADWALL	⌋
OUTLET CONTROL STRUCTURE	⊙
HYDRODYNAMIC SEPARATOR	⊙
PROPOSED CONTOUR LINE	---(228)---
PROPOSED SPOT GRADE	x 100.00
ABBREVIATIONS	
- TC=TOP OF CURB	TC=100.00
- BC=BOTTOM OF CURB	BC=99.50
- TW=TOP OF WALL	TW=108.00
- BW=BOTTOM OF WALL	BW=100.00
PROPOSED SURFACE SLOPE	2%
ELECTRIC LINE	E
ELECTRIC AND TELECOMMUNICATIONS LINES	E/T
GAS LINE	G
WATER LINE	W
SANITARY SEWER LINE	S
SANITARY SEWER FORCE MAIN	SFM
OVERHEAD LINE	OH
TRANSFORMER	⊕
HYDRANT	⊕
UTILITY POLE	⊕
SANITARY/STORM MANHOLE	⊙
SANITARY/STORM CLEANOUT	⊙
WATER VALVE	⊕
GATE VALVE	⊕
THRUST BLOCK	⊕
PRECAST CONCRETE TANK	⊕
WETLAND 50 FT AND 100 FT BUFFERS	WB

N/F
90 INDUSTRIAL PARK JV, LLC
BOOK 612 PAGE 15
PARCEL ID: 131201000000120

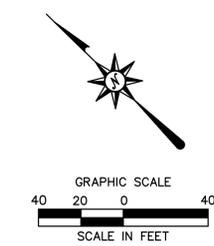
N/F
JEB GROUP, LLC
LCO 96743
BOOK 483 PAGE 143
PARCEL ID: 131207000000030
TOTAL PARCEL AREA:
742,680 SQ FT
17.050 ACRES

EXISTING BUILDING TO BE RENOVATED
OVERALL BUILDING - ±149,000 S.F.

INDUSTRIAL PARK ROAD
(50' WIDE)

COMMERCE ROAD
(50' WIDE)

MATCHLINE SEE SHEET GD-2



SEE SHEET GN-1 FOR SITE WORK GENERAL NOTES

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PROPOSED DEVELOPMENT
100 INDUSTRIAL PARK ROAD
HINGHAM, MASSACHUSETTS

Desc. per Staff and Commission Comments
Reviewed per Staff and Commission Comments
Revised per Planning and Peer Review Comments
Revised per Conservation Commission Comments

REVISIONS	Date	Description
No. 1	06/07/2020	
No. 2	07/13/2020	
No. 3	07/27/2020	
No. 4		

Designed A.T.K.
Drawn A.T.K.
Reviewed
Scale 1"=40'
Project No. 1901517
Date 03/06/2020

CAD File: GD190151701
Title
GRADING AND DRAINAGE PLAN

Sheet No.

GD-1



PROPOSED DEVELOPMENT
100 INDUSTRIAL PARK ROAD
HINGHAM, MASSACHUSETTS

Disc. per Staff and Commission Comments
Reviewed per Staff and Commission Comments
Revised per Planning and Peer Review Comments
Revised per Conservation Commission Comments

REVISIONS	Date	Description
No. 1	06/07/2020	
No. 2	07/15/2020	
No. 3	07/27/2020	
No. 4		

Designed	A.T.K.
Drawn	A.T.K.
Reviewed	
Scale	1"=40'
Project No.	1901517
Date	03/06/2020
CAD File:	GD190151701
Title	

GRADING AND DRAINAGE PLAN

Sheet No.

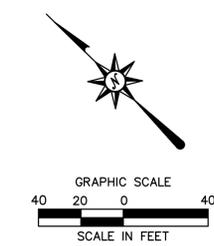
GD-2

GRADING AND DRAINAGE LEGEND

PROPERTY LINE	---
LIMIT OF DISTURBANCE LINE AND CONTRACT LIMIT LINE	LOD
STORM LINE	---
CATCH BASIN	■
STORM MANHOLE	●
FLARED END	◡
END WALL OR HEADWALL	◡
OUTLET CONTROL STRUCTURE	⊙
HYDRODYNAMIC SEPARATOR	⊙
PROPOSED CONTOUR LINE	228
PROPOSED SPOT GRADE	x 100.00
ABBREVIATIONS	
- TC=TOP OF CURB	TC=100.00
- BC=BOTTOM OF CURB	BC=99.50
- TW=TOP OF WALL	TW=108.00
- BW=BOTTOM OF WALL	BW=100.00
PROPOSED SURFACE SLOPE	2%
ELECTRIC LINE	E E
ELECTRIC AND TELECOMMUNICATIONS LINES	E/T
GAS LINE	G G
WATER LINE	W W
SANITARY SEWER LINE	S
SANITARY SEWER FORCE MAIN	SFM
OVERHEAD LINE	OH OH
TRANSFORMER	⊞
HYDRANT	⊙
UTILITY POLE	⊙
SANITARY/STORM MANHOLE	●
SANITARY/STORM CLEANOUT	⊙
WATER VALVE	⊙
GATE VALVE	⊙
THRUST BLOCK	▲
PRECAST CONCRETE TANK	⊞
WETLAND 50 FT AND 100 FT BUFFERS	WB

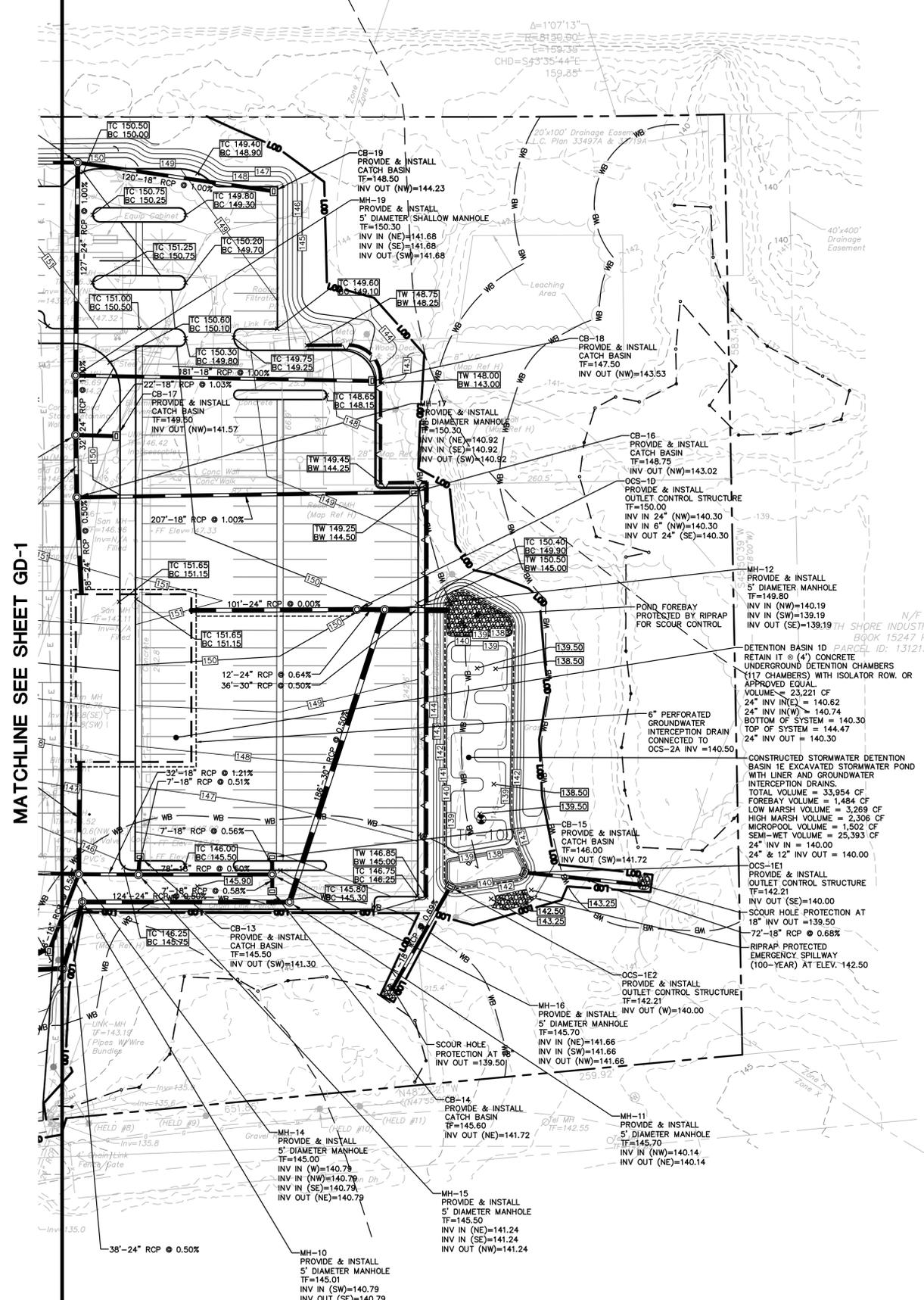
NOTES:

- IN REGARD TO THE CONSTRUCTED STORMWATER WETLAND; FROM 310 CMR: DEPARTMENT OF ENVIRONMENTAL PROTECTION, SECTION 10.02(2)(b)(3)(c) "NOTWITHSTANDING THE PROVISIONS OF 310 CMR 10.02(1) AND (2)(A) AND (B), STORMWATER MANAGEMENT SYSTEMS DESIGNED, CONSTRUCTED, INSTALLED, OPERATED, MAINTAINED, AND/OR IMPROVED AS DEFINED IN 310 CMR 10.04 IN ACCORDANCE WITH THE STORMWATER MANAGEMENT STANDARDS AS PROVIDED IN THE STORMWATER MANAGEMENT POLICY (1996) OR 310 CMR 10.05(6)(k) THROUGH (O) DO NOT BY THEMSELVES CONSTITUTE AREAS SUBJECT TO PROTECTION UNDER M.G.L. C. 131, § 40 OR BUFFER ZONE PROVIDED THAT:
 - THE SYSTEM WAS DESIGNED, CONSTRUCTED, INSTALLED, AND/OR IMPROVED AS DEFINED IN 310 CMR 10.04 ON OR AFTER NOVEMBER 18, 1996; AND
 - IF THE SYSTEM WAS CONSTRUCTED IN AN AREA SUBJECT TO PROTECTION UNDER M.G.L. C. 131, § 40 OR BUFFER ZONE, THE SYSTEM WAS DESIGNED, CONSTRUCTED, AND INSTALLED IN ACCORDANCE WITH ALL APPLICABLE PROVISIONS IN 310 CMR 10.00.
- IN REGARD TO THE CONSTRUCTED STORMWATER WETLAND; FROM 310 CMR: DEPARTMENT OF ENVIRONMENTAL PROTECTION, SECTION 10.02(3) "NOTWITHSTANDING THE PROVISIONS OF 310 CMR 10.02(1) AND (2), THE MAINTENANCE OF A STORMWATER MANAGEMENT SYSTEM CONSTRUCTED AND/OR IMPROVED AS DEFINED IN 310 CMR 10.04 FROM NOVEMBER 18, 1996 THROUGH JANUARY 1, 2008, IN ACCORDANCE WITH THE STORMWATER MANAGEMENT STANDARDS, AS PROVIDED IN THE MASSACHUSETTS STORMWATER POLICY, ISSUED BY THE DEPARTMENT ON NOVEMBER 18, 1996 OR ON OR AFTER JANUARY 2, 2008, IN ACCORDANCE WITH THE STORMWATER MANAGEMENT STANDARDS AS PROVIDED IN 310 CMR 10.05(6)(k) THROUGH (O) IS NOT SUBJECT TO REGULATION UNDER M.G.L. C. 131, § 40 PROVIDED THAT:
 - IF THE SYSTEM WAS CONSTRUCTED IN AN AREA SUBJECT TO PROTECTION UNDER M.G.L. C. 131, § 40 OR ASSOCIATED BUFFER ZONE, THE SYSTEM WAS CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE PROVISIONS OF 310 CMR 10.00;
 - THE WORK TO MAINTAIN THE STORMWATER MANAGEMENT SYSTEM IS LIMITED TO MAINTENANCE OF A STORMWATER MANAGEMENT SYSTEM AS DEFINED IN 310 CMR 10.04; AND
 - SUCH WORK UTILIZES BEST PRACTICAL MEASURES TO AVOID AND MINIMIZE IMPACTS TO WETLAND RESOURCE AREA OUTSIDE THE FOOTPRINT OF THE STORMWATER MANAGEMENT SYSTEM.



**SEE SHEET GN-1 FOR SITE WORK
GENERAL NOTES**

**FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION**



MATCHLINE SEE SHEET GD-1

DEPTH (ft)	DESCRIPTION
0-16	SOIL HORIZON: OAE SOIL TEXTURE: SANDY LOAM SOIL COLOR: 10YR3/2 OTHER: WOODS (TREES CUT), FRABLE, CRUMB
16-22	SOIL HORIZON: BW SOIL TEXTURE: SANDY LOAM SOIL COLOR: 10YR5/6 OTHER: FRABLE, CRUMB
22-112	SOIL HORIZON: C1 SOIL TEXTURE: MEDIUM SAND SOIL COLOR: 2.5Y7/3 OTHER: LOOSE, SINGLE GRAIN, STRATIFIED, 5% GRAVEL
112-124	SOIL HORIZON: C2 SOIL TEXTURE: VERY FINE SAND SOIL COLOR: 2.5Y7/2 OTHER: VERY FRABLE, PLATY, SINGLE GRAIN, < 5% GRAVEL ESTIMATED SEASONAL HIGH GROUND WATER: > 124"

DEPTH (ft)	DESCRIPTION
0-12	SOIL HORIZON: OAE SOIL TEXTURE: SANDY LOAM SOIL COLOR: 10YR3/2 OTHER: WOODS (TREES CUT), FRABLE, CRUMB
12-18	SOIL HORIZON: BW SOIL TEXTURE: SANDY LOAM SOIL COLOR: 10YR5/6 OTHER: FRABLE, CRUMB
18-110	SOIL HORIZON: C1 SOIL TEXTURE: MEDIUM SAND SOIL COLOR: 2.5Y7/3 OTHER: LOOSE, SINGLE GRAIN, STRATIFIED, 5% GRAVEL
110-133	SOIL HORIZON: C2 SOIL TEXTURE: VERY FINE SAND SOIL COLOR: 2.5Y7/2 OTHER: VERY FRABLE, PLATY, SINGLE GRAIN, < 5% GRAVEL ESTIMATED SEASONAL HIGH GROUND WATER AT 110"

DEPTH (ft)	DESCRIPTION
0-18	SOIL HORIZON: OAE SOIL TEXTURE: SANDY LOAM SOIL COLOR: 10YR3/2 OTHER: WOODS (TREES CUT), FRABLE, CRUMB
18-28	SOIL HORIZON: BW SOIL TEXTURE: SANDY LOAM SOIL COLOR: 10YR5/6 OTHER: FRABLE, CRUMB
28-105	SOIL HORIZON: C1 SOIL TEXTURE: MEDIUM SAND SOIL COLOR: 2.5Y7/3 OTHER: LOOSE, SINGLE GRAIN, STRATIFIED, 5% GRAVEL
105-122	SOIL HORIZON: C2 SOIL TEXTURE: VERY FINE SAND SOIL COLOR: 2.5Y7/2 OTHER: VERY FRABLE, PLATY, SINGLE GRAIN, < 5% GRAVEL

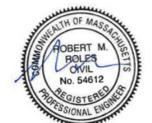
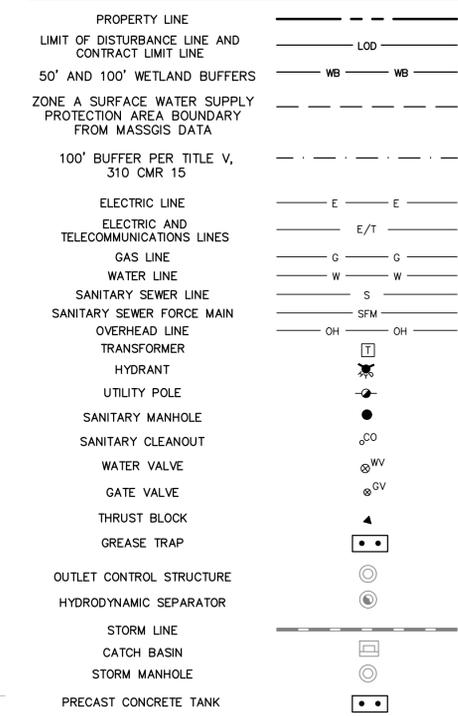
DEPTH (ft)	DESCRIPTION
0-32	SOIL HORIZON: OAE SOIL TEXTURE: SANDY LOAM SOIL COLOR: 10YR3/2 OTHER: WOODS (TREES CUT), FRABLE, CRUMB
32-69	SOIL HORIZON: C SOIL TEXTURE: MEDIUM SAND SOIL COLOR: 2.5Y7/3 OTHER: LOOSE, SINGLE GRAIN, STRATIFIED, 5% GRAVEL REFUSAL AT 69"

DEPTH (ft)	DESCRIPTION
0-28	SOIL HORIZON: OAE SOIL TEXTURE: SANDY LOAM SOIL COLOR: 10YR3/2 OTHER: WOODS (TREES CUT), FRABLE, CRUMB
28-38	SOIL HORIZON: BW SOIL TEXTURE: SANDY LOAM SOIL COLOR: 10YR5/6 OTHER: FRABLE, CRUMB
38-72	SOIL HORIZON: C1 SOIL TEXTURE: MEDIUM SAND SOIL COLOR: 2.5Y7/3 OTHER: LOOSE, SINGLE GRAIN, STRATIFIED, 5% GRAVEL
72-94	SOIL HORIZON: C2 SOIL TEXTURE: VERY FINE SAND SOIL COLOR: 2.5Y7/2 OTHER: VERY FRABLE, PLATY, SINGLE GRAIN, < 5% GRAVEL REFUSAL AT 94"

DEPTH (ft)	DESCRIPTION
0-9	SOIL HORIZON: OAE SOIL TEXTURE: SANDY LOAM SOIL COLOR: 10YR3/2 OTHER: WOODS (TREES CUT), FRABLE, CRUMB
9-21	SOIL HORIZON: BW SOIL TEXTURE: SANDY LOAM SOIL COLOR: 10YR5/6 OTHER: FRABLE, CRUMB
21-105	SOIL HORIZON: C1 SOIL TEXTURE: MEDIUM SAND SOIL COLOR: 2.5Y7/3 OTHER: LOOSE, SINGLE GRAIN, STRATIFIED, 5% GRAVEL
105-128	SOIL HORIZON: C2 SOIL TEXTURE: VERY FINE SAND SOIL COLOR: 2.5Y7/2 OTHER: VERY FRABLE, PLATY, SINGLE GRAIN, < 5% GRAVEL

- NOTES:
- TEST PITS PERFORMED ON JUNE 25, 2020 BY STEPHEN B. NELSON, REHS/RS AND WITNESSED BY JOHN CHESSIA, PE. ALSO PRESENT WERE BL COMPANIES AND BEALS ASSOCIATES.
 - TEST PIT LOCATIONS WERE FIELD VERIFIED BY ON-SITE SURVEY.

SITE UTILITIES LEGEND



PROPOSED DEVELOPMENT

100 INDUSTRIAL PARK ROAD HINGHAM, MASSACHUSETTS

Desc. per Staff and Commission Comments
Reviewed per Planning and Permit Review Comments
Reviewed per Conservation Commission Comments
Reviewed per Detailed Septic System Design

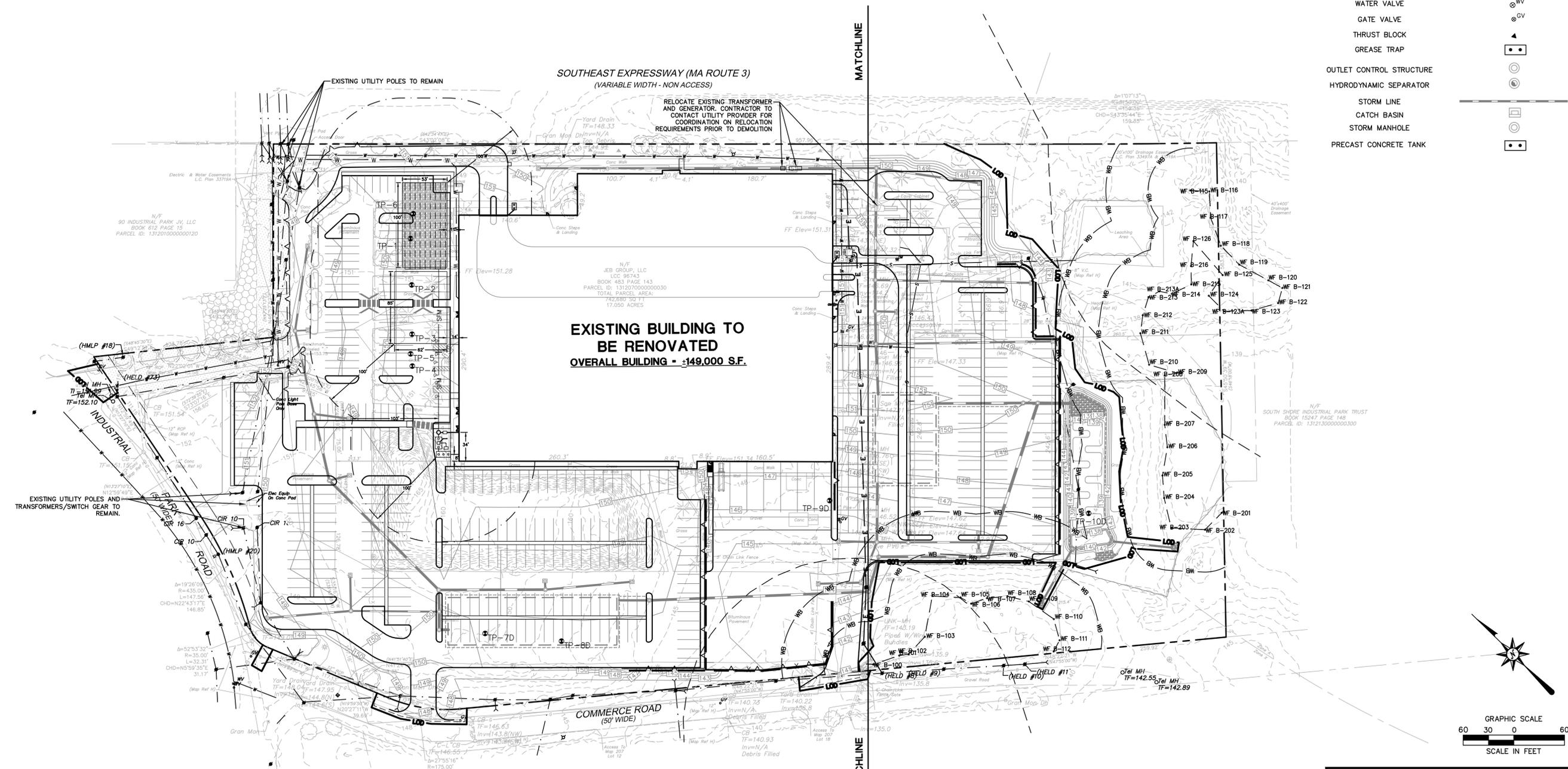
REVISIONS	Date	By
1.	07/13/2020	
2.	07/27/2020	
3.	08/11/2020	
4.		
5.		

Designed P.G.M.
Drawn P.G.M.
Reviewed K.W.H.
Scale 1"=60'
Project No. 1901517
Date 03/06/2020
CAD File: SU190151701

OVERALL SITE UTILITIES PLAN

Sheet No.

SU-0



SEE SHEET GN-1 FOR SITEWORK
GENERAL NOTES

FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION

**EXISTING BUILDING TO
BE RENOVATED**
OVERALL BUILDING - ±149,000 S.F.
FFE - 151.28

PROVIDE & INSTALL 10 LF OF 6" SDR 35 PVC @ 2.1%
INV. OUT = 145.25

PROVIDE AND INSTALL 5,000 GALLON
SEPTIC TANK WITH RISERS TO GRADE
INV. (IN)=145.04
INV. (OUT)=144.79

BLOWER DEVICE FOR TREATMENT
MICROFAST® SYSTEM (OR APPROVED EQUAL)

VENT PIPE TO GRADE FOR TREATMENT
MICROFAST® SYSTEM (OR APPROVED EQUAL)

PROVIDE AND INSTALL TREATMENT
TANK FOR MICROFAST® SYSTEM (OR
APPROVED EQUAL) WITH RISERS TO
GRADE
INV. (IN)=144.72
INV. (OUT)=144.47

PUMP CHAMBER CONTROL BOX
PROVIDE AND INSTALL PUMP
CHAMBER. MATCH IF TO GRADE.
INV. (IN)=144.40
INV. (OUT)=143.75

PROVIDE & INSTALL 185 LF
OF 2" SCH 80 PVC
PRESSURE FORCE MAIN

APPROXIMATE LOCATION OF EXISTING WATER METER
WITH 6" DOMESTIC LINE. COORDINATE WITH
ARCHITECTURAL/PLUMBING DRAWINGS FOR DETAILS.
FF Elev=151.28

PRIMARY SEPTIC AREA
BOTTOM OF BED ELEV=148.25
TOP OF BED ELEV=149.25
INSTALL CLEANOUTS TO GRADE.
COVER CLEANOUTS WITH #20
RATED METAL FRAME & COVERS.

RESERVE SEPTIC AREA
BOTTOM OF BED ELEV=148.25 100'
TOP OF BED ELEV=149.25

PROVIDE AND INSTALL 3 LF OF
6" SCH 40 PVC @ 2.1%

SITE UTILITIES LEGEND

PROPERTY LINE	---
LIMIT OF DISTURBANCE LINE AND CONTRACT LIMIT LINE	LOD
50' AND 100' WETLAND BUFFERS	WB
ZONE A SURFACE WATER SUPPLY PROTECTION AREA BOUNDARY FROM MASSGIS DATA	---
100' BUFFER PER TITLE V, 310 CMR 15	---
ELECTRIC LINE	E
ELECTRIC AND TELECOMMUNICATIONS LINES	E/T
GAS LINE	G
WATER LINE	W
SANITARY SEWER LINE	S
SANITARY SEWER FORCE MAIN	SFM
OVERHEAD LINE	OH
TRANSFORMER	⊠
HYDRANT	⊠
UTILITY POLE	⊠
SANITARY MANHOLE	⊙
SANITARY CLEANOUT	⊙
WATER VALVE	⊙
GATE VALVE	⊙
THRUST BLOCK	⊙
GREASE TRAP	⊙
OUTLET CONTROL STRUCTURE	⊙
HYDRODYNAMIC SEPARATOR	⊙
STORM LINE	---
CATCH BASIN	⊙
STORM MANHOLE	⊙
PRECAST CONCRETE TANK	⊙

SEPTIC DESIGN

USE: FACTORY, INDUSTRIAL PLANT, WAREHOUSE OR DRY
STORAGE SPACE WITHOUT CAFETERIA

DESIGN RATE: 15 GALLONS PER DAY, PER PERSON
200 EMPLOYEES

DESIGN FLOW: 200 EMPLOYEES X 15 GPD = 3,000 GPD

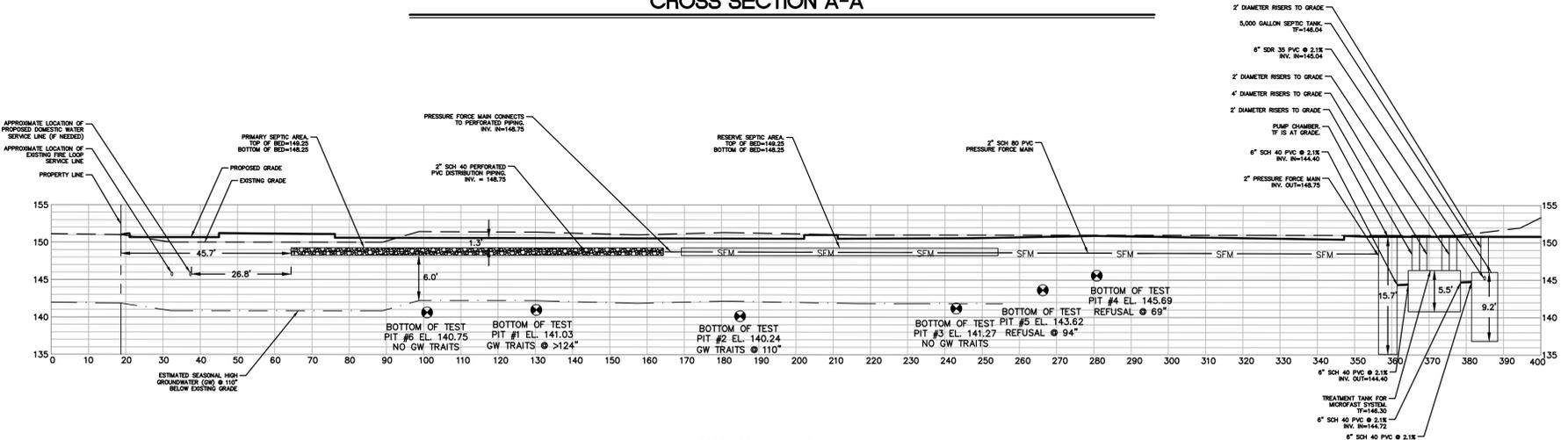
WATER USAGE DATA: 1,127 GPD
(102,500 GALLONS / 91 DAYS = 1,127GPD)

USE 3,900 GPD (EXISTING SYSTEM CAPACITY)

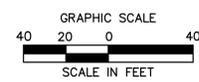
LTAR--EFFLUENT LOADING RATE:
CLASS I WITH PERC RATE @ < 2 MIN/INCH
3,900 GPD / 0.74 GPD/SF = 5,271 SF

PROVIDE STONE & PIPE LEACHING BED
PRESSURE DISTRIBUTION 2" SCH. 40 PERFORATED PVC PIPE
MIN. 6" STONE UNDER PIPE INVERTS

CROSS SECTION A-A



CROSS SECTION SCALE:
VERTICAL: 1"=10'
HORIZONTAL: 1"=20'



**SEE SHEET GN-1 FOR SITEWORK
NOTES**

**FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION**



PROPOSED DEVELOPMENT
100 INDUSTRIAL PARK ROAD
HINGHAM, MASSACHUSETTS

REVISIONS

No.	Date	Desc.

Designed: A.T.K.
Drawn: A.T.K.
Reviewed: R.M.R.
Scale: 1"=20'
Project No.: 1901517
Date: 08/11/2020
CAD File: SU190151701

SITE UTILITIES PLAN

PROPOSED DEVELOPMENT
100 INDUSTRIAL PARK ROAD
HINGHAM, MASSACHUSETTS

Disc. Revised per Staff and Commission Comments
No. 1. 07/15/2020 Revised per Planning Commission Comments
2. 07/27/2020 Revised per Conservation Commission Comments

REVISIONS	Date	Description
No. 1.	07/15/2020	Revised per Planning Commission Comments
2.	07/27/2020	Revised per Conservation Commission Comments

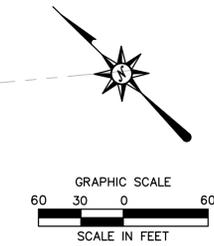
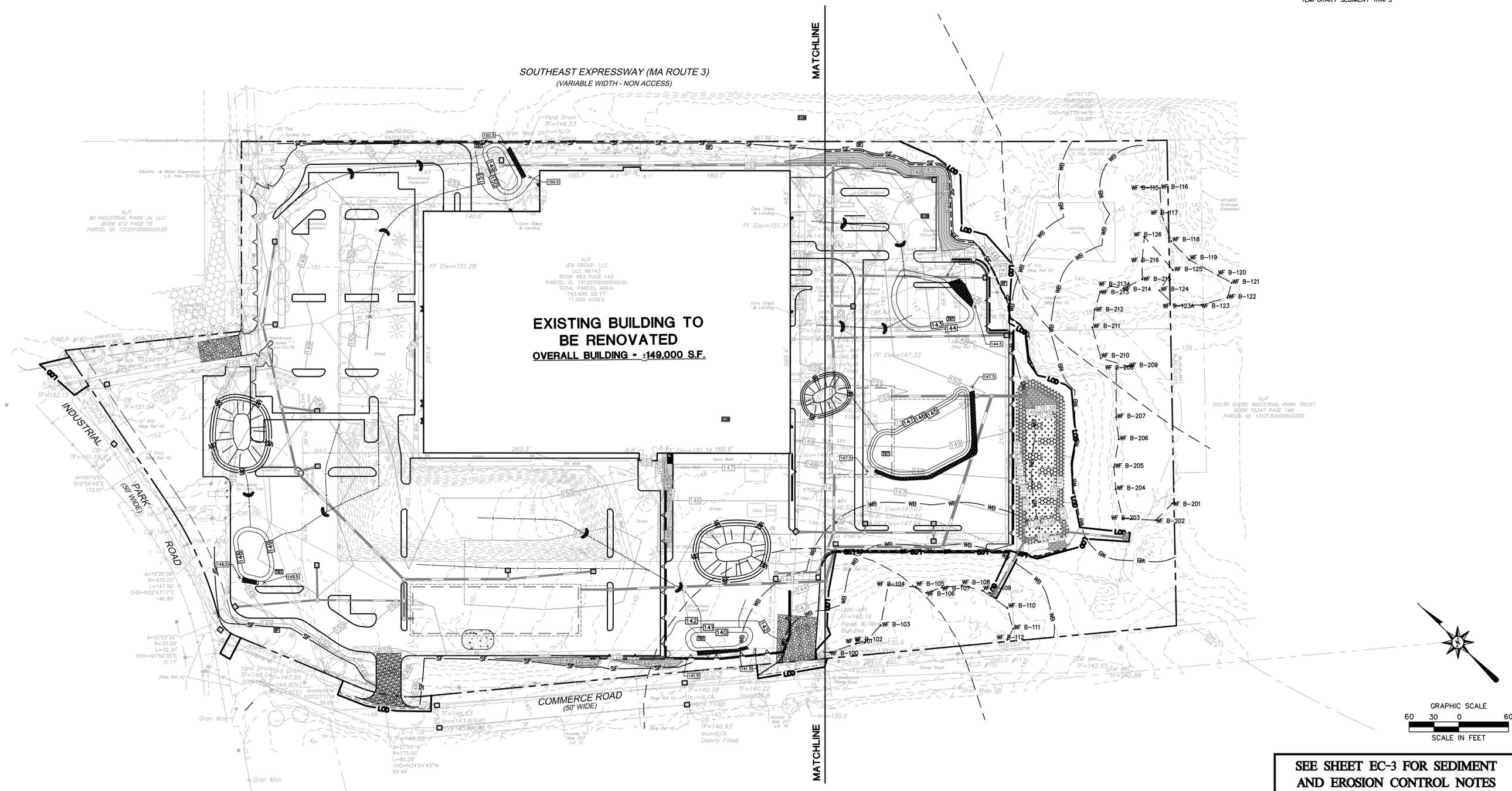
Designed	P.G.M.
Drawn	P.G.M.
Reviewed	
Scale	1"=60'
Project No.	1901517
Date	03/06/2020
CAD File:	EC190151701

Title
**OVERALL
SEDIMENT AND
EROSION
CONTROL PLAN**

Sheet No.
EC-0

EROSION CONTROL LEGEND:

CONTROL MEASURE	ILLUSTRATION
SILT SACK AT CATCH BASINS	
STONE CHECK DAM	
SILT FENCE	
SILT FENCE WITH COMPOST FILTER SOCKS (UTILIZE AT BASE OF SLOPE)	
CONSTRUCTION ENTRANCE	
LIMIT OF CLEARING	
LIMIT OF DISTURBANCE LINE AND CONTRACT LIMIT LINE	
STOCKPILE AREA WITH DOUBLE ROW OF SILT FENCE	
DIVERSION SWALE	
TEMPORARY SEDIMENT TRAP	
EROSION CONTROL BLANKET	
WETLAND 50 FT AND 100 FT BUFFER	
RIP RAP SPILLWAY WITH WASHED AGGREGATE AT TEMPORARY SEDIMENT TRAPS	

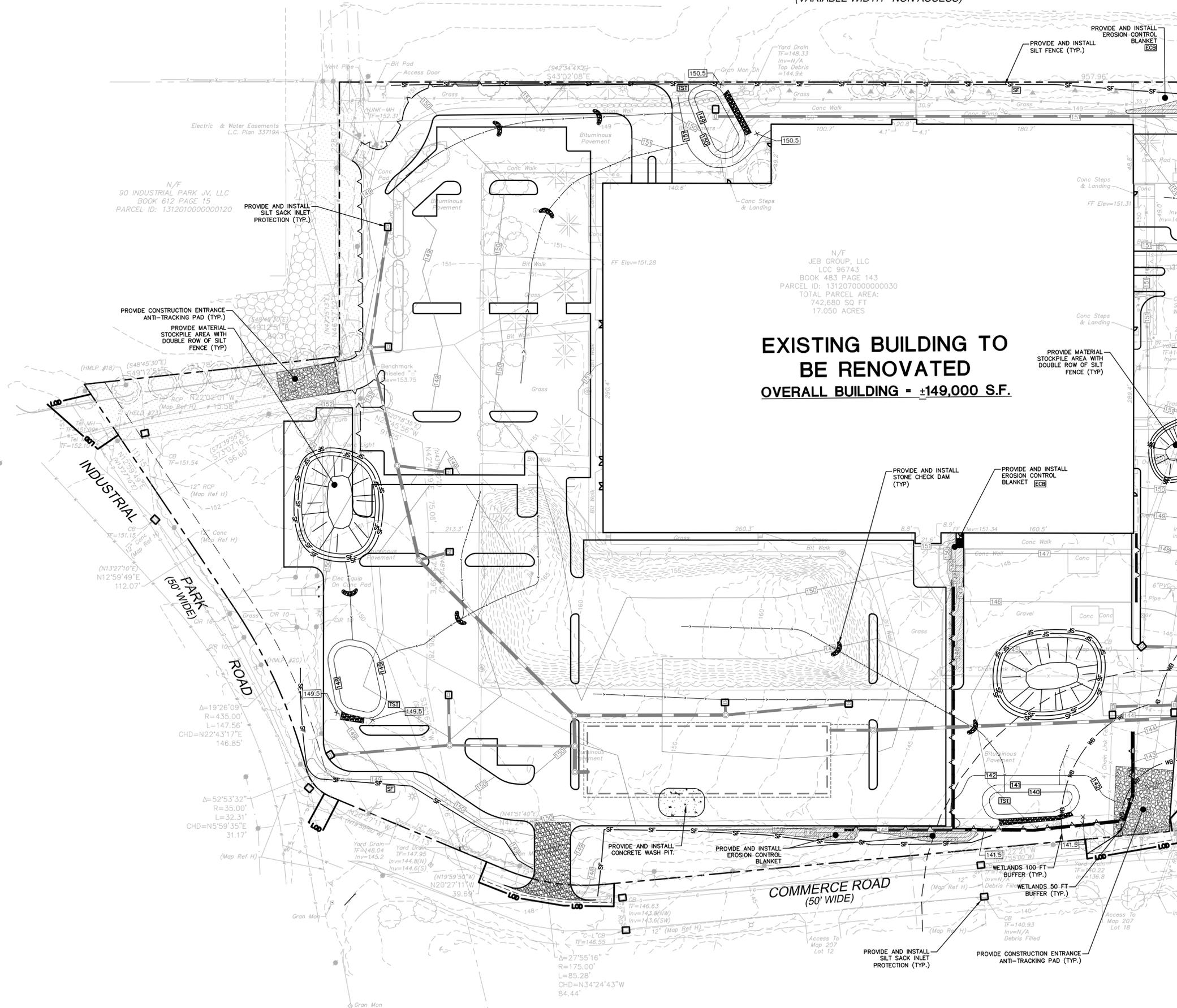


**SEE SHEET EC-3 FOR SEDIMENT
AND EROSION CONTROL NOTES**

**FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION**

Aug 13, 2020 11:25am: eric@bl.com: EC190151701.dwg
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SOUTHEAST EXPRESSWAY (MA ROUTE 3)
(VARIABLE WIDTH - NON ACCESS)



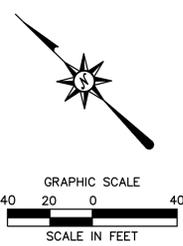
N/F
JEB GROUP, LLC
LCC 96743
BOOK 483 PAGE 143
PARCEL ID: 131207000000030
TOTAL PARCEL AREA:
742,680 SQ FT
17.050 ACRES

**EXISTING BUILDING TO
BE RENOVATED
OVERALL BUILDING - ±149,000 S.F.**

EROSION CONTROL LEGEND:

CONTROL MEASURE	ILLUSTRATION
SILT SACK AT CATCH BASINS	
STONE CHECK DAM	
SILT FENCE	
SILT FENCE WITH COMPOST FILTER SOCKS (UTILIZE AT BASE OF SLOPE)	
CONSTRUCTION ENTRANCE	
LIMIT OF CLEARING	
LIMIT OF DISTURBANCE LINE AND CONTRACT LIMIT LINE	
STOCKPILE AREA WITH DOUBLE ROW OF SILT FENCE	
DIVERSION SWALE	
TEMPORARY SEDIMENT TRAP	
EROSION CONTROL BLANKET	
WETLAND 50 FT AND 100 FT BUFFER	
RIP RAP SPILLWAY WITH WASHED AGGREGATE AT TEMPORARY SEDIMENT TRAPS	

MATCHLINE SEE SHEET EC-2



**SEE SHEET EC-3 FOR SEDIMENT
AND EROSION CONTROL NOTES**

**FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION**

Desc. Revised per Staff and Commission Comments
07/15/2020 Revised per Staff and Commission Comments
07/27/2020 Revised per Conservation Commission Comments

REVISIONS	Date	By
No. 1	07/15/2020	
No. 2	07/15/2020	
No. 3	07/27/2020	
No. 4	07/27/2020	

Designed	P.G.M.
Drawn	P.G.M.
Reviewed	
Scale	1"=40'
Project No.	1901517
Date	03/06/2020
CAD File:	EC190151701

Title
**SEDIMENT AND
EROSION
CONTROL PLAN**

Sheet No.

EC-1

SEDIMENT AND EROSION CONTROL NOTES

SEDIMENT AND EROSION CONTROL NOTES - MASSACHUSETTS
SEDIMENT & EROSION CONTROL NARRATIVE
THE SEDIMENT AND EROSION CONTROL PLAN WAS DEVELOPED TO PROTECT THE EXISTING ROADWAY AND STORM DRAINAGE SYSTEMS, ADJACENT PROPERTIES, AND ANY ADJACENT WETLAND AREA AND ANY ADJACENT WATER COURSE FROM SEDIMENT LADEN SURFACE RUNOFF AND EROSION. A CONSTRUCTION SEQUENCE IS PROVIDED TO PROVIDE SURFACE RUNOFF EROSION CONTROLS PRIOR TO THE BEGINNING OF PROJECT DEMOLITION AND/OR CONSTRUCTION.

CONSTRUCTION SCHEDULE
THE ANTICIPATED STARTING DATE FOR CONSTRUCTION IS SPRING 2020 WITH COMPLETION ANTICIPATED FALL 2020. APPROPRIATE SEDIMENT AND EROSION CONTROL MEASURES AS DESCRIBED HEREIN SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF ALL DEMOLITION OR CONSTRUCTION ACTIVITY. SCHEDULE WORK TO MINIMIZE THE LENGTH OF TIME THAT BARE SOIL WILL BE EXPOSED.

CONTINGENCY EROSION PLAN
THE CONTRACTOR SHALL INSTALL ALL SPECIFIED SEDIMENT AND EROSION CONTROL MEASURES AND WILL BE REQUIRED TO MAINTAIN THEM IN THEIR INTENDED FUNCTIONING CONDITION. THE AGENTS OF THE MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT OR CONSERVATION COMMISSION AND/OR CIVIL ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SUPPLEMENTAL MAINTENANCE OR ADDITIONAL MEASURES IF FIELD CONDITIONS ARE ENCOUNTERED BEYOND WHAT WOULD NORMALLY BE ANTICIPATED.

CONSTRUCTION SEQUENCE
THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:

- 1. CONTACT MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT OR CONSERVATION COMMISSION AGENT AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO COMMENCEMENT OF ANY DEMOLITION, CONSTRUCTION OR REGULATED ACTIVITY ON THIS PROJECT.
2. CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT OR CONSERVATION COMMISSION AGENT PRIOR TO THE START OF WORK ON THE SITE. INSTALL TREE PROTECTION AND PERIMETER SILT FENCE.
3. CONSTRUCT STONE CONSTRUCTION ENTRANCE ANTI-TRACKING PADS AT CONSTRUCTION ENTRANCES/EXITS AND INSTALL FILTER FABRIC AROUND GRATES OF CATCH BASINS OR INSTALL SILT SACKS ON CATCH BASIN INLETS ON OFF SITE ROADS. INSTALL SILT FENCE AND OTHER EROSION CONTROL DEVICES INDICATED ON THESE PLANS AT PERIMETER OF PROPOSED SITE DISTURBANCE AND INSTALL ALL EROSION CONTROL MEASURES AND TREE PROTECTION INDICATED ON THESE PLANS. INSTALL SEDIMENT BASINS AND SEDIMENT TRAPS IF REQUIRED AT LOW AREAS OF SITE OR AS ORDERED BY THE ENGINEER OR AS SHOWN ON THESE PLANS.
4. CLEAR AND GRUB SITE. STOCKPILE CHIPS, STOCKPILE TOPSOIL. INSTALL SEDIMENT AND EROSION CONTROLS AT STOCKPILES.
5. SELECTIVE BUILDING AND SITE DEMOLITION AND REMOVAL. PAVEMENT REMOVAL.
6. INSTALL SILT FENCE, CONSTRUCT DIVERSION SWALES AND SEDIMENT TRAPS. COMMENCE INSTALLATION OF STORM DRAINAGE SYSTEM.
7. COMMENCE EARTHWORK. CONSTRUCT FILL SLOPE AND RETAINING WALL. INSTALL ADDITIONAL SEDIMENT AND EROSION CONTROLS AS WORK PROGRESSES AND CONTINUE STORM DRAINAGE SYSTEM CONSTRUCTION, TOPSOIL AND SEED SLOPES WHICH HAVE ACHIEVED FINAL SITE GRADING.
8. CONSTRUCTION STAKING OF ALL BUILDING CORNERS, UTILITIES, ACCESS DRIVES, AND PARKING AREAS.
9. ROUGH GRADING AND FILLING OF SUBGRADES AND SLOPES.
10. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
11. BEFORE DISPOSING OF SOIL OR RECEIVING BORROW FOR THE SITE, THE CONTRACTOR MUST PROVIDE EVIDENCE THAT EACH SPOIL OR BORROW AREA HAS A SEDIMENT AND EROSION CONTROL PLAN APPROVED BY THE MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT AND/OR CONSERVATION COMMISSION AND WHICH IS BEING IMPLEMENTED AND MAINTAINED. THE CONTRACTOR SHALL ALSO NOTIFY THE APPROPRIATE MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT AND/OR CONSERVATION COMMISSION IN WRITING OF ALL RECEIVING SPOIL AND BORROW AREAS WHEN THEY HAVE BEEN IDENTIFIED.
12. CONTINUE INSTALLATION OF STORM DRAINAGE AS SUBGRADE ELEVATIONS ARE ACHIEVED.
13. THROUGHOUT CONSTRUCTION SEQUENCE, REMOVE SEDIMENT FROM BEHIND SILT FENCES, HAY BALES AND OTHER EROSION CONTROL DEVICES, AND FROM SEDIMENT BASINS AND SEDIMENT TRAPS AS REQUIRED. REMOVAL SHALL BE ON A PERIODIC BASIS (EVERY SIGNIFICANT RAINFALL OF 0.25 INCH OR GREATER). INSPECTION OF SEDIMENT AND EROSION CONTROL MEASURES SHALL BE ON A WEEKLY BASIS AND AFTER EACH RAINFALL OF 0.25 INCHES OR GREATER. SEDIMENT COLLECTED SHALL BE DEPOSITED AND SPREAD EVENLY UPLAND ON SLOPES DURING CONSTRUCTION.
14. INSTALL UTILITIES. COMPLETE STORM DRAINAGE SYSTEM.
15. INSTALL SITE LIGHTING.
16. COMPLETE GRADING TO SUBGRADES AND CONSTRUCT PARKING AREA SUBGRADE.
17. CONSTRUCT CURBS, PAVEMENT STRUCTURE AND SIDEWALKS.
18. CONDUCT FINE GRADING.
19. PAVE PARKING AREAS AND DRIVEWAYS
20. FINAL FINE GRADING OF SLOPE AND NON-PAVED AREAS.
21. PLACE TOPSOIL ON SLOPES AFTER FINAL GRADING IS COMPLETED. FERTILIZE SEED AND MULCH. REFER TO LANDSCAPE PLAN FOR NOTES ON SEED MIXTURES AND TOPSOIL. USE EROSION CONTROL BLANKETS AS REQUIRED OR ORDERED FOR SLOPES GREATER THAN 3:1 AND AS SHOWN ON LANDSCAPE PLANS OR EROSION CONTROL PLANS. FOR TEMPORARY STABILIZATION BEYOND SEEDING DATES USE ANNUAL RYE AT 4.0 LBS/1,000 S.F. FERTILIZE WITH 10-10-10 AT 1.0 LBS. OF NITROGEN PER 1,000 S.F. AND LIME AT 100 LBS/1,000 S.F. (MAX.).
22. LANDSCAPE ISLANDS, INTERIOR NON-PAVED AREAS, AND PERIMETER AREAS.
23. INSTALL SIGNING AND PAVEMENT MARKINGS
24. CLEAN STORM DRAINAGE PIPE STRUCTURES, DETENTION SYSTEMS AND WATER QUALITY DEVICES OF DEBRIS AND SEDIMENT.
25. UPON DIRECTION OF THE MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT AND/OR CONSERVATION COMMISSION AGENT, SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED FOLLOWING STABILIZATION OF THE SITE.

OPERATION REQUIREMENTS

- CLEARING AND GRUBBING OPERATIONS
1. ALL SEDIMENT AND EROSION CONTROL MEASURES, INCLUDING THE CONSTRUCTION OF STONE CONSTRUCTION ENTRANCE ANTI-TRACKING PADS, WILL BE INSTALLED PRIOR TO THE START OF CLEARING AND GRUBBING AND DEMOLITION OPERATIONS.
2. FOLLOWING INSTALLATION OF ALL SEDIMENT AND EROSION CONTROL MEASURES, THE CONTRACTOR SHALL NOT PROCEED WITH GRADING, FILLING OR OTHER CONSTRUCTION OPERATIONS UNTIL THE ENGINEER HAS INSPECTED AND APPROVED ALL INSTALLATIONS.
3. THE CONTRACTOR SHALL TAKE EXTREME CARE DURING CLEARING AND GRUBBING OPERATIONS SO AS NOT TO DISTURB UNPROTECTED WETLAND AREAS OR SEDIMENT AND EROSION CONTROL DEVICES.
4. FOLLOWING THE COMPLETION OF CLEARING AND GRUBBING OPERATIONS, ALL AREAS SHALL BE STABILIZED WITH TOPSOIL AND SEEDING OR CRUSHED STONE AS SOON AS PRACTICAL.

ROUGH GRADING OPERATIONS

- 1. DURING THE REMOVAL AND/OR PLACEMENT OF EARTH AS INDICATED ON THE GRADING PLAN, TOPSOIL SHALL BE STRIPPED AND APPROPRIATELY STOCKPILED FOR REUSE.
2. ALL STOCKPILED TOPSOIL SHALL BE SEEDED, MULCHED WITH HAY, AND ENCLOSED BY A SILTATION FENCE.

FILLING OPERATIONS

- 1. PRIOR TO FILLING, ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE PROPERLY IMPLEMENTED, MAINTAINED AND FULLY INSTALLED, AS DIRECTED BY THE ENGINEER AND AS SHOWN ON THIS PLAN.
2. ALL FILL MATERIAL ADJACENT TO ANY WETLAND AREAS, IF APPLICABLE TO THIS PROJECT, SHALL BE GOOD QUALITY, WITH LESS THAN 5% FINES PASSING THROUGH A #200 SIEVE (BANK RUN), SHALL BE PLACED IN LIFT THICKNESSES NOT GREATER THAN THAT SPECIFIED IN PROJECT SPECIFICATIONS AND/OR THE PROJECT GEOTECHNICAL REPORT. LIFTS SHALL BE COMPACTED TO 95% MAX. DRY DENSITY MODIFIED PROCTOR OR AS SPECIFIED IN THE CONTRACT SPECIFICATIONS OR IN THE GEOTECHNICAL REPORT.
3. AS GENERAL GRADING OPERATIONS PROGRESS, ANY TEMPORARY DIVERSION DITCHES SHALL BE RAISED OR LOWERED, AS NECESSARY, TO DIVERT SURFACE RUNOFF TO THE SEDIMENT BASINS OR SEDIMENT TRAPS.

PLACEMENT OF DRAINAGE STRUCTURES, UTILITIES, AND BUILDING CONSTRUCTION OPERATIONS.

- 1. SILT FENCES SHALL BE INSTALLED AT THE DOWNHILL SIDES OF BUILDING EXCAVATIONS, MUD PUMP DISCHARGES, AND UTILITY TRENCH MATERIAL STOCKPILES. HAY BALES/STRAW BALES MAY BE USED IF SHOWN ON THE SEDIMENT AND EROSION CONTROL PLANS OR IF DIRECTED BY THE CIVIL ENGINEER.

FINAL GRADING AND PAVING OPERATIONS

- 1. ALL INLET AND OUTLET PROTECTION SHALL BE PLACED AND MAINTAINED AS SHOWN ON SEDIMENT AND EROSION CONTROL PLANS AND DETAILS, AND AS DESCRIBED IN SPECIFICATIONS AND AS DESCRIBED HEREIN.
2. NO CUT OR FILL SLOPES SHALL EXCEED 3:1 EXCEPT WHERE STABILIZED BY ROCK FACED EMBANKMENTS OR EROSION CONTROL BLANKETS, OR JUTE MESH AND VEGETATION. ALL SLOPES SHALL BE SEEDED, AND ANY ROAD OR DRIVEWAY SHOULDER AND BANKS SHALL BE STABILIZED IMMEDIATELY UPON COMPLETION OF FINAL GRADING UNTIL TURF IS ESTABLISHED.
3. PAVEMENT SUB-BASE AND BASE COURSES SHALL BE INSTALLED OVER AREAS TO BE PAVED AS SOON AS FINAL SUB-GRADES ARE ESTABLISHED AND UNDERGROUND UTILITIES AND STORM DRAINAGE SYSTEMS HAVE BEEN INSTALLED.
4. AFTER CONSTRUCTION OF PAVEMENT, TOPSOIL, FINAL SEED, MULCH AND LANDSCAPING, REMOVE ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES ONLY AFTER ALL AREAS HAVE BEEN PAVED AND/OR GRASS HAS BEEN WELL ESTABLISHED AND THE SITE IS STABLE AND HAS BEEN INSPECTED AND APPROVED BY THE MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT AND/OR CONSERVATION COMMISSION.

INSTALLATION OF SEDIMENTATION AND EROSION CONTROL MEASURES

- I. SILTATION FENCE
A. DIG A SIX INCH TRENCH ON THE UPHILL SIDE OF THE DESIGNATED FENCE LINE LOCATION.
B. POSITION THE POST AT THE BACK OF THE TRENCH (DOWNHILL SIDE), AND HAMMER THE POST AT LEAST 1.5 FEET INTO THE GROUND.
C. LAY THE BOTTOM SIX INCHES OF THE FABRIC INTO THE TRENCH TO PREVENT UNDERMINING BY STORM WATER RUN-OFF.
D. BACKFILL THE TRENCH AND COMPACT.
II. COMPOST FILTER SOCKS
A. PLACE THE FILTER SOCKS BEHIND THE SILT FENCE AT THE BOTTOM END OF SLOPE.
B. FILL AND COMPACT FILTER SOCKS WITH COMPOST OR VEGETATION MATERIAL.
C. PLACE THE FILTER MEDIA ON THE SIDE OF THE SILT FENCE.
D. IF NECESSARY, INSERT 2" X 2" X 36" WOODEN STAKES THROUGH THE CENTER OF THE FILTER SOCK EVERY 10'. MAKE SURE THAT 1" OF THE WOODEN STAKE IS BELOW THE GROUND SURFACE.

OPERATION AND MAINTENANCE OF SEDIMENT AND EROSION CONTROL MEASURES

- I. SILTATION FENCE
A. ALL SILTATION FENCES SHALL BE INSPECTED AS A MINIMUM WEEKLY OR AFTER EACH RAINFALL. ALL DETERIORATED FABRIC AND DAMAGED POSTS SHALL BE REPLACED AND PROPERLY REPOSITIONED IN ACCORDANCE WITH THIS PLAN.
B. SEDIMENT DEPOSITS SHALL BE REMOVED FROM BEHIND THE FENCE WHEN THEY REACH A MAXIMUM HEIGHT OF ONE FOOT.
II. COMPOST FILTER SOCKS
A. ALL FILTER SOCKS SHALL BE INSPECTED AS A MINIMUM WEEKLY OR AFTER EACH RAINFALL. ALL DETERIORATED MATERIAL AND DAMAGED WOODEN STAKES SHALL BE REPLACED AND PROPERLY REPOSITIONED IN ACCORDANCE WITH THIS PLAN.
B. DEPOSITS SHALL BE REMOVED AND CLEANED OUT IF HALF OF THE ORIGINAL HEIGHT OF THE FILTER SOCKS BECOME FILLED WITH SEDIMENT.
III. SEDIMENT BASINS/SEDIMENT TRAPS
A. CONTRACTOR TO KEEP WEEKLY CHECKLIST LOGS FOR INSPECTIONS OF ALL SEDIMENT AND EROSION CONTROL DEVICES AND HAVE THEM READILY AVAILABLE ON-SITE AT ALL TIMES FOR INSPECTION BY MASSDEP LOCAL AUTHORITIES OR ENGINEER.
B. ALL SEDIMENT BASINS AND/OR SEDIMENT TRAPS SHALL BE INSPECTED FOLLOWING EACH RAINFALL. REPAIR OF SLOPES SHALL BE PROMPTLY MADE AS NEEDED.
C. SEDIMENT DEPOSITS SHALL BE REMOVED FROM SEDIMENT BASINS AND/OR SEDIMENT TRAPS WHEN THEY REACH A MAXIMUM HEIGHT OF ONE FOOT UNLESS OTHERWISE INDICATED ON THE EROSION CONTROL PLANS AND DETAILS TO BE AT A SPECIFIC ELEVATION PER CLEAN OUT MARKERS.
D. SEDIMENT SHALL BE DISPOSED OF ON-SITE OR AS DIRECTED BY THE ENGINEER AND LOCAL GOVERNING OFFICIALS. SEE SEDIMENT AND EROSION CONTROL NOTES HEREIN REGARDING DISPOSAL REQUIREMENTS FOR OFF SITE SPOIL DISPOSAL.

SEDIMENT AND EROSION CONTROL PLAN

- 1. COMPOST FILTER SOCKS WILL BE INSTALLED BEHIND THE SILTATION FENCE CLOSEST TO THE EXISTING WETLANDS AND SILTATION FENCE INSTALLED ALONG THE TOE OF ALL CRITICAL CUT AND FILL SLOPES.
2. CULVERT DISCHARGE AREAS WILL BE PROTECTED WITH RIP RAP CHANNELS. ENERGY DISSIPATORS WILL BE INSTALLED AS SHOWN ON THESE PLANS AND AS NECESSARY.
3. CATCH BASINS WILL BE PROTECTED WITH SILT SACKS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
4. ALL SEDIMENT AND EROSION CONTROL MEASURES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS IN THE LATEST EDITION OF THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS.
5. SEDIMENT AND EROSION CONTROL MEASURES WILL BE INSTALLED PRIOR TO DEMOLITION AND/OR CONSTRUCTION WHENEVER POSSIBLE.
6. ALL CONTROL MEASURES WILL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE DEMOLITION AND CONSTRUCTION PERIOD UNTIL THE SITE IS DETERMINED TO BE STABILIZED BY THE AUTHORITY HAVING JURISDICTION.
7. ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PERIOD, IF NECESSARY OR REQUIRED OR AS DIRECTED BY THE CIVIL ENGINEER OR BY THE AUTHORITY HAVING JURISDICTION.
8. SEDIMENT REMOVED FROM EROSION CONTROL STRUCTURES WILL BE DISPOSED IN A MANNER WHICH IS CONSISTENT WITH THE INTENT AND REQUIREMENTS OF THE SEDIMENT AND EROSION CONTROL PLANS, NOTES, AND DETAILS.
9. THE CONTRACTOR IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS SEDIMENT AND EROSION CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, NOTIFICATION OF THE MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT AND/OR CONSERVATION COMMISSION OFFICE OR AUTHORITY HAVING JURISDICTION OF ANY TRANSFER OF THIS RESPONSIBILITY AND FOR CONVEYING A COPY OF THE SEDIMENT AND EROSION CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.

SEDIMENT AND EROSION CONTROL NOTES

- 1. THE SEDIMENT AND EROSION CONTROL PLAN IS ONLY INTENDED TO DESCRIBE THE SEDIMENT AND EROSION CONTROL TREATMENT FOR THIS SITE. SEE SEDIMENT AND EROSION CONTROL DETAILS AND CONSTRUCTION SEQUENCE. REFER TO SITE PLAN FOR GENERAL INFORMATION AND OTHER CONTRACT PLANS FOR APPROPRIATE INFORMATION.
2. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING THIS SEDIMENT AND EROSION CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE PROPER INSTALLATION AND MAINTENANCE OF SEDIMENT AND EROSION CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED WITH CONSTRUCTION ON THE SITE OF THE REQUIREMENTS AND OBJECTIVES OF THIS PLAN, INFORMING THE AUTHORITY HAVING JURISDICTION OR COUNTY SOILS CONSERVATION DISTRICT, INLAND WETLANDS AGENCY OR CONSERVATION COMMISSION OF ANY TRANSFER OF THIS RESPONSIBILITY, AND FOR CONVEYING A COPY OF THE SEDIMENT & EROSION CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.
3. AN EROSION CONTROL BOND MAY BE REQUIRED TO BE POSTED WITH THE TOWN OF HINGHAM TO ENSURE IMPLEMENTATION OF THE SEDIMENT AND EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE POSTING OF THIS BOND AND FOR INQUIRIES TO THE TOWN OF HINGHAM FOR INFORMATION ON THE METHOD, TYPE AND AMOUNT OF THE BOND POSTING UNLESS OTHERWISE DIRECTED BY THE OWNER.
4. VISUAL SITE INSPECTIONS SHALL BE CONDUCTED WEEKLY, AND AFTER EACH MEASURABLE PRECIPITATION EVENT OF 0.25 INCHES OR GREATER BY QUALIFIED PERSONNEL, TRAINED AND EXPERIENCED IN SEDIMENT AND EROSION CONTROL, TO ASCERTAIN THAT THE SEDIMENT AND EROSION CONTROL (E&S) BMPs ARE OPERATIONAL AND EFFECTIVE IN PREVENTING POLLUTION. A WRITTEN REPORT OF EACH INSPECTION SHALL BE KEPT AND INCLUDE:
A) A SUMMARY OF THE SITE CONDITIONS, E&S BMPs, AND COMPLIANCE; AND
B) THE DATE, TIME, AND THE NAME OF THE PERSON CONDUCTING THE INSPECTION
5. THE CONTRACTOR SHALL CONSTRUCT ALL SEDIMENT AND EROSION CONTROLS IN ACCORDANCE WITH THE LATEST EDITION OF THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, AND AS DIRECTED BY THE MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT AND/OR CONSERVATION COMMISSION. THE CONTRACTOR SHALL KEEP A COPY OF THE GUIDELINES ON-SITE FOR REFERENCE DURING CONSTRUCTION.
6. ADDITIONAL AND/OR ALTERNATIVE SEDIMENT AND EROSION CONTROL MEASURES MAY BE INSTALLED DURING THE CONSTRUCTION PERIOD IF FOUND NECESSARY BY THE CONTRACTOR, OWNER, SITE ENGINEER, MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT AND/OR CONSERVATION COMMISSION, OR OTHER GOVERNING AGENCIES. THE CONTRACTOR SHALL CONTACT THE OWNER AND APPROPRIATE GOVERNING AGENCIES FOR APPROVAL IF ALTERNATIVE CONTROLS OTHER THAN THOSE SHOWN ON THE PLANS ARE PROPOSED.
7. THE CONTRACTOR SHALL INSPECT ALL SEDIMENT AND EROSION CONTROLS BEFORE AND AFTER EACH STORM (0.25 INCHES OR GREATER RAINFALL), OR AT LEAST WEEKLY, TO VERIFY THAT THE CONTROLS ARE OPERATING PROPERLY AND MAKE REPAIRS WHERE NECESSARY.
8. THE CONTRACTOR SHALL KEEP A SUPPLY OF SEDIMENT AND EROSION CONTROL MATERIAL (HAY BALES, SILT FENCE, JUTE MESH, RIP RAP, ETC.) ON-SITE FOR MAINTENANCE AND EMERGENCY REPAIRS.
9. PROTECT EXISTING TREES THAT ARE TO BE SAVED BY FENCING AT THE DRIP LINE OR AS SHOWN WITH SNOW FENCE, ORANGE SAFETY FENCING, OR EQUIVALENT FENCING. ANY LIMB TRIMMING SHOULD BE DONE BEFORE CONSTRUCTION BEGINS IN THAT AREA; FENCING SHALL BE MAINTAINED AND REPAIRED DURING CONSTRUCTION.

- 10. INSTALL PERIMETER SEDIMENT AND EROSION CONTROLS PRIOR TO CLEARING OR CONSTRUCTION. ALL CONSTRUCTION SHALL BE CONTAINED WITHIN THE LIMIT OF DISTURBANCE, WHICH SHALL BE MARKED WITH SILT FENCE, SAFETY FENCE, COMPOST FILTER SOCKS, RIBBONS, OR OTHER MEANS PRIOR TO CLEARING. CONSTRUCTION ACTIVITY SHALL REMAIN ON THE UPHILL SIDE OF THE SILT FENCE UNLESS WORK IS SPECIFICALLY CALLED FOR ON THE DOWNHILL SIDE OF THE FENCE.
11. STONE CONSTRUCTION ENTRANCE ANTI-TRACKING PADS SHALL BE INSTALLED AT START OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION. THE LOCATION OF THE TRACKING PADS MAY CHANGE AS VARIOUS PHASES OF CONSTRUCTION ARE COMPLETED.
12. TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING. ALL EARTH STOCKPILES SHALL HAVE HAY BALES OR SILT FENCE AROUND THE LIMIT OF PILE. PILES SHALL BE TEMPORARILY SEEDED IF PILE IS TO REMAIN IN PLACE FOR MORE THAN ONE (1) MONTH.
13. SEDIMENT BASINS AND SEDIMENT TRAPS SHALL PROVIDE 134 CUBIC YARDS OF SEDIMENT STORAGE PER ACRE CONTRIBUTING TO THE BASIN. PROVIDE BASIN VOLUMES FOR ALL DISTURBANCE ON SITE.
14. COMPLY WITH REQUIREMENTS OF NPDES GENERAL PERMIT FOR CONSTRUCTION DEWATERING ACTIVITY DISCHARGES, FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES AND WITH MASSACHUSETTS DEP RECORD KEEPING AND INSPECTION REQUIREMENTS.
15. STONE CONSTRUCTION ENTRANCE ANTI-TRACKING PADS SHALL BE INSTALLED PRIOR TO ANY ON SITE EXCAVATION AND SHALL BE MAINTAINED DURING ALL DEMOLITION, EXCAVATION AND CONSTRUCTION ACTIVITIES.
16. MINIMIZE LAND DISTURBANCES. SEED AND MULCH DISTURBED AREAS WITH TEMPORARY MIX AS SOON AS PRACTICABLE (ONE WEEK MAXIMUM UNSTABILIZED PERIOD) USING PERENNIAL RYEGRASS AT 40 LBS PER ACRE. MULCH ALL CUT AND FILL SLOPES AND SWALES WITH LOOSE HAY AT A RATE OF 2 TONS PER ACRE. IF NECESSARY, REPLACE LOOSE HAY ON SLOPES WITH EROSION CONTROL BLANKETS OR JUTE CLOTH. MODERATELY GRADED AREAS, ISLANDS, AND TEMPORARY CONSTRUCTION STAGING AREAS MAY BE HYDROSEEDED WITH TACKIFIER.
17. MAINTAIN EXISTING PAVED AREAS FOR CONSTRUCTION STAGING FOR AS LONG AS POSSIBLE.
18. SILT FENCE AND OTHER SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH CONTRACT DRAWINGS AND MANUFACTURER'S RECOMMENDATIONS PRIOR TO WORK IN ANY UPLAND AREAS.
19. EXCAVATED MATERIAL FROM TEMPORARY SILT TRAPS MUST BE STOCKPILED ON UPHILL SIDE OF SILT FENCE.
20. INSTALL SILT FENCE ACCORDING TO MANUFACTURER'S INSTRUCTION, PARTICULARLY, BURY LOWER EDGE OF FABRIC INTO GROUND. SILT FENCE SHALL BE TENCATE ENVIROFENCE, PROPEX GEOTEX OR EQUIVALENT APPROVED BY THE CIVIL ENGINEER. FILTER FABRIC USED SHALL BE TENCATE 140N OR 170N, OR APPROVED EQUIVALENT. SEE SPECIFICATIONS FOR FURTHER INFORMATION.
21. INSTALL COMPOST FILTER SOCKS ACCORDING TO MANUFACTURER'S INSTRUCTIONS, PARTICULARLY, PLACE THE FILTER SOCKS BEHIND THE SILT FENCE AND PLACE THE FILTER MEDIA ON THE SIDE OF THE SILT FENCE. IF NECESSARY, PLACE 2" X 2" X 36" WOODEN STAKES THROUGH THE CENTER OF THE FILTER SOCKS EVERY 10'. MAKE SURE THAT 1" OF THE WOODEN STAKE IS BELOW THE GROUND SURFACE. FILTER SOCK MATERIAL AND MEDIA SHALL BE FROM FILTEREXX OR APPROVED EQUAL AS DETERMINED BY THE CIVIL ENGINEER. SEE SPECIFICATIONS FOR FURTHER DETAILS.
22. WHERE INDICATED ON SEDIMENT AND EROSION CONTROL PLANS USE NEW HAY/STRAW BALES AND REPLACE THEM WHENEVER THEIR CONDITION DETERIORATES BEYOND REASONABLE USABILITY. STAKE BALES SECURELY INTO GROUND AND BUTT TIGHTLY TOGETHER TO PREVENT UNDERCUTTING AND BYPASSING.
23. INSTALL TEMPORARY DIVERSION DITCHES, PLUNGE POOLS, SEDIMENT BASINS, SEDIMENT TRAPS, CONCRETE WASH PITS AND DEWATERING PITS AS SHOWN AND AS NECESSARY DURING VARIOUS PHASES OF CONSTRUCTION TO CONTROL RUNOFF UNTIL UPHILL AREAS ARE DETERMINED TO BE STABILIZED BY THE AUTHORITY HAVING JURISDICTION. LOCATION OF TEMPORARY SEDIMENT BASINS WILL REQUIRE REVIEW AND APPROVAL BY THE CIVIL ENGINEER AND AUTHORITY HAVING JURISDICTION.
24. DIRECT ALL DEWATERING PUMP DISCHARGE TO A SEDIMENT CONTROL DEVICE SUCH AS TEMPORARY PITS, SEDIMENT TRAP, SEDIMENT BASINS OR GRASS FILTERS WITHIN THE APPROVED LIMIT OF DISTURBANCE. DISCHARGE TO STORM DRAINAGE SYSTEM OR SURFACE WATERS FROM SEDIMENT CONTROLS SHALL BE CLEAR.
25. SWEEP AFFECTED PORTIONS OF OFF SITE ROADS ONE OR MORE TIMES A DAY (OR LESS FREQUENTLY IF TRACKING IS NOT A PROBLEM) DURING CONSTRUCTION. OTHER DUST CONTROL MEASURES TO BE USED AS NECESSARY INCLUDE WATERING DOWN DISTURBED AREAS, USING CALCIUM CHLORIDE, AND COVERING LOADS ON DUMP TRUCKS.
26. PERIODICALLY CHECK ACCUMULATED SEDIMENT LEVELS IN THE SEDIMENT BASINS AND SEDIMENT TRAPS DURING CONSTRUCTION AND CLEAN ACCUMULATED SILT WHEN NECESSARY OR WHEN ONE FOOT OF SEDIMENT HAS ACCUMULATED OR PER SPECIFIC CLEANOUT MARKER ELEVATION. CLEAN ACCUMULATED SEDIMENT FROM CATCH BASIN SUMPS AS NECESSARY AND AS DIRECTED BY THE CIVIL ENGINEER OR OWNER'S CONSTRUCTION REPRESENTATIVE. REMOVE ACCUMULATED SEDIMENT FROM BEHIND COMPOST FILTER SOCKS AND SILT FENCE WHEN LEVEL REACHES HALF THE HEIGHT OF THE FILTER SOCK OR ONE FOOT AT SILT FENCE. DISPOSE OF SEDIMENT LEGALLY EITHER ON OR OFF SITE.
27. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
28. ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG OR EQUIVALENT SEDIMENT REMOVAL FACILITY, OVER UNDISTURBED VEGETATED AREAS.
29. ALL EXCAVATED MATERIAL SHALL BE PLACED ON THE HIGH SIDE OF UTILITY AND STORM PIPE TRENCHES SO AS TO ALLOW THE TRENCH TO INTERCEPT ALL SILT LADEN RUNOFF.
30. CONTRACTOR SHALL ONLY EXCAVATE AS MUCH UTILITY AND STORM PIPE TRENCH WORK AS CAN BE COMPLETED, BACKFILLED AND STABILIZED IN ONE DAY SO AS TO LIMIT THE AMOUNT OF OPEN, DISTURBED TRENCHING.
31. ANY STOCKPILES OF STRIPPED MATERIALS ARE TO BE PERIODICALLY SPRAYED WITH WATER OR A CRUSTING AGENT TO STABILIZE POTENTIALLY WIND-BLOWN MATERIAL. HAUL ROADS BOTH INTO AND AROUND THE SITE ARE TO BE SPRAYED AS NEEDED TO SUPPRESS DUST. TRUCKS HAULING IMPORT FILL MATERIAL ARE TO BE TARPED TO AID IN THE CONTROL OF AIRBORNE DUST. DURING HIGH WIND EVENTS (20 TO 30 MPH SUSTAINED) CONSTRUCTION ACTIVITY SHALL BE LIMITED OR CEASED IF DUST CANNOT BE CONTROLLED BY WETTING.
32. BLOCK END OF STORM SEWERS IN EXPOSED TRENCHES WITH BOARDS AND SANDBAGS AT THE END OF EACH WORKING DAY WHEN RAIN IS EXPECTED.
33. AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM OF 70% UNIFORM PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING OR OTHER MOVEMENTS UNLESS OTHERWISE DETERMINED BY THE AUTHORITY HAVING JURISDICTION.
34. MAINTAIN ALL PERMANENT AND TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. UPON COMPLETION OF WORK SWEEP PARKING LOT AND REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROLS WHEN AUTHORIZED BY AUTHORITY HAVING JURISDICTION. FILE NOT (NOTICE OF TERMINATION) WITH AUTHORITY HAVING JURISDICTION RESPONSIBLE FOR REGULATING STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES PER NPDES.

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355 Research Parkway
Meriden, CT 06450
(203) 630-1406
(203) 630-2615 Fax



PROPOSED DEVELOPMENT
100 INDUSTRIAL PARK ROAD
HINGHAM, MASSACHUSETTS

Dec.
Reviewed per Staff and Commission Comments

Table with 2 columns: REVISIONS, No., Date. Row 1: 1, 05/12/2020

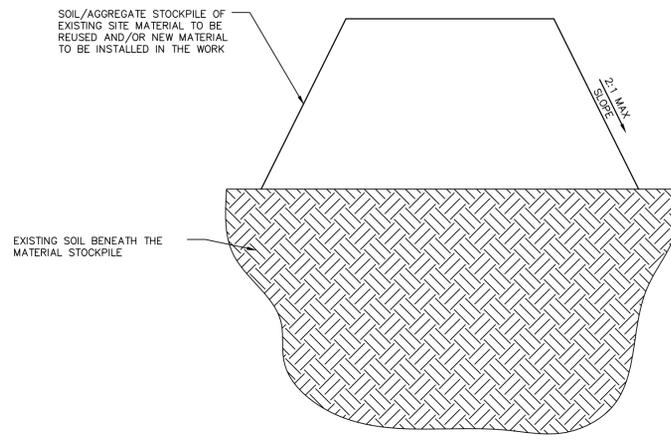
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Drawn, P.G.M.
Reviewed
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Date, 03/06/2020
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Title
SEDIMENT AND EROSION CONTROL NOTES
Sheet No.

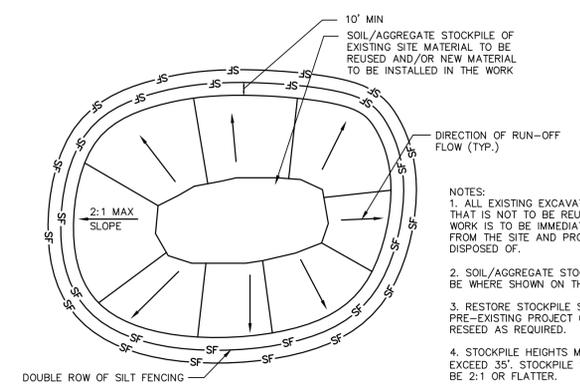
FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION

EC-3

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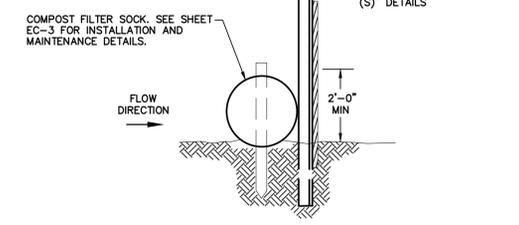


MATERIALS STOCKPILE DETAIL
N.T.S. BLEC-006



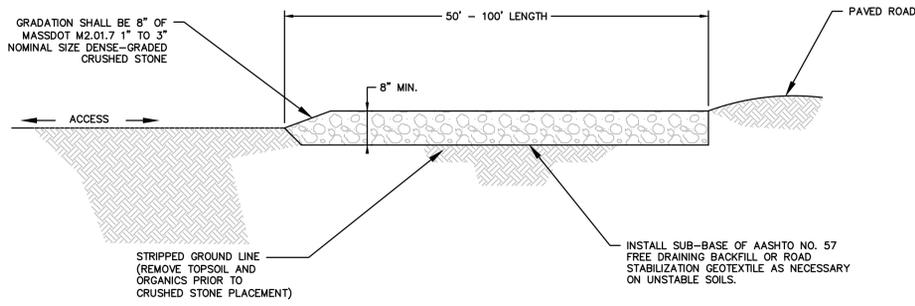
FILTER SOCK WITH SILT FENCE BACKING
N.T.S.

- NOTES:
1. ALL EXISTING EXCAVATED MATERIAL THAT IS NOT TO BE REUSED IN THE WORK IS TO BE IMMEDIATELY REMOVED FROM THE SITE AND PROPERLY DISPOSED OF.
 2. SOIL/AGGREGATE STOCKPILE SITES TO BE WHERE SHOWN ON THE DRAWINGS.
 3. RESTORE STOCKPILE SITES TO PRE-EXISTING PROJECT CONDITION AND RESEED AS REQUIRED.
 4. STOCKPILE HEIGHTS MUST NOT EXCEED 3'; STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.

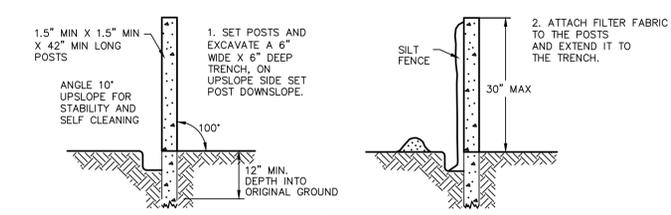


SILTSACK DETAIL
N.T.S. BLEC-005

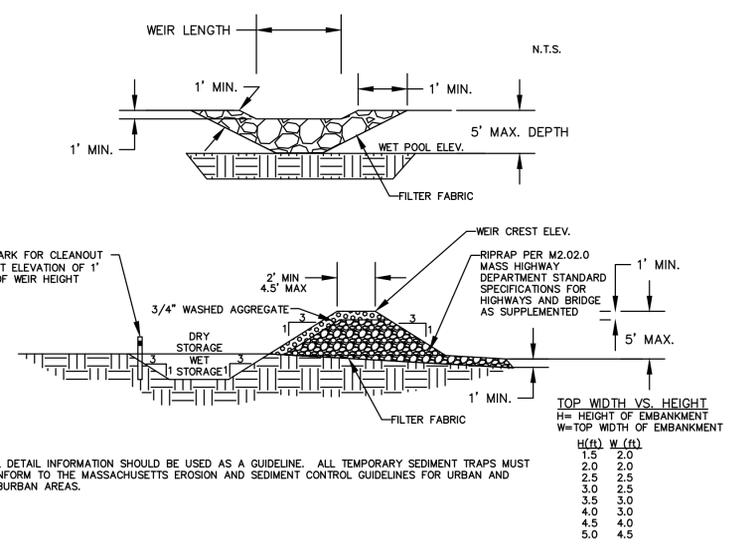
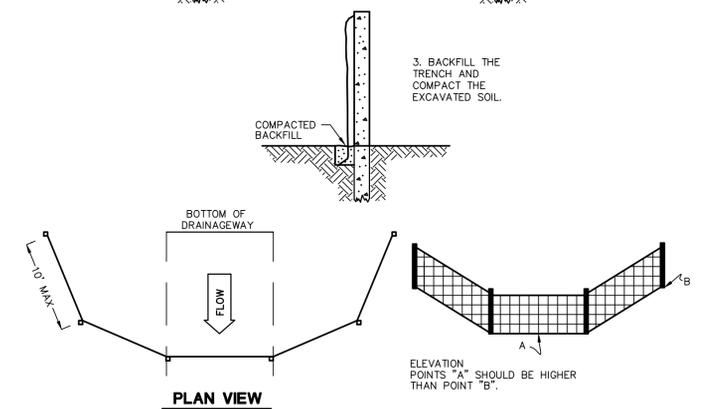
NOTE: REGULAR FLOW = 40 GAL./MIN./SF
HIGH FLOW = 200 GAL./MIN./SF



TYPICAL CONSTRUCTION ENTRANCE
N.T.S.



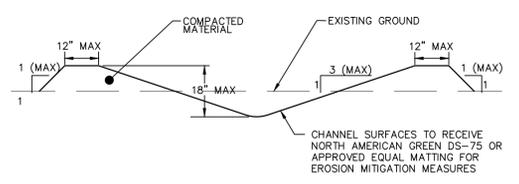
SILT FENCE BARRIER
N.T.S.



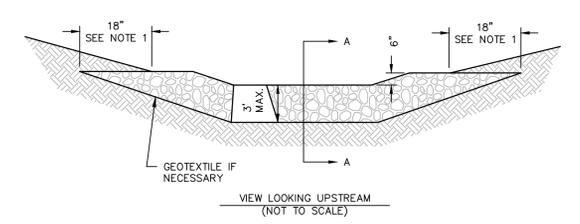
TEMPORARY SEDIMENT TRAP
N.T.S. BLEC-002

NOTE: 1. ALL DETAIL INFORMATION SHOULD BE USED AS A GUIDELINE. ALL TEMPORARY SEDIMENT TRAPS MUST CONFORM TO THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS.

TOP WIDTH VS. HEIGHT	
H = HEIGHT OF EMBANKMENT	W = TOP WIDTH OF EMBANKMENT
1.5	2.0
2.0	2.0
2.5	2.5
3.0	2.5
3.5	3.0
4.0	3.0
4.5	4.0
5.0	4.5

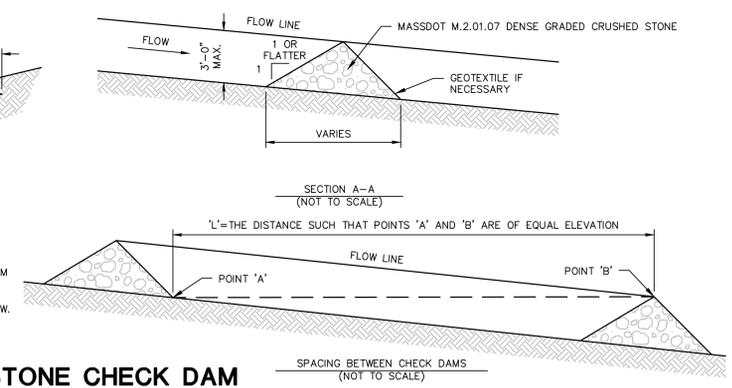


NON-ENGINEERED TEMPORARY DIVERSION SWALE DETAIL
N.T.S.



- NOTES:
- 1) KEY STONE INTO THE DITCH BANKS AND EXTEND INTO THE ABUTMENTS A MINIMUM OF 18" TO PREVENT FLOW FROM FLANKING THE CHECK DAM.
 - 2) THE MINIMUM DESIGN CAPACITY SHALL CONVEY A 2 YEAR - 24 HOUR PEAK FLOW.

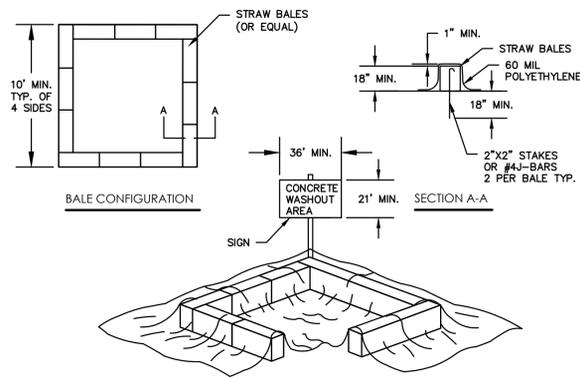
N.T.S.



STONE CHECK DAM INSTALLATION IN DRAINAGeways
N.T.S.

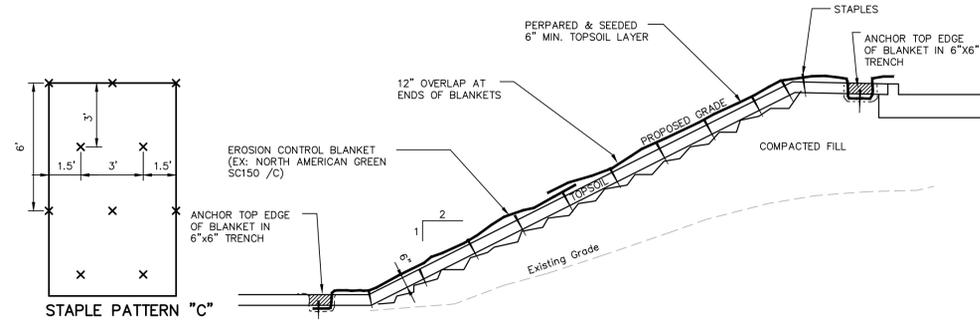
SEE SHEET EC-3 FOR SEDIMENT AND EROSION CONTROL NOTES

FOR PERMITTING PURPOSES ONLY NOT RELEASED FOR CONSTRUCTION



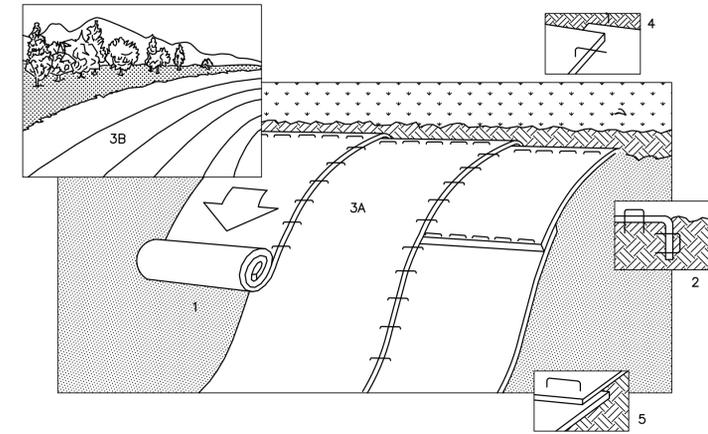
CONCRETE WASH PIT

N.T.S.



BLANKET ON FILL SLOPE

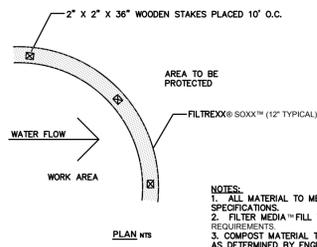
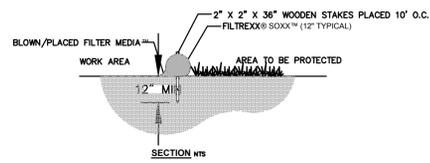
N.T.S. BLEC-009



1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.

SLOPE STABILIZATION DETAIL

N.T.S. BLEC-010



- NOTES:
1. ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS.
 2. FILTER MEDIA™ FILL TO MEET APPLICATION REQUIREMENTS.
 3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

FILTREXX® SEDIMENT CONTROL FILTER SOCK OR APPROVED EQUAL

NTS

**SEE SHEET EC-3 FOR SEDIMENT
AND EROSION CONTROL NOTES**

**FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION**

ZONING INFORMATION

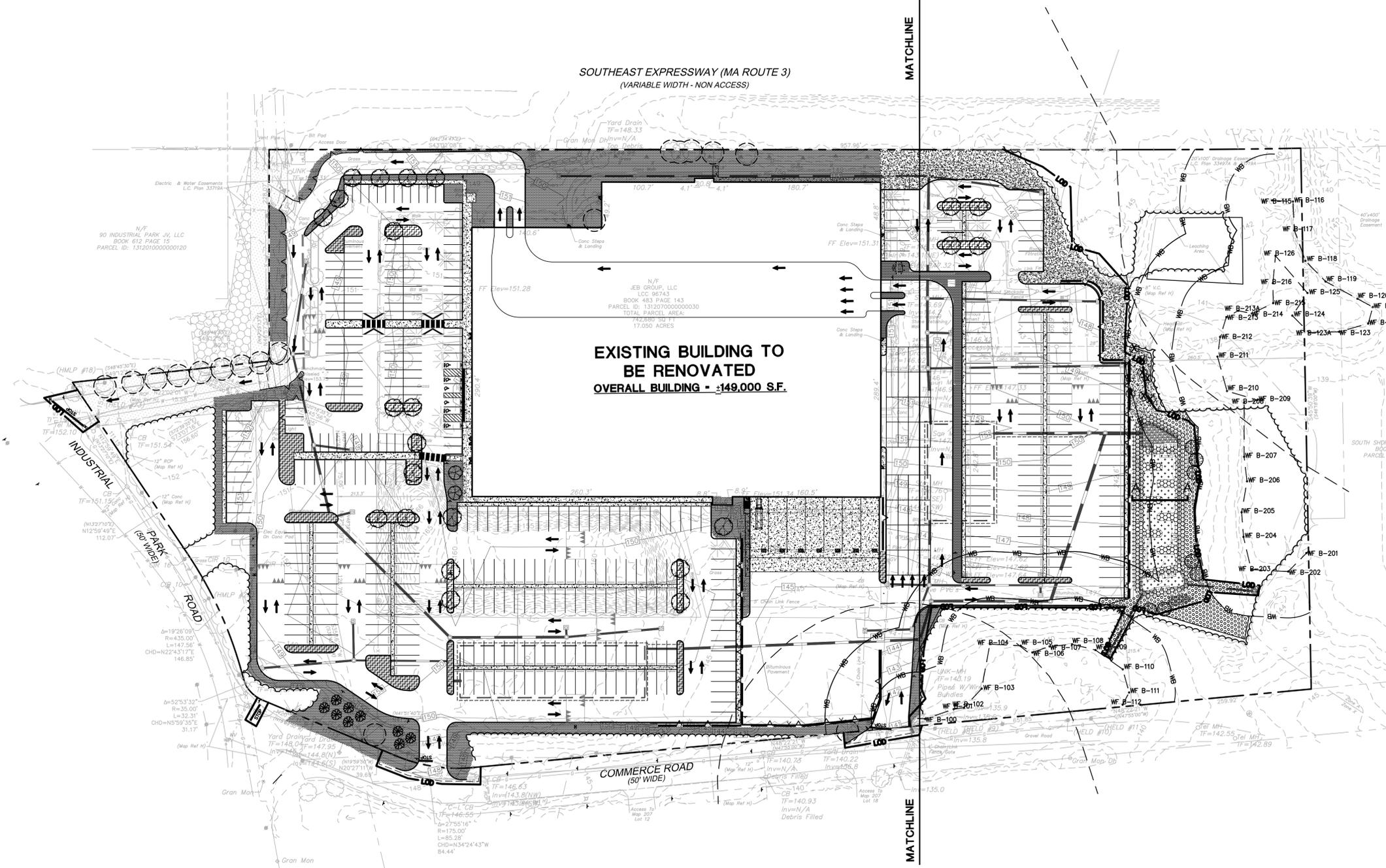
LOCATION: HINGHAM			
ZONE: IP (INDUSTRIAL PARK) & S. HINGHAM DEVELOPMENT ZONING OVERLAY			
USE: WAREHOUSE (PERMITTED USE)			
ITEM #	ITEM	REQUIREMENTS	PROPOSED
1	PARKING LOT LANDSCAPING (SECTION V-5.M.)	ONE (1) TREE (MIN. 3" CAL) AND ADDITIONAL UNDERSTORY PLANTINGS PER TEN (10) PARKING SPACES (460 SPACES (AUTO & VAN) / 10 = 46 TREES REQ.) PARKING AREAS ADJACENT TO PUBLIC RIGHT-OF-WAY SHALL BE SCREENED	EXISTING TREES TO REMAIN ALONG PARKING LOT PERIMETER: 25+ TREES PROPOSED: 21 TREES TOTAL: 46+ TREES EXISTING VEGETATION ALONG INDUSTRIAL PARK ROAD AND COMMERCE ROAD TO REMAIN, SUPPLEMENTED ALONG COMMERCE ROAD AT PREVIOUS DRIVE LOCATION.
2	LOT AREA COVERAGE (SECTION IV-B.2.)	A MINIMUM OF 15% OF THE AREA OF EACH LOT SHALL NOT BE BUILT UPON, PAVED OR PARKED UPON, AND SHALL BE MAINTAINED EITHER IN ITS NATURAL STATE OR LANDSCAPED	246,573 SF UNPAVED AREA (LANDSCAPED AND NATURAL) / 742,680 SF LOT AREA = 33.2%
3	LANDSCAPE FRONTAGE (SECTION IV-B.2.)	ALONG THE ENTIRE STREET FRONTAGE OF EACH LOT A GREEN OR LANDSCAPED STRIP NOT LESS THAN 15' WIDE SHALL BE MAINTAINED IN ITS NATURAL STATE OR LANDSCAPED WITH GRASS, TREES AND SHRUBS, NOT PAVED EXCEPT FOR DRIVEWAYS, NOT PARKED UPON AND NOT BUILT UPON EXCEPT FOR SIGNS. THE REQUIRED 15% MAY INCLUDE THE 15' GREEN STRIP.	>15 FEET

LANDSCAPE PLANT SCHEDULE						
PARKING LOT - DECIDUOUS TREES						
KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	COMMENTS
AR	4	Acer rubrum 'Franksred'	Red Sunset Red Maple	B&B	3" CAL. MIN.	6' BRANCH HT. MIN.
GT	17	Gleditsia triacanthos var. inermis 'Shademaster'	Shademaster Honeylocust	B&B	3" CAL. MIN.	6' BRANCH HT. MIN.
TOTAL	21					
ORNAMENTAL TREES						
CF	2	Cornus florida 'Cherokee Princess'	Cherokee Princess Flowering Dogwood	B&B	2" CAL. MIN.	
EVERGREEN TREES						
PS	9	Pinus strobus	Eastern White Pine	B&B	7'-8" HT.	
SHRUBS, GRASSES, AND GROUNDCOVERS						
AM	75	Aronia melanocarpa 'UCCONNAM165'	Low Scape Mound Chokeberry	CONT.	12" HT. MIN.	PLANT 36" O.C.
IG	60	Ilex glabra 'Shamrock'	Shamrock Inkberry	CONT.	30" HT. MIN.	PLANT 4' O.C.
PV	40	Panicum virgatum 'Shenadoah'	Shenadoah Switchgrass	CONT.	24" HT. MIN.	PLANT 36" O.C.
RA	130	Rhus aromatica 'Gro-low'	Gro-low Sumac	CONT.	12" HT. MIN.	PLANT 36" O.C.

- NOTES:**
- 1) ALL SUBSTITUTIONS MUST RECEIVE APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO DELIVERY TO SITE.
 - 2) PROVIDE AND INSTALL ALL PLANTS SHOWN ON THE PLANTING PLAN DRAWINGS; THE QUANTITIES IN THE PLANT LIST ARE PROVIDED FOR THE CONTRACTOR'S CONVENIENCE ONLY. IF DISCREPANCIES OCCUR, THE LARGER QUANTITY SHALL APPLY.
 - 3) IF THERE IS A DISCREPANCY BETWEEN BOTANICAL AND COMMON NAME, BOTANICAL NAME PREVAILS.
 - 4) FOR DETENTION BASIN PLANTING, REFER TO SHEET LL-3

LANDSCAPE KEY

- PROVIDE AND INSTALL DECIDUOUS SHADE TREE
- PROVIDE AND INSTALL FLOWERING TREE
- PROVIDE AND INSTALL EVERGREEN TREE
- PROVIDE AND INSTALL LAWN SEED MIX
- PROVIDE AND INSTALL SHRUBS & GROUNDCOVER PLANTINGS
- PROVIDE AND INSTALL IMPERMEABLE LINER BELOW LANDSCAPE ISLAND
- DETENTION BASIN SIDE SLOPE PLANTING AREA
- BASIN BOTTOM PLANTING AREA
- SUPPLEMENTAL BUFFER PLANTINGS
- 50' AND 100' WETLAND BUFFERS
- PROPOSED TREE LINE



SEE SHEET LL-3 FOR LANDSCAPE DETAILS AND NOTES

SEE SHEET GN-1 FOR SITEWORK GENERAL NOTES

**FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION**



PROPOSED DEVELOPMENT
100 INDUSTRIAL PARK ROAD
HINGHAM, MASSACHUSETTS

Disc.:

Date	06/20/20	Reviewed by Staff and Commission Comments
No.	1	07/13/2020
	2	07/13/2020
	3	07/13/2020
	4	07/27/2020

Designed	W.E.V.
Drawn	W.E.V.
Reviewed	
Scale	1"=60'
Project No.	1901517
Date	03/06/2020
CAD File:	LL190151701

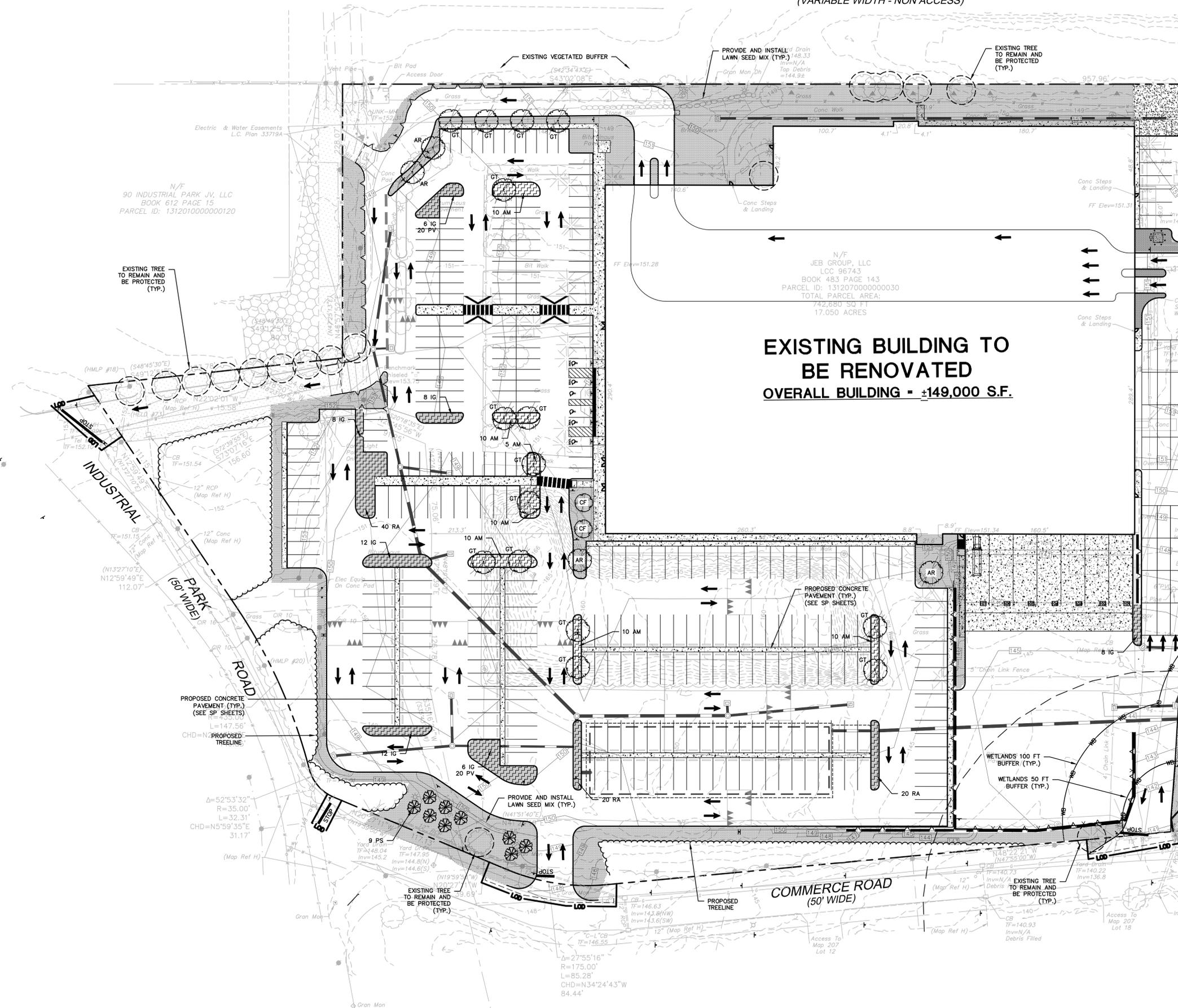
OVERALL LANDSCAPE PLAN

Aug 13, 2020 11:20am p:\projects\1901517\DWG\LL190151701.dwg
User: jcb\jcb
Title: Overall Landscape Plan

SOUTHEAST EXPRESSWAY (MA ROUTE 3)
(VARIABLE WIDTH - NON ACCESS)

LANDSCAPE KEY

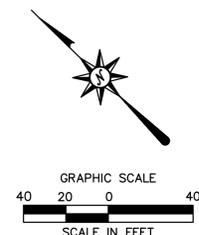
-  PROVIDE AND INSTALL DECIDUOUS SHADE TREE
-  PROVIDE AND INSTALL FLOWERING TREE
-  PROVIDE AND INSTALL EVERGREEN TREE
-  PROVIDE AND INSTALL LAWN SEED MIX
-  PROVIDE AND INSTALL SHRUBS & GROUND COVER PLANTINGS
-  PROVIDE AND INSTALL CONSERVATION SEED MIX
-  PROVIDE AND INSTALL IMPERMEABLE LINER BELOW LANDSCAPE ISLAND
-  DETENTION BASIN SIDE SLOPE PLANTING AREA
-  BASIN BOTTOM PLANTING AREA
-  SUPPLEMENTAL BUFFER PLANTINGS
-  50' AND 100' WETLAND BUFFERS
-  PROPOSED TREE LINE



EXISTING BUILDING TO BE RENOVATED
OVERALL BUILDING - ±149,000 S.F.

N/F JEB GROUP, LLC
LCC 96743
BOOK 483 PAGE 143
PARCEL ID: 131207000000030
TOTAL PARCEL AREA:
742,680 SQ. FT.
17.050 ACRES

MATCHLINE SEE SHEET LL-2



- SEE SHEET LL-0 FOR LANDSCAPE PLANT SCHEDULE**
- SEE SHEET LL-3 FOR LANDSCAPE DETAILS AND NOTES**
- SEE SHEET GN-1 FOR SITEWORK GENERAL NOTES**
- FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION**



PROPOSED DEVELOPMENT
100 INDUSTRIAL PARK ROAD
HINGHAM, MASSACHUSETTS

Disc. Revised per Staff and Commission Comments
06/01/2020
Revised per Staff and Commission Comments
07/13/2020
Revised per Conservation Commission Comments
07/27/2020

REVISIONS	Date	Description
No. 1	06/01/2020	Disc. Revised per Staff and Commission Comments
No. 2	07/13/2020	Revised per Staff and Commission Comments
No. 3	07/27/2020	Revised per Conservation Commission Comments
No. 4		

Designed W.E.V.
Drawn W.E.V.
Reviewed
Scale 1"=40'
Project No. 1901517
Date 03/06/2020
CAD File: LL190151701

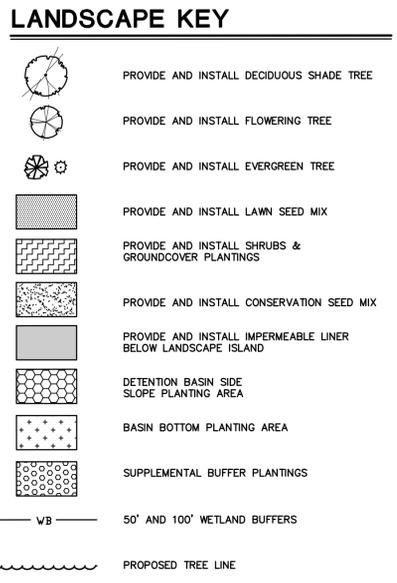
LANDSCAPE PLAN

Sheet No.

LL-1

TREE REMOVAL AND REPLACEMENT WITHIN 100 FOOT BUFFER ZONE					
EXISTING TREES TO BE REMOVED - 7 QTY (MAPLE TREES)					
PROPOSED TREE TO BE REPLANTED - 7 QTY					
KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
AR	7	Acer rubrum	Red Maple	B&B	2" CAL. MIN.

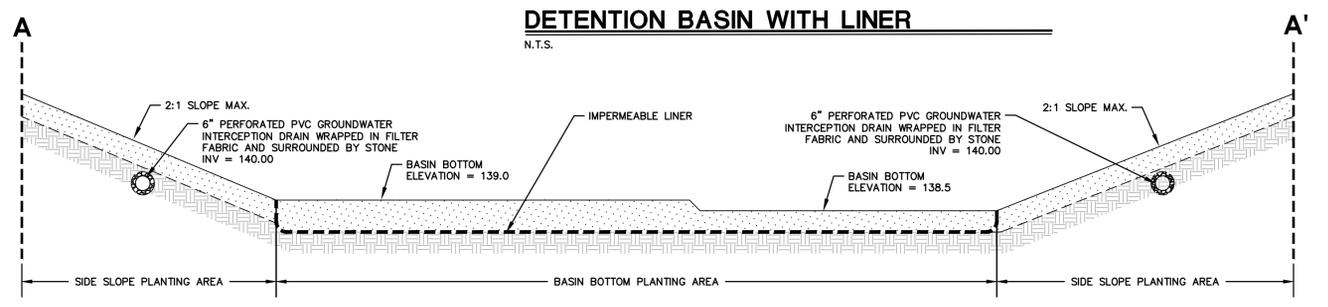
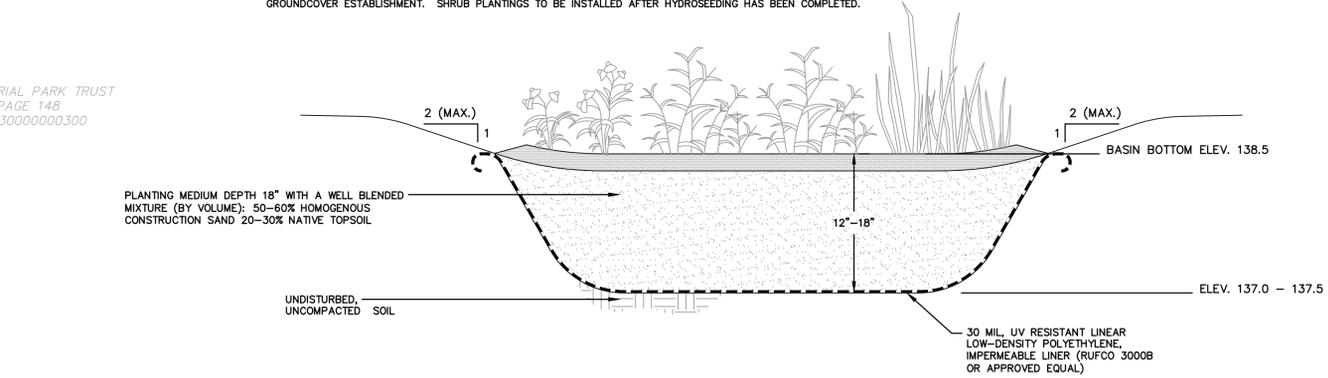
DETENTION BASIN PLANTING SCHEDULE					
BASIN BOTTOM PLANTING AREA (3,200 SF ±) (6"-12" WATER DEPTH)					
QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	
300	Acorus calamus	Sweet Flag	2" PLUG	PLANT 12" O.C.	
300	Carex stricta	Tussock Sedge	2" PLUG	PLANT 12" O.C.	
300	Juncus effusus	Soft Rush	2" PLUG	PLANT 12" O.C.	
300	Scirpus validus	Soft-Stem Bulrush	2" PLUG	PLANT 12" O.C.	
100	Sparganium eurycarpum	Giant Burreed	2" PLUG	PLANT 36" O.C.	
SIDE SLOPE PLANTING AREA (6,400 SF ±)					
60	Cephalanthus occidentalis	Buttonbush	18"-24"	PLANT 4' O.C.	
60	Ilex verticillata	Winterberry	18"-24"	PLANT 4' O.C.	
60	Viburnum dentatum	Arrowwood Viburnum (Upper Slope)	18"-24"	PLANT 4' O.C.	
200	Panicum virgatum	Switchgrass (Upper Slope)	2" PLUG	PLANT 18" O.C.	
200	Acorus calamus	Sweet Flag	2" PLUG	PLANT 12" O.C.	
200	Carex stricta	Tussock Sedge	2" PLUG	PLANT 12" O.C.	
200	Juncus effusus	Soft Rush	2" PLUG	PLANT 12" O.C.	
SUPPLEMENTAL BUFFER PLANTINGS (7,000 SF ±)					
30	Myrica pensylvanica	Northern Bayberry	18"-24"	PLANT 5' O.C.	
30	Rhus copallinum	Winged Sumac	18"-24"	PLANT 5' O.C.	
40	Vaccinium angustifolium	Lowbush Blueberry	18"-24"	PLANT 4' O.C.	
40	Comptonia peregrina	Sweetfern	18"-24"	PLANT 4' O.C.	
10	Juniperus virginiana	Eastern Red Cedar	4'-5'	PLANT 10' O.C.	



NOTES:

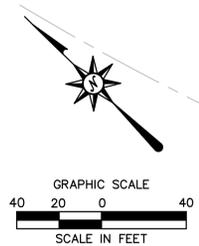
- 1) PLUG PLANTINGS TO BE DISTRIBUTED EVENLY THROUGHOUT PLANTING AREA.
- 2) SPECIES SHALL GROUPED TOGETHER IN MINIMUM QUANTITY OF 5.
- 3) REFER TO PLANTING DETAILS ON SHEET LL-3.
- 4) WET SEED MIX (HYDROSEED) TO BE INSTALLED AT THE BASIN BOTTOM PLANTING AREA FOR GROUND COVER ESTABLISHMENT. PLUG PLANTINGS TO BE INSTALLED AFTER HYDROSEEDING HAS BEEN COMPLETED.
- 5) WILDLIFE SEED MIX (HYDROSEED) TO BE INSTALLED AT SIDE SLOPE PLANTING AREA FOR GROUND COVER ESTABLISHMENT. SHRUB AND PLUG PLANTINGS TO BE INSTALLED AFTER HYDROSEEDING HAS BEEN COMPLETED.
- 6) WILDLIFE SEED MIX (HYDROSEED) TO BE INSTALLED WITHIN SUPPLEMENTAL BUFFER PLANTING AREA FOR GROUND COVER ESTABLISHMENT. SHRUB PLANTINGS TO BE INSTALLED AFTER HYDROSEEDING HAS BEEN COMPLETED.

N/F SOUTH SHORE INDUSTRIAL PARK TRUST
BOOK 15247 PAGE 148
PARCEL ID: 131213000000300



DETENTION BASIN - CROSS SECTION A-A'
N.T.S.

MATCHLINE SEE SHEET LL-1



SEE SHEET LL-0 FOR LANDSCAPE PLANT SCHEDULE

SEE SHEET LL-3 FOR LANDSCAPE DETAILS AND NOTES

SEE SHEET GN-1 FOR SITEWORK GENERAL NOTES

**FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION**



PROPOSED DEVELOPMENT
100 INDUSTRIAL PARK ROAD
HINGHAM, MASSACHUSETTS

Disc. Revised per Staff and Commission Comments
Date 06/01/2020
No. 1. Revised per Staff and Commission Comments
Date 07/13/2020
No. 2. Revised per Planning and Peer Review Comments
Date 07/27/2020
No. 3. Revised per Conservation Commission Comments
Date 07/27/2020
No. 4.

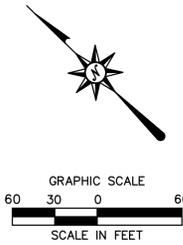
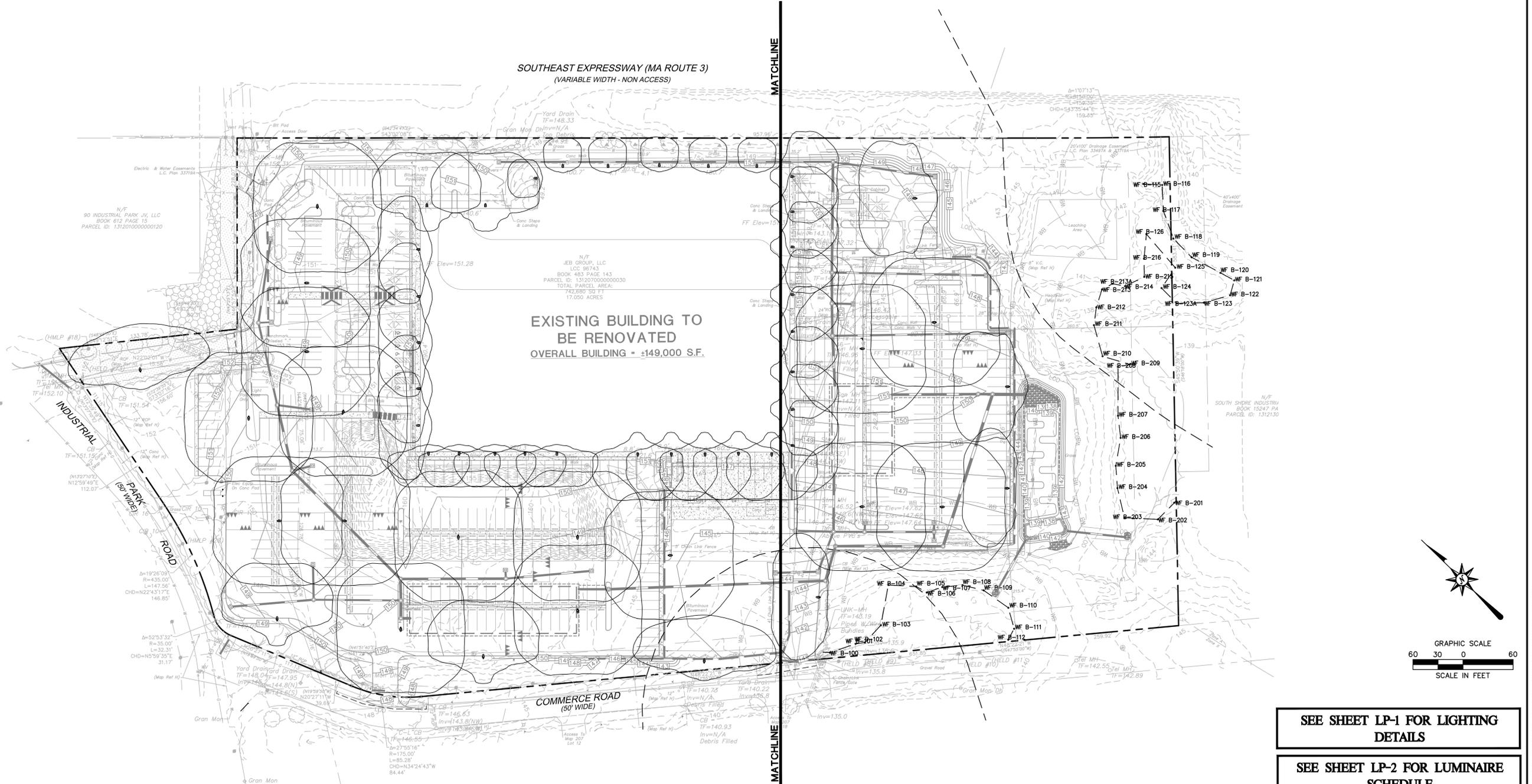
Designed W.E.V.
Drawn W.E.V.
Reviewed
Scale 1"=40'
Project No. 1901517
Date 03/06/2020
CAD File: LL190151701

Title
LANDSCAPE PLAN

Sheet No.

LIGHTING NOTES

1. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH ALL REQUIREMENTS OF ANY LOCAL APPLICABLE CODES OR ORDINANCES, PUBLIC UTILITY COMPANY REGULATIONS, STATE CODE, AND NATIONAL ELECTRICAL CODE WITH INTERIM AMENDMENTS THERETO.
2. ALL MATERIALS SHALL CONFORM TO THE LATEST ISSUE OF ALL APPLICABLE STANDARDS AS ESTABLISHED BY EEL, NEMA, ASTM, IPCEA, NATIONAL BOARD OF FIRE UNDERWRITERS, AND UNDERWRITERS LABORATORIES, INC.
3. THE CONTRACTOR SHALL TEST THE LIGHTING AFTER INSTALLATION WITH THE DEVELOPER/OWNER, AND PROVIDE TO DEVELOPER/OWNER WARRANTY AND MAINTENANCE INFORMATION. THE CONTRACTOR SHALL MAKE ADJUSTMENTS AND/OR MODIFICATIONS AS REQUIRED BY THE DEVELOPER/OWNER TO OBTAIN EVEN LIGHT DISTRIBUTION.
4. CONTRACTOR SHALL LEAVE ENTIRE ELECTRICAL SYSTEM INSTALLED BY THE CONTRACTOR IN PROPER WORKING CONDITION AND REPLACE WITHOUT ADDITIONAL CHARGE ALL WORK OR MATERIALS WHICH MAY DEVELOP DEFECTS WITHIN A PERIOD OF ONE (1) YEAR FROM DATE OF FINAL ACCEPTANCE BY THE OWNER.
5. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, BASES AND CONDUITS TO SITE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO DELIVERY OF MATERIAL TO SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW. IF ALTERNATIVE LIGHTING IS PROPOSED SUBMIT A PHOTOMETRIC FOOT-CANDLE LAYOUT ALONG WITH ANNUAL MAINTENANCE REQUIREMENTS AND ANTICIPATED COSTS.
6. LIGHTS ARE DESIGNED TO PROVIDE EVEN LEVELS OF ILLUMINATION AND AVOID GLARE ONTO NEIGHBORING PROPERTIES. FINAL DESIGN MAY VARY PENDING MANUFACTURER'S RECOMMENDATIONS.
7. ALL LIGHTING CONTROLS, PANELS, CIRCUIT BREAKERS ETC. ARE TO BE PROVIDED UNDER A SEPARATE CONTRACT BY BUILDING CONTRACTOR. CAREFUL COORDINATION IS REQUIRED BETWEEN SITE CONTRACTOR AND BUILDING CONTRACTOR TO PROVIDE A COMPLETE INSTALLATION FOR SITE LIGHTING.
8. THE CONTRACTOR WILL PROVIDE AND INSTALL ALL MATERIAL NECESSARY TO COMPLETE THE SITE LIGHTING SYSTEM INCLUDING BUT NOT LIMITED TO CONDUIT, BASES, ANCHOR BOLTS, POLES, SITE LIGHTS AND LAMPS. THE CONTRACTOR WILL COORDINATE WIRING AND POWERING OF LIGHTS WITH OWNER, ARCHITECT, AND BUILDING CONTRACTOR IF DIFFERENT FROM THE SITE CONTRACTOR.
9. ALL LIGHTS TO BE AS LISTED IN SCHEDULE OR APPROVED EQUIVALENT. LIGHTS SHALL BE MOUNTED ON ROUND STRAIGHT STEEL POLES ATOP 3' HIGH CONCRETE BASES THAT ARE SET 3' (CLEAR) BEHIND CURBS UNLESS OTHERWISE INDICATED ON CONTRACT DRAWINGS. ILLUMINATION ANALYSIS MODELED USING LIGHTING FIXTURES LISTED IN SCHEDULE.
10. LIGHT POLES AND BRACKETS TO BE AS SHOWN ON DETAILS OR APPROVED EQUIVALENT.
11. WIRE AND CABLE SHALL BE COPPER AND CONFORM TO THE FOLLOWING NEC TYPE THHN/THWN SOLID FOR NO. 12 AND NO. 10. NEC TYPE THHN/THWN STRANDED FOR NO. 8 AND LARGER. RIGID STEEL CONDUIT SHALL BE GALVANIZED. FITTINGS SHALL BE CAST FERROUS MATERIAL WITH A CADMIUM OR ZINC PLATED FINISH.
12. ALL EQUIPMENT SHALL BE GROUNDED AND BONDED IN ACCORDANCE TO NEC.



SEE SHEET LP-1 FOR LIGHTING DETAILS

SEE SHEET LP-2 FOR LUMINAIRE SCHEDULE

**FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION**



355 Research Parkway
Meriden, CT 06450
(203) 630-1406
(203) 630-2615 Fax



PROPOSED DEVELOPMENT
100 INDUSTRIAL PARK ROAD
HINGHAM, MASSACHUSETTS

REVISIONS

No.	Date	Desc.
1.	05/12/2020	Revised per Staff and Commission Comments
2.	06/01/2020	Revised per Staff and Commission Comments
4.	07/12/2020	Revised per Conservation Commission Comments

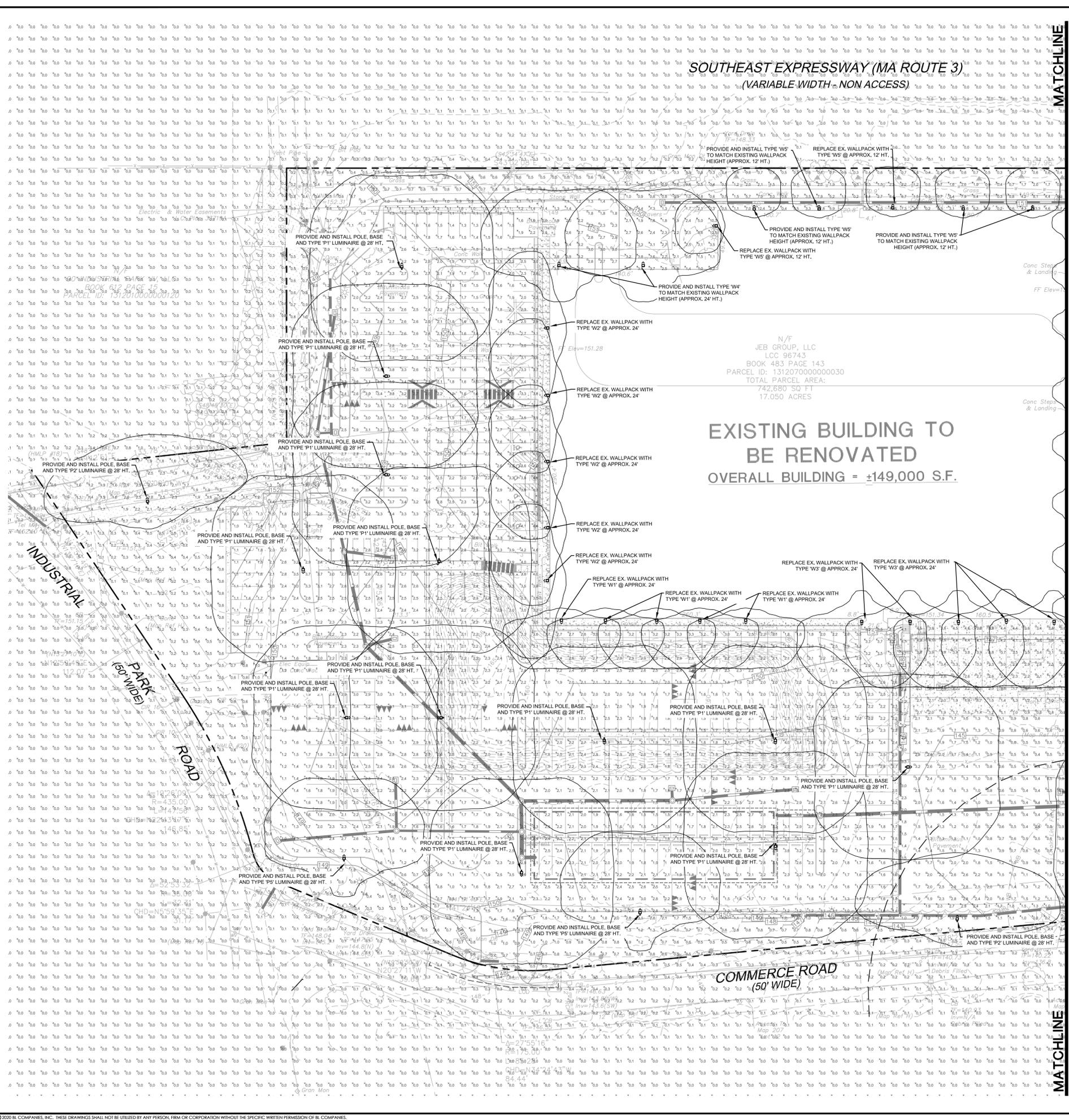
Designed L.M.W.
Drawn L.M.W.
Reviewed R.Z.
Scale 1"=60'
Project No. 1901517
Date 03/06/2020
CAD File: LP190151701

OVERALL LIGHTING PLAN

Sheet No.

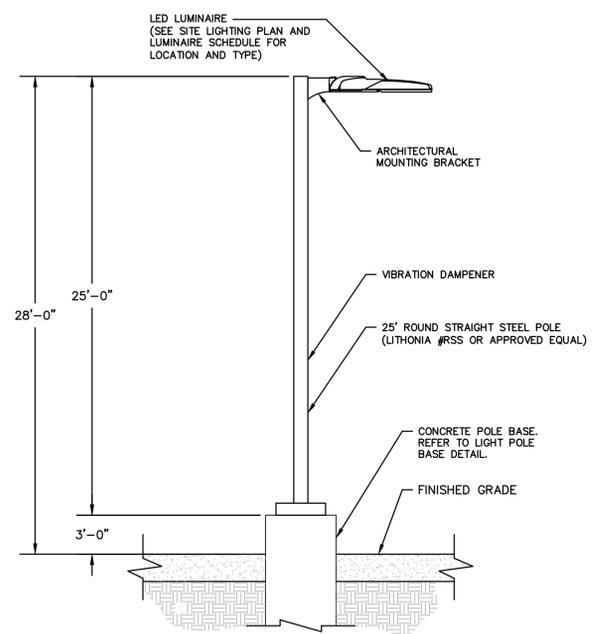
LP-0

SOUTHEAST EXPRESSWAY (MA ROUTE 3)
(VARIABLE WIDTH, NON ACCESS)

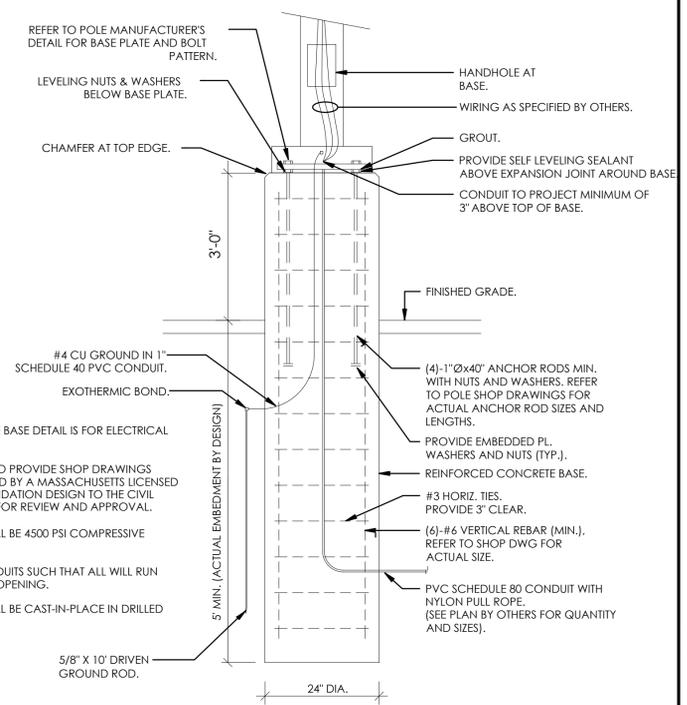


N/F
JEB GROUP, LLC
LCC 96743
BOOK 483 PAGE 143
PARCEL ID: 131207000000030
TOTAL PARCEL AREA:
742,680 SQ. FT.
17.050 ACRES

EXISTING BUILDING TO BE RENOVATED
OVERALL BUILDING = ±149,000 S.F.



TYPICAL LUMINAIRE MOUNTING DETAIL
N.T.S.



TYPICAL CONCRETE LIGHT POLE BASE DETAIL
N.T.S.

MATCHLINE SEE SHEET LP-2

NOTES:

1. CONCRETE POLE BASE DETAIL IS FOR ELECTRICAL FEATURES ONLY.
2. CONTRACTOR TO PROVIDE SHOP DRAWINGS SIGNED AND SEALED BY A MASSACHUSETTS LICENSED ENGINEER OF FOUNDATION DESIGN TO THE CIVIL DESIGN ENGINEER FOR REVIEW AND APPROVAL.
3. CONCRETE SHALL BE 4500 PSI COMPRESSIVE STRENGTH.
4. ARRANGE CONDUITS SUCH THAT ALL WILL RUN WITHIN POLE BASE OPENING.
5. CONCRETE SHALL BE CAST-IN-PLACE IN DRILLED EXCAVATION.



SEE SHEET LP-0 FOR LIGHTING NOTES

SEE SHEET LP-2 FOR LUMINAIRE SCHEDULE

**FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION**

Desc.	Revised per Staff and Commission Comments	Date
1.	Revised per Staff and Commission Comments	05/12/2020
2.	Revised per Staff and Commission Comments	06/01/2020
4.	Revised per Construction Commission Comments	07/17/2020

REVISED	DATE	BY
No.	Date	By
1.	05/12/2020	LMW
2.	06/01/2020	LMW
4.	07/17/2020	RZ

Designed: LMW
Drawn: LMW
Reviewed: RZ
Scale: 1"=40'
Project No.: 1901517
Date: 03/06/2020
CAD File: LP190151701

SITE WORK GENERAL NOTES

- 1. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION.
2. ALL CONSTRUCTION SHALL COMPLY WITH THE PROJECT SPECIFICATION MANUAL, CORPORATION STANDARDS, MUNICIPAL STANDARDS AND SPECIFICATIONS, COUNTY STANDARDS AND SPECIFICATIONS, THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS, 2010 ADA STANDARDS, AND STATE BUILDING CODE IN THE ABOVE REFERENCED INCREASING HIERARCHY. IF SPECIFICATIONS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
3. REFER TO OTHER PLANS BY OTHER DISCIPLINES, DETAILS AND PROJECT MANUAL FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE AND BUILDING CONDITIONS IN THE FIELD AND CONTACT THE CIVIL ENGINEER AND ARCHITECT IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS, SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFIRMED WITH THE OWNER'S CONSTRUCTION MANAGER PRIOR TO BIDDING.
4. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
5. THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
6. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORD DRAWINGS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES AND STORMWATER SYSTEM) TO THE OWNER AT THE END OF CONSTRUCTION.
7. THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
8. THE CONTRACTOR SHALL COMPLY WITH CFR 29 PART 1926 FOR EXCAVATION, TRENCHING, AND TRENCH PROTECTION REQUIREMENTS.
9. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL OR COUNTY OR STATE RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT MA DCS 72 HOURS BEFORE COMMENCEMENT OF WORK AT (888) 344-7233 OR AT 811 AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS. THE CONTRACTOR SHALL EMPLOY THE USE OF A UTILITY LOCATION COMPANY TO PROVIDE SUBSURFACE UTILITY ENGINEERING CONSISTING OF DESIGNATING UTILITIES AND STORM PIPING ON PRIVATE PROPERTY WITHIN THE CONTRACT LIMIT AND CONSISTING OF DESIGNATING AND LOCATING WHERE PROPOSED UTILITIES AND STORM PIPING CROSS EXISTING UTILITIES AND STORM PIPING WITHIN THE CONTRACT LIMITS.
10. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN OVER SCALED DIMENSIONS.
11. IF PLANS AND OR SPECIFICATIONS ARE IN CONFLICT, THE MOST COSTLY SHALL APPLY.
12. ALL CONTRACTORS AND SUBCONTRACTORS SHALL OBTAIN COMPLETE DRAWING PLAN SETS FOR BIDDING AND CONSTRUCTION. PLAN SETS OR PLAN SET ELECTRONIC POSTINGS SHALL NOT BE DISASSEMBLED INTO PARTIAL PLAN SETS FOR USE BY CONTRACTORS AND SUBCONTRACTORS OF INDIVIDUAL TRADES. IT SHALL BE THE CONTRACTOR'S AND SUBCONTRACTOR'S RESPONSIBILITY TO OBTAIN COMPLETE PLAN SETS OR COMPLETE PLAN SET ELECTRONIC POSTINGS FOR USE IN BIDDING AND CONSTRUCTION.
13. ALL NOTES AND DIMENSIONS DESIGNATED 'TYPICAL' APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE PROJECT.
14. CONTRACTOR(S) TO TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK AND BE RESPONSIBLE FOR COORDINATION OF SAME. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.
15. BL COMPANIES WILL PREPARE FINAL CONSTRUCTION DOCUMENTS SUITABLE FOR BIDDING AND CONSTRUCTION. PROGRESS SETS AND PERMITTING SETS OF THESE DOCUMENTS ARE NOT SUITABLE FOR THOSE PURPOSES. IF CLIENT ELECTS TO SOLICIT BIDS OR ENTER INTO CONSTRUCTION CONTRACTS UTILIZING CONSTRUCTION DOCUMENTS THAT ARE NOT YET FINAL, CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY COSTS OR DELAY ARISING AS A RESULT.
16. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
17. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS AND MATERIALS PER PLANS AND SPECIFICATIONS TO THE OWNER AND CIVIL ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
18. THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE SEDIMENT AND EROSION CONTROL NOTES SHEET.
19. THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING, RAISED CONCRETE SIDEWALKS, LANDINGS, RAMPS, AND STAIRS.
20. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE CIVIL ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
21. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING AS APPLICABLE UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
22. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, TEMPORARY WALKWAYS, TRAFFIC CONTROLLERS AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED OR AS ORDERED BY THE ENGINEER OR AS REQUIRED BY THE LOCAL GOVERNING AUTHORITIES OR AS REQUIRED BY PERMIT STIPULATIONS OR AS REQUIRED BY THE OWNER. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS FOR USE AT ALL TIMES UNLESS WRITTEN APPROVAL FROM THE APPROPRIATE GOVERNING AGENCY IS GRANTED.
23. TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE COMMONWEALTH DOT STANDARD DETAIL SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2' OFF THE FACE OF THE CURB, AND WITH 7' VERTICAL CLEARANCE UNLESS OTHERWISE DETAILED OR NOTED.
24. REFER TO DETAIL SHEETS FOR PAVEMENT, CURBING, AND SIDEWALK INFORMATION.
25. THE CONTRACT LIMIT IS THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED OR SHOWN ON THE CONTRACT DRAWINGS.
26. THE CONTRACTOR SHALL SUBMIT A SHOP DRAWING OF THE PAVEMENT MARKING PAINT MIXTURE PRIOR TO STRIPING.
27. PAVEMENT MARKING KEY:
4" SYL 4" SOLID YELLOW LINE
4" SWL 4" SOLID WHITE LINE
12" SWB 12" SOLID WHITE STOP BAR
28. PARKING SPACES SHALL BE STRIPED WITH 4" SWL; HATCHED AREA SHALL BE STRIPED WITH 4" SWL AT A 45° ANGLE, 2" ON CENTER. HATCHING, SYMBOLS, AND STRIPING FOR HANDICAPPED SPACES SHALL BE PAINTED BLUE. OTHER MARKINGS SHALL BE PAINTED WHITE OR AS NOTED.
29. ALL PARKING SPACES AND HATCHED AREAS SHALL HAVE TWO COATS OF PAVEMENT MARKINGS APPLIED TO STRIPING.
30. PAVEMENT MARKINGS SHALL BE HOT APPLIED TYPE IN ACCORDANCE WITH STATE DOT SPECIFICATIONS, UNLESS WHERE EPOXY RESIN PAVEMENT MARKINGS ARE INDICATED.
31. THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, SMALL PAVEMENT MARKINGS, OR SIGNAGE DISTURBED DURING DEMOLITION AND/OR CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE CIVIL ENGINEER, AND TO THE SATISFACTION OF THE OWNER AND TO THE TOWN OF HINGHAM.
32. EXISTING BOUNDARY AND TOPOGRAPHY IS BASED ON DRAWING TITLED "ALTA/NSPS LAND TITLE SURVEY" FOR LAND OF JEB GROUP, LLC, 100 INDUSTRIAL PARK ROAD, HINGHAM, PLYMOUTH COUNTY, MASSACHUSETTS, SCALE 1"=50', DATED 9/27/2019, BY BL COMPANIES, INC.
33. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, CIVIL ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION DURING THE BIDDING PROCESS.
34. A DEMOLITION PERMIT IS REQUIRED FOR EXISTING BUILDINGS.
35. THE SITE IS CURRENTLY SERVICED BY PUBLIC WATER.
36. THE PROJECT PARCEL IS LOCATED PARTLY OR WHOLLY WITHIN A FEMA DESIGNATED FLOOD HAZARD AREA.
37. FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FIRE DISTRICT FIRE MARSHAL.
38. THE CONTRACTOR SHALL REMOVE CONFLICTING PAVEMENT MARKINGS IN THE ROADWAY BY METHOD APPROVED BY THE AUTHORITY HAVING JURISDICTION OR DOT AS APPLICABLE FOR THE LOCATION OF THE WORK.
39. ALL ADA DESIGNATED PARKING STALLS, ACCESS AISLES AND PEDESTRIAN WALKWAYS SHALL CONFORM TO THE CURRENT VERSION OF THE AMERICANS WITH DISABILITIES ACT STANDARDS FOR ACCESSIBLE DESIGN AND ANSI STANDARDS AND AS MAY BE SUPERCEDED BY THE STATE BUILDING CODE.
40. CONSTRUCTION OCCURRING ON THIS SITE SHALL COMPLY WITH NFPA 241 STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION AND DEMOLITION OPERATIONS, AND NFPA 1 FIRE CODE.
41. BUILDINGS, INCLUDING FOUNDATION WALLS AND FOOTINGS AND BASEMENT SLABS INDICATED ON THE DEMOLITION PLAN ARE TO BE REMOVED FROM THE SITE. CONTRACTOR SHALL SECURE ANY PERMITS, PAY ALL FEES AND PERFORM CLEARING AND GRUBBING AND DEBRIS REMOVAL PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
42. SEDIMENT AND EROSION CONTROLS AS SHOWN ON THE SEDIMENT AND EROSION CONTROL PLAN SHALL BE INSTALLED BY THE DEMOLITION CONTRACTOR PRIOR TO START OF DEMOLITION AND CLEARING AND GRUBBING OPERATIONS.
43. REMOVE AND DISPOSE OF ANY SIDEWALKS, FENCES, STAIRS, WALLS, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED OFF SITE LANDFILL, BY AN APPROVED HAULER. HAULER SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS.
44. THE CONTRACTOR SHALL SECURE ALL PERMITS FOR HIS DEMOLITION AND DISPOSAL OF HIS DEMOLITION MATERIAL TO BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL POST BONDS AND PAY PERMIT FEES AS REQUIRED. BUILDING DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS AND DISPOSAL OF ALL BUILDING DEMOLITION DEBRIS IN AN APPROVED OFF-SITE LANDFILL.
45. ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL ABATEMENT CONTRACTOR.
46. THE CONTRACTOR SHALL PREPARE ALL MANIFEST DOCUMENTS AS REQUIRED PRIOR TO COMMENCEMENT OF DEMOLITION.
47. THE CONTRACTOR SHALL CUT AND PLUG, OR ARRANGE FOR THE APPROPRIATE UTILITY PROVIDER TO CUT AND PLUG SERVICE PIPING AT THE STREET LINE OR AT THE MAIN, AS REQUIRED BY THE UTILITY PROVIDER, OR AS OTHERWISE NOTED OR SHOWN ON THE CONTRACT DRAWINGS. ALL SERVICES MAY NOT BE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL INVESTIGATE THE SITE PRIOR TO BIDDING TO DETERMINE THE EXTENT OF SERVICE PIPING TO BE REMOVED, CUT OR PLUGGED. THE CONTRACTOR SHALL PAY ALL UTILITY PROVIDER FEES FOR ABANDONMENTS AND REMOVALS.
48. THE CONTRACTOR SHALL PROTECT ALL IRON PINS, MONUMENTS AND PROPERTY CORNERS DURING DEMOLITION AND CONSTRUCTION ACTIVITIES. ANY CONTRACTOR DISTURBED PINS, MONUMENTS, AND OR PROPERTY CORNERS, ETC. SHALL BE RESET BY A LICENSED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
49. THE DEMOLITION CONTRACTOR SHALL STABILIZE THE SITE AND KEEP EROSION CONTROL MEASURES IN PLACE UNTIL THE COMPLETION OF HIS WORK OR UNTIL THE COMMENCEMENT OF WORK BY THE SITE CONTRACTOR, WHICHEVER OCCURS FIRST, AS REQUIRED OR DEEMED NECESSARY BY THE ENGINEER OR OWNER'S REPRESENTATIVE. THE SITE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF EXISTING EROSION AND SEDIMENTATION CONTROLS AND FOR INSTALLATION OF ANY NEW SEDIMENT AND EROSION CONTROLS AS PER THE SEDIMENT AND EROSION CONTROL

- PLAN, AT THAT TIME.
50. THE CONTRACTOR SHALL PUMP OUT BUILDING FUEL AND WASTE OIL TANKS (IF ANY ARE ENCOUNTERED) AND REMOVE FUEL TO AN APPROVED DISPOSAL AREA BY A LICENSED WASTE OIL HANDLING CONTRACTOR IN STRICT ACCORDANCE WITH STATE REQUIREMENTS.
51. IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK OF IMPACTED SOIL AND NOTIFY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL LOCATION UNTIL FURTHER INSTRUCTED BY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT.
52. EXISTING WATER SERVICES FOR BUILDINGS BEING DEMOLISHED SHALL BE DISCONNECTED AND CAPPED AT MAIN IN ACCORDANCE WITH THE REQUIREMENTS OF THE WATER UTILITY PROVIDER. REMOVE EXISTING ONSITE WATER PIPING TO BE ABANDONED TO MAIN UNLESS OTHERWISE SHOWN ON DEMOLITION PLANS OR AS REQUIRED BY THE WATER UTILITY PROVIDER TO BE REMOVED TO MAIN OR RIGHT OF WAY LINE.
53. EXISTING SANITARY LATERALS FOR BUILDINGS BEING DEMOLISHED SHALL BE PLUGGED WITH NON-SHRINK GROUT AT CURB LINE OR AT MAIN CONNECTION IN ACCORDANCE WITH THE SANITARY UTILITY PROVIDER REQUIREMENTS. REMOVE EXISTING LATERAL PIPING FROM SITE UNLESS OTHERWISE SHOWN ON DEMOLITION PLANS OR AS REQUIRED BY THE SANITARY UTILITY PROVIDER.
54. DOMESTIC GAS SERVICES FOR BUILDINGS BEING DEMOLISHED SHALL BE CAPPED AND SERVICE LINES PURGED OF RESIDUAL GAS IN ACCORDANCE WITH THE GAS UTILITY PROVIDER REQUIREMENTS. WORK TO BE COORDINATED BY AND PAID FOR BY THE CONTRACTOR. REMOVE EXISTING SERVICE PIPING ON SITE. ANY PROPANE TANKS SHALL BE PURGED OF RESIDUAL GAS BY PROPANE SUPPLIER. CONTRACTOR SHALL COORDINATE THIS WORK AND PAY NECESSARY FEES.
55. THE CONTRACTOR SHALL PROVIDE DISCONNECT NOTIFICATION TO THE MUNICIPALITY ENGINEERING DEPARTMENT, TELECOMMUNICATIONS UTILITY PROVIDER, GAS UTILITY PROVIDER, ELECTRIC UTILITY PROVIDER, SANITARY UTILITY PROVIDER, AND WATER UTILITY PROVIDER AT LEAST THREE WEEKS PRIOR TO BEGINNING DEMOLITION.
56. THE CONTRACTOR IS RESPONSIBLE FOR SECURING A DEMOLITION PERMIT FROM THE TOWN OF HINGHAM BUILDING DEPARTMENT AND MUST FURNISH THE REQUIRED APPLICATION MATERIAL AND PAY ALL FEES.
57. BACK FILL DEPRESSIONS, FOUNDATION HOLES AND REMOVED DRIVEWAY AREAS IN LOCATIONS NOT SUBJECT TO FURTHER EXCAVATION WITH SOIL MATERIAL APPROVED BY THE OWNER'S GEOTECHNICAL ENGINEER AND COMPACT, FERTILIZE, SEED AND MULCH DISTURBED AREAS NOT SUBJECT TO FURTHER SITE CONSTRUCTION. DEMOLISHED BUILDING FOUNDATION AREA AND BASEMENT IF PRESENT TO BE BACKFILLED WITH GRAVEL FILL OR MATERIAL SPECIFIED IN THE PROJECT GEOTECHNICAL REPORT IN LIFT THICKNESS SPECIFIED IN THE GEOTECHNICAL REPORT. COMPACT TO 95% MAX. DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENT SPECIFIED IN GEOTECHNICAL REPORT AND EARTHWORK SPECIFICATION. EMPLOY WATERING EQUIPMENT FOR DUST CONTROL.
58. THE CONTRACTOR SHALL REPAIR PAVEMENTS BY INSTALLING TEMPORARY AND PERMANENT PAVEMENTS IN PUBLIC RIGHTS OF WAYS AS REQUIRED BY LOCAL GOVERNING AUTHORITIES AND THE MUNICIPALITY AND PER PERM REQUIREMENTS DUE TO DEMOLITION AND PIPE REMOVAL ACTIVITIES.
59. THE CONTRACTOR SHALL CUT AND REMOVE AT LUMINAIRE AND SIGN LOCATIONS ANY PROTRUDING CONDUITS TO 24" BELOW GRADE. THE CONTRACTOR SHALL REMOVE ALL CABLE AND CONDUCTORS FROM REMAINING LIGHTING AND SIGNING CONDUITS TO BE ABANDONED. ANY REMAINING LIGHTING TO REMAIN IN PLACE SHALL BE REROUTED OR REWired AS NECESSARY TO REMAIN IN OPERATION.
60. NO WORK ON THIS SITE SHALL BE INITIATED BY THE CONTRACTOR UNTIL A PRE-CONSTRUCTION MEETING WITH OWNER AND THE CIVIL ENGINEER IS PERFORMED. THE CONTRACTOR SHOULD BE AWARE OF ANY SITE INFORMATION AVAILABLE SUCH AS GEOTECHNICAL AND ENVIRONMENTAL REPORTS. THE CONTRACTOR SHALL HAVE MAJOR SAFE MARK OUTS OF EXISTING UTILITIES COMPLETED PRIOR TO MEETING.
61. THE CONTRACTOR SHALL ARRANGE FOR AND INSTALL TEMPORARY OR PERMANENT UTILITY CONNECTIONS WHERE INDICATED ON PLAN OR AS REQUIRED. MAINTAIN UTILITY SERVICES TO BUILDINGS OR TO SERVICES TO REMAIN. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDERS FOR INSTALLATION AND PAY UTILITY PROVIDER FEES.
62. THE CONTRACTOR SHALL NOT COMMENCE DEMOLITION OR UTILITY DISCONNECTIONS UNTIL AUTHORIZED TO DO SO BY THE OWNER.
63. THE CONTRACTOR OR DEMOLITION CONTRACTOR SHALL INSTALL TEMPORARY SHEETING OR SHORING AS NECESSARY TO PROTECT EXISTING AND NEW BUILDINGS, STRUCTURES AND UTILITIES DURING CONSTRUCTION AND DEMOLITION. SHEETING OR SHORING SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER, LICENSED IN THIS STATE AND EVIDENCE OF SUCH SUBMITTED TO THE OWNER PRIOR TO INSTALLATION.
64. NO SALVAGE SHALL BE PERMITTED UNLESS PAID TO THE OWNER AS A CREDIT.
65. ANY EXISTING POTABLE WELL AND ANY ABANDONED SEPTIC TANKS/ABSORPTION AREAS NOT INTENDED FOR USE SHALL BE ABANDONED AND REMOVED PER THE TOWN OF HINGHAM AND MASSACHUSETTS DEPARTMENT OF PUBLIC HEALTH CODE REQUIREMENTS.
66. THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO SEDIMENT AND EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND EROSION CONTROL NOTES.
67. TOPSOIL SHALL BE STRIPPED AND STOCKPILED ON SITE FOR USE IN FINAL LANDSCAPING.
68. FILL WITHIN FORMER BUILDING FOUNDATION SHALL BE CHECKED BY TEST PIT AND PROOF-ROLLING AND SHALL BE OBSERVED BY THE OWNER'S GEOTECHNICAL ENGINEER. SUBGRADE SHALL BE FORMED WITH REMOVAL AND REPLACEMENT OF FILL AND REMOVAL AND REPLACEMENT OF UNSUITABLE AND SOFT SUBGRADE MATERIAL AS REQUIRED BY THE GEOTECHNICAL ENGINEER. SEE GEOTECHNICAL REPORT AND EARTHWORK SPECIFICATIONS FOR FURTHER DESCRIPTION.
69. THE CONTRACTOR SHALL COMPACT FILL IN LIFT THICKNESS PER THE GEOTECHNICAL REPORT UNDER ALL PARKING, BUILDING, DRIVE, AND STRUCTURE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS REQUIRED BY THE GEOTECHNICAL ENGINEER.
70. UNDERDRAINS SHALL BE ADDED, IF DETERMINED NECESSARY IN THE FIELD BY THE OWNER/GEOTECHNICAL ENGINEER, AFTER SUBGRADE IS ROUGH GRADED.
71. VERTICAL DATUM IS NAVD 88.
72. CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE TOWN OF HINGHAM PRIOR TO THE START OF WORK ON THE SITE.
73. PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL SO AS TO PREVENT THE SILTING OF ANY WATERCOURSE OR WETLANDS IN ACCORDANCE WITH THE REGULATIONS OF THE MASSDEP AND THE LATEST EDITION OF THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS. IN ADDITION, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE SEDIMENT AND EROSION CONTROL PLAN CONTAINED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE TO POST ALL BONDS AS REQUIRED BY THE LOCAL MUNICIPALITIES, OR SOIL CONSERVATION DISTRICT WHICH WOULD GUARANTEE THE PROPER IMPLEMENTATION OF THE PLAN.
74. ALL SITE WORK, MATERIALS OF CONSTRUCTION, AND CONSTRUCTION METHODS FOR EARTHWORK AND STORM DRAINAGE WORK SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS AND APPLICABLE SECTIONS OF THE PROJECT SPECIFICATIONS MANUAL. OTHERWISE THIS WORK SHALL CONFORM TO THE COMMONWEALTH DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND PROJECT GEOTECHNICAL REPORT IF THERE IS NO PROJECT SPECIFICATIONS MANUAL. ALL FILL MATERIAL UNDER STRUCTURES AND PAVED AREAS SHALL BE PER THE ABOVE STATED APPLICABLE SPECIFICATIONS AND/OR PROJECT GEOTECHNICAL REPORT, AND SHALL BE PLACED IN ACCORDANCE WITH THE APPLICABLE SPECIFICATIONS UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. MATERIAL SHALL BE COMPACTED IN LIFT THICKNESSES PER THE PROJECT GEOTECHNICAL REPORT TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 1557 AT MOISTURE CONTENT INDICATED IN PROJECT GEOTECHNICAL REPORT.
75. ALL DISTURBANCE INCURRED TO MUNICIPAL, COUNTY, AND COMMONWEALTH PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE MUNICIPALITY, COUNTY AND COMMONWEALTH AS APPLICABLE FOR THE LOCATION OF THE WORK.
76. ALL CONSTRUCTION WITHIN A DOT RIGHT OF WAY SHALL COMPLY WITH ALL DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.
77. THE UTILITY PLAN DETAILS SITE INSTALLED PIPES UP TO 5' FROM THE BUILDING FACE. REFER TO DRAWINGS BY BL COMPANIES FOR BUILDING CONNECTIONS. SITE CONTRACTOR SHALL SUPPLY AND INSTALL PIPE ADAPTERS AS NECESSARY AT BUILDING CONNECTION POINT OR AT EXISTING UTILITY OR PIPE CONNECTION POINT.
78. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL LOCATIONS WHERE PROPOSED SANITARY SEWERS AND WHERE PROPOSED STORM PIPING WILL CROSS EXISTING UTILITIES, AND THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES SHALL BE DETERMINED. THE CONTRACTOR SHALL CONTACT THE CIVIL ENGINEER IN THE EVENT OF ANY DISCREPANCY OR UNRESOLVED CONFLICTS BETWEEN EXISTING AND PROPOSED SANITARY SEWERS, STORM PIPING AND UTILITIES SO THAT AN APPROPRIATE MODIFICATION MAY BE MADE.
79. UTILITY CONNECTION DESIGN AS REFLECTED ON THE PLAN MAY CHANGE SUBJECT TO UTILITY PROVIDER AND GOVERNING AUTHORITY STAFF REVIEW.
80. THE CONTRACTOR SHALL ENSURE THAT ALL UTILITY PROVIDERS AND GOVERNING AUTHORITY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET. THE CONTRACTOR SHALL PERFORM PROPER COORDINATION WITH THE RESPECTIVE UTILITY PROVIDER.
81. THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY PROVIDERS FOR SERVICE INSTALLATIONS AND CONNECTIONS. THE CONTRACTOR SHALL COORDINATE WORK TO BE PERFORMED BY THE VARIOUS UTILITY PROVIDERS AND SHALL PAY ALL FEES FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS, AND DEMOLITION UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATIONS MANUAL AND/OR GENERAL CONDITIONS OF THE CONTRACT.
82. ALL EXISTING PAVEMENT WHERE UTILITY PIPING IS TO BE INSTALLED SHALL BE SAW CUT. AFTER UTILITY INSTALLATION IS COMPLETED, THE CONTRACTOR SHALL INSTALL TEMPORARY AND/OR PERMANENT PAVEMENT REPAIR AS DETAILED ON THE DRAWINGS OR AS REQUIRED BY THE OWNER HAVING JURISDICTION.
83. ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADDES USING A PIPE LASER OR OTHER ACCURATE METHOD.
84. SANITARY LATERAL SHALL MAINTAIN (10' MIN. HORIZONTAL 1.5' VERTICAL MIN.) SEPARATION DISTANCE FROM WATER LINES, OR ADDITIONAL PROTECTION MEASURES WILL BE REQUIRED WHERE PERMITTED, WHICH SHALL INCLUDE CONCRETE ENCASEMENT OF PIPING UNLESS OTHERWISE DIRECTED BY THE UTILITY PROVIDERS AND CIVIL ENGINEER.
85. RELOCATION OF UTILITY PROVIDER FACILITIES SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY PROVIDER.
86. THE CONTRACTOR SHALL COMPACT THE PIPE BACKFILL IN 8" LIFTS ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED PER THE TRENCH DETAILS AND IN AREAS OF ROCK EXCAVATION.
87. CONTRACTOR TO PROVIDE STEEL SLEEVES AND ANNUAL SPACE SAND FILL FOR UTILITY PIPE AND CONDUIT CONNECTIONS UNDER FOOTINGS.
88. BUILDING UTILITY PENETRATIONS AND LOCATIONS ARE SHOWN FOR THE CONTRACTOR'S INFORMATION AND SHALL BE VERIFIED WITH THE BUILDING MEP, STRUCTURAL, AND ARCHITECTURAL DRAWINGS AND WITH THE OWNER'S CONSTRUCTION MANAGER.
89. ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION FOR APPROVAL PRIOR TO BACKFILLING, IN ACCORDANCE WITH THE APPROPRIATE UTILITY PROVIDER REQUIREMENTS.
90. A ONE-FOOT MINIMUM VERTICAL CLEARANCE BETWEEN WATER, GAS, ELECTRICAL, AND TELECOMMUNICATION LINES AND STORM PIPING SHALL BE PROVIDED. A SIX-INCH MINIMUM CLEARANCE SHALL BE MAINTAINED BETWEEN STORM PIPING AND SANITARY SEWER WITH A CONCRETE ENCASEMENT. AN 18-INCH TO 6-INCH VERTICAL CLEARANCE BETWEEN SANITARY SEWER PIPING AND STORM PIPING SHALL REQUIRE CONCRETE ENCASEMENT OF THE PROPOSED PIPING.
91. GRAVITY SANITARY SEWER PIPING AND PRESSURIZED WATERLINES SHALL BE LOCATED IN SEPARATE TRENCHES AT LEAST 10 FEET APART WHENEVER POSSIBLE. WHEN INSTALLED IN THE SAME TRENCH, THE WATER PIPE SHALL BE LAID ON A TRENCH BENCH AT LEAST 18 INCHES ABOVE THE TOP OF THE SANITARY SEWER PIPE AND AT LEAST 12 INCHES (PREFERABLY 18 INCHES) FROM THE SIDE OF THE SANITARY SEWER PIPE TRENCH.
92. SITE CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC., AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING STUB OUTS, INCLUDING ROOF DRAIN CONNECTIONS TO ROOF LEADERS AND TO STORM DRAINAGE SYSTEM, AND FOOTING DRAIN CONNECTIONS TO STORM DRAINAGE SYSTEM.
93. MANHOLE RIMS AND CATCH BASIN GRATES SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE RIMS AND VALVE COVERS TO BE RAISED OR LOWERED FLUSH WITH FINAL GRADE AS NECESSARY.

- 94. SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF CONDUIT AND CABLES FOR SITE LIGHTING WITH THE BUILDING ELECTRICAL CONTRACTOR.
95. CONTRACTOR SHALL COORDINATE INSTALLATION FOR ELECTRICAL SERVICES TO ANY Pylon OR MONUMENT SIGNS AND SITE LIGHTING WITH THE BUILDING ELECTRICAL CONTRACTOR.
96. THE CONTRACTOR SHALL ARRANGE AND COORDINATE WITH UTILITY PROVIDERS FOR WORK TO BE PERFORMED BY UTILITY PROVIDERS. THE CONTRACTOR SHALL PAY ALL UTILITY FEES UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATION MANUAL AND GENERAL CONDITIONS, AND REPAIR PAVEMENTS AS NECESSARY.
97. ELECTRIC AND TELECOMMUNICATIONS SERVICES SHALL BE INSTALLED UNDERGROUND FROM A SERVICE POLE AS REQUIRED OR SHOWN ON BUILDING ELECTRICAL SITE PLAN. THE CONTRACTOR SHALL PROVIDE AND INSTALL AND BACKFILL PVC CONDUITS FOR TELECOMMUNICATIONS SERVICE, PVC CONDUITS FOR ELECTRIC SERVICE PRIMARY AND PVC CONDUITS FOR ELECTRICAL SECONDARY PER BUILDING ELECTRICAL PLANS. (SCHEDULE 80 UNDER PAVEMENT, SCHEDULE 40 IN NON PAVEMENT AREAS). SERVICES MAY BE INSTALLED IN A COMMON TRENCH WITH 12" CLEAR SPACE BETWEEN. MINIMUM COVER IS 36" ON ELECTRIC CONDUITS, AND 24" ON TELECOMMUNICATIONS CONDUITS. SERVICES SHALL BE MARKED WITH MAGNETIC LOCATOR TAPE AND SHALL BE BEDDED, INSTALLED, AND BACKFILLED IN ACCORDANCE WITH ELECTRIC UTILITY PROVIDER, AND TELECOMMUNICATIONS COMPANY STANDARDS. GALVANIZED STEEL ELECTRICAL CONDUIT SHALL BE USED AT POLE AND TRANSFORMER LOCATIONS. INSTALL MANHOLES AS REQUIRED TO FACILITATE INSTALLATION AND AS REQUIRED BY UTILITY PROVIDER. INSTALL TRAFFIC LOAD QUALIFIED HANDHOLES IN VEHICULAR AREAS. INSTALL CONCRETE ENCASEMENT ON PRIMARY ELECTRICAL CONDUITS IF REQUIRED BY ELECTRIC UTILITY PROVIDER.
98. ALL WATER LINES TO HAVE A MINIMUM COVER REQUIRED BY AQUARIUM WATER COMPANY. ALL LINES SHALL BE BEDDED IN 6" SAND AND INITIALLY BACKFILLED WITH 12" SAND.
99. ALL WATER MAINS, WATER SERVICES AND SANITARY SEWER LATERALS SHALL CONFORM TO THE APPLICABLE WATER UTILITY PROVIDER SPECIFICATIONS, AND TO THE APPLICABLE SANITARY SEWER PROVIDER SPECIFICATIONS, AS WELL AS TO OTHER APPLICABLE INDUSTRY CODES (AWWA) AND PROJECT SPECIFICATIONS FOR POTABLE WATER SYSTEMS, AND FOR SANITARY SEWER SYSTEMS.
100. THE CONTRACTOR SHALL MAINTAIN ALL FLOWS AND UTILITY CONNECTIONS TO EXISTING BUILDINGS WITHOUT INTERRUPTION UNLESS/UNTIL AUTHORIZED TO DISCONNECT BY THE OWNERS, THE CIVIL ENGINEER, UTILITY PROVIDERS AND GOVERNING AUTHORITIES.
101. THE CONTRACTOR MAY SUBSTITUTE MASONRY STRUCTURES FOR PRECAST STRUCTURES IF APPROVED BY THE CIVIL ENGINEER AND ALLOWED BY THE GOVERNING AUTHORITY ENGINEER OR OTHER GOVERNING AUTHORITY.
102. DUCTILE IRON PIPE, IF APPLICABLE, SHALL CONFORM TO ANMA C151 FOR CLASS 52 WITH CEMENT LINING IN ACCORDANCE WITH ANSI A21.4 FOR WATER MAINS AND SERVICES 3" ID AND LARGER. JOINTS SHALL BE MADE WITH CONCRETE THRUST BLOCKS OR WITH MEGALUGG RETAINER GLANDS OR WITH RODDING IN ACCORDANCE WITH PROJECT MANUAL SPECIFICATIONS AND IN ACCORDANCE WITH WATER UTILITY PROVIDER REQUIREMENTS TO EXTEND A MINIMUM OF 2' PIPE LENGTHS IN EITHER DIRECTION FROM FITTINGS AND ELBOWS (40 FT MINIMUM). ALL OTHER JOINTS SHALL BE PUSH-ON WITH RUBBER GASKETS (TYTON). USE OF OTHER TYPES OF RETAINER GLANDS SHALL REQUIRE USE WITH CLASS 53 OR GREATER DUCTILE IRON PIPE.
103. PIPING SHALL BE LAID FROM DOWNGRADE END OF PIPE RUN IN AN UPGRADE DIRECTION WITH BELL END FACING UPGRADE IN THE DIRECTION OF PIPE LAYING.
104. ALL RCP SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-76; ALL RCP SHALL BE CLASS IV UNLESS OTHERWISE SHOWN. JOINTS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-443.
105. MANHOLE SECTIONS AND CONSTRUCTION SHALL CONFORM TO ASTM C-478.
106. HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER 12" OR GREATER IN DIAMETER SHALL BE N-12WT AS MANUFACTURED BY ADS, OR APPROVED EQUAL. HDPE PIPE SHALL HAVE SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND SHALL MEET THE REQUIREMENTS OF AASHTO M294, TYPE S. PIPE SECTIONS SHALL BE JOINED WITH BELL-AND-SPIGOT JOINT MEETING THE REQUIREMENTS OF AASHTO M294. THE BELL SHALL BE AN INTEGRAL PART OF THE PIPE AND PROVIDE A MINIMUM PULL-APART STRENGTH OF 400 POUNDS. THE JOINT SHALL BE WATERIGHT ACCORDING TO THE REQUIREMENTS OF ASTM D3212. GASKETS SHALL BE MADE OF POLYISOPRENE MEETING THE REQUIREMENTS OF ASTM F477. ALTERNATIVE HDPE PIPE MAY BE USED IF APPROVED BY THE ENGINEER AND OWNER'S CONSTRUCTION MANAGER PRIOR TO ORDERING.
107. GAS PIPE MATERIAL SHALL BE PER GAS COMPANY REQUIREMENTS.
108. POLYVINYL CHLORIDE PIPE (PVC) FOR SANITARY PIPING SHALL HAVE BUILT-IN RUBBER GASKET JOINTS. PVC SHALL CONFORM TO ASTM D3034 (SDR35) WITH COMPRESSION JOINTS AND MOLDED FITTINGS. PVC SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS, ASTM D2321 AND MANUFACTURER'S RECOMMENDED PROCEDURE.
109. THERE ARE WETLANDS LOCATED ON THE SITE BASED ON RESOURCE AREA DELINEATION PLAN, DRAWING NUMBER 1 OF 1, DATED SEPTEMBER 26, 2016 AND REVISED OCTOBER 12, 2016 BY BEALE ASSOCIATES. ORDER OF RESOURCE DELINEATION: DEP #034-1271 EXTENSION EXPIRES ON FEBRUARY 19, 2023.
110. THE CONTRACTOR SHALL CONTACT AND OBTAIN FROM COUNTY, MUNICIPAL AND STATE SOURCES ALL CONSTRUCTION PERMITS INCLUDING SEWER AND WATER CONNECTION PERMITS AND ROADWAY CONSTRUCTION PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THE WORK.
111. AN EROSION CONTROL BOND MAY BE REQUIRED TO BE POSTED BY THE CONTRACTOR BEFORE THE START OF ANY ACTIVITY ON OR OFF SITE. THE AMOUNT OF THE EROSION CONTROL BOND WILL BE DETERMINED BY THE AUTHORITY HAVING JURISDICTION.

DEFINITIONS

- MUNICIPALITY SHALL MEAN TOWN OF HINGHAM
STATE OR COMMONWEALTH SHALL MEAN COMMONWEALTH OF MASSACHUSETTS
WATER UTILITY PROVIDER SHALL MEAN AQUARIUM WATER COMPANY
SANITARY UTILITY PROVIDER SHALL MEAN ROSANO DAVIS SANITARY PUMPING INC.
GAS UTILITY PROVIDER SHALL MEAN NATIONAL GRID
TELECOMMUNICATIONS UTILITY PROVIDER SHALL MEAN GRANITE TELECOMMUNICATIONS
ELECTRIC UTILITY PROVIDER SHALL MEAN HINGHAM MUNICIPAL LIGHTING PLANT



355 Research Parkway
Meriden, CT 06450
(203) 250-1406
(203) 650-2515 Fax



PROPOSED DEVELOPMENT
100 INDUSTRIAL PARK ROAD
HINGHAM, MASSACHUSETTS

REVISIONS
No. Date

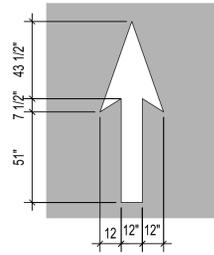
Designed A.T.K.
Drawn A.T.K.
Reviewed K.W.H.
Scale NONE
Project No. 1901517
Date 03/06/2020
CAD File: GN190151701

Title
GENERAL NOTES

Sheet No.

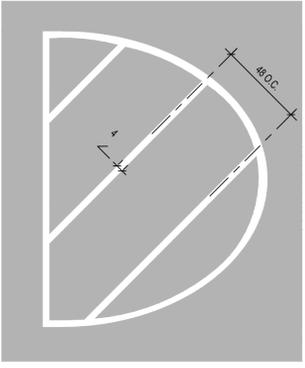
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GN-1



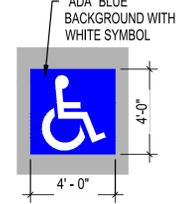
PG-5
8'-0" X 10'-0"
WHITE PAVEMENT GRAPHICS - STRAIGHT ARROW. USE TO DIRECT TRAFFIC AT ONE-WAY DRIVE AISLES (BLACK INDICATES ASPHALT)

1 PAVEMENT ARROWS
1/4" = 1'-0"

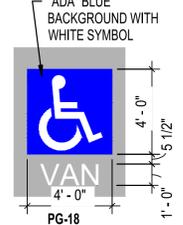


PG-10
4" STRIPING OUTLINE AND FILL AT 45 DEGREES. PAVEMENT GRAPHICS - TRAFFIC ISLAND. USE TO PROHIBIT VEHICLE TRAVEL AND PARKING. YELLOW AT NO TRAFFIC, BLUE AT ACCESSIBLE PARKING SPACES, WHITE AT VENDOR PARKING (BLACK INDICATES ASPHALT). INCLUDE AT EMERGENCY EXITS INTO THE PARKING LOT AT ALL PARKING SPACES THAT IMPEDE DIRECT ACCESS TO THE THOROUGHFARE.

2 PAVEMENT STRIPING
1/4" = 1'-0"

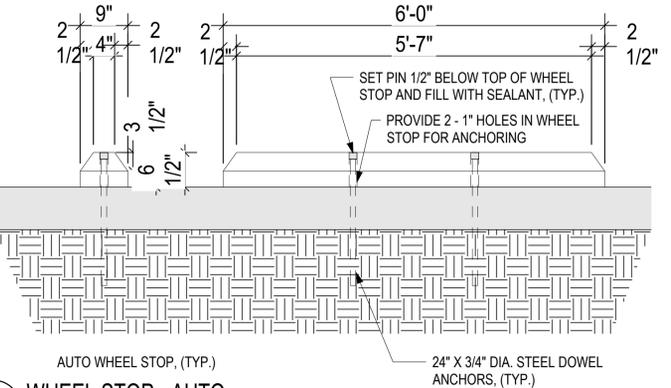


PG-17
4'-0" X 4'-0"
PAVEMENT GRAPHICS - STANDARD ACCESSIBLE PARKING SPACE. USE AT ALL ACCESSIBLE PARKING SPACES. WHITE SYMBOL WITH BLUE BACKGROUND (BLACK INDICATES ASPHALT).

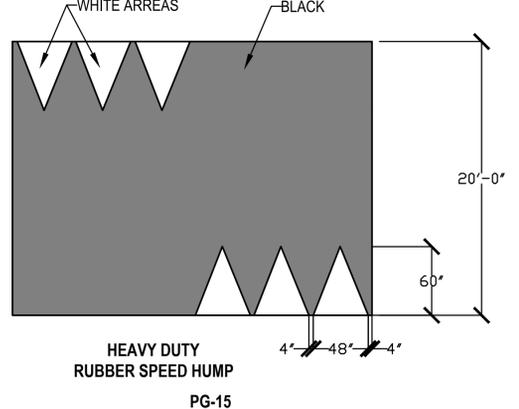


PG-18
4'-0" X 5'-5 1/2"
PAVEMENT GRAPHICS - VAN ACCESSIBLE PARKING SPACE. USE AT ALL VAN ACCESSIBLE PARKING SPACES. WHITE SYMBOL WITH BLUE BACKGROUND, AND WHITE TEXT (BLACK INDICATES ASPHALT).

3 PAVEMENT ADA GRAPHICS
1/4" = 1'-0"

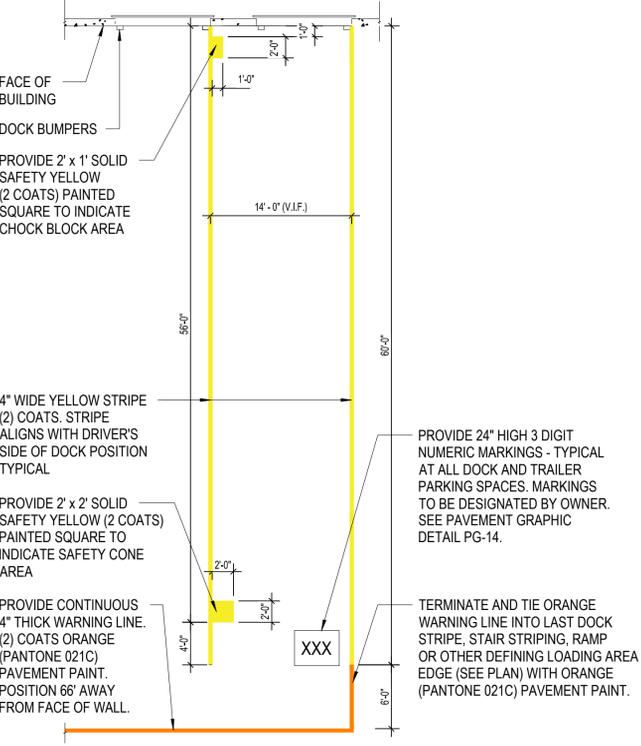


4 WHEEL STOP - AUTO
3/4" = 1'-0"

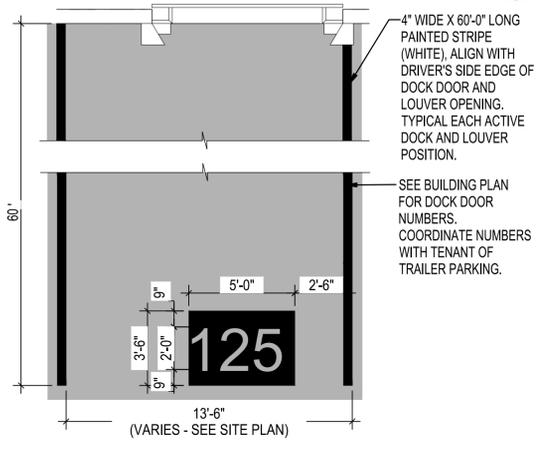


PG-15
20'-0" WIDE
PAVEMENT GRAPHICS - LARGE SPEED BUMP. USE TO CONTROL SPEED AT OUTLYING DRIVE AREAS. WHITE THERMAL APPLIED WHITE ARROWS. ASPHALT SPEED HUMPS SHALL BE USED IN COLDER CLIMATES WHERE SNOW REMOVAL EQUIPMENT IS INTENDED TO BE USED. RUBBER SPEED HUMPS MAY BE USED IN WARMER CLIMATES OR REGIONS WHERE CONCRETE PAVEMENT IS PREVALENT.

5 SPEED BUMP - BITUMINOUS CONCRETE
N.T.S.

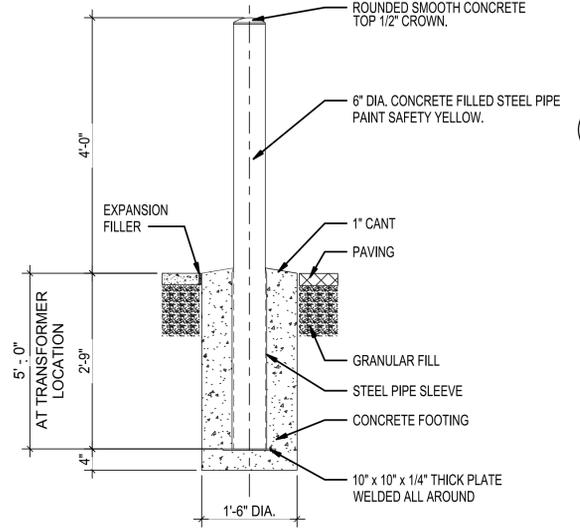


6 TYPICAL TRAILER PARKING AT DOCK
1/8" = 1'-0"

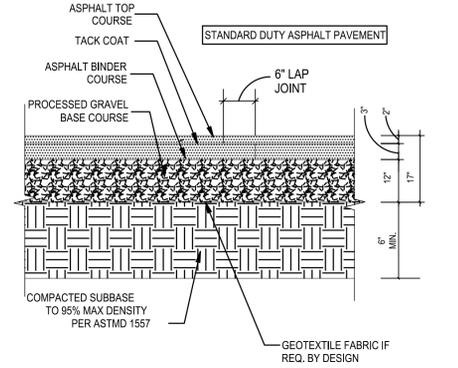


PG-14
WHITE 5'-0" X 3'-6" (24" TALL LETTERING) PAVEMENT GRAPHICS - TRAILER SPACE NUMBERING. USE TO LABEL TRAILER SPACES. TYPICAL ALL TRUCK DOCK SPACES. (BLACK INDICATES ASPHALT). SEE PLANS FOR DOCK DOOR NUMBERS. COORDINATE NUMBERS WITH TENANT OF TRAILER PARKING.

7 DOCK DOOR SLIP MARKINGS
N.T.S.

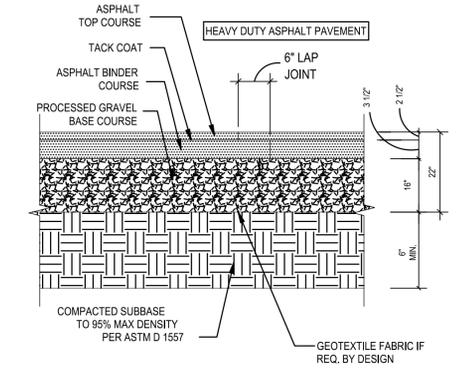


10 TYPICAL SITE PROTECTIVE BOLLARD DETAIL
3/4" = 1'-0"



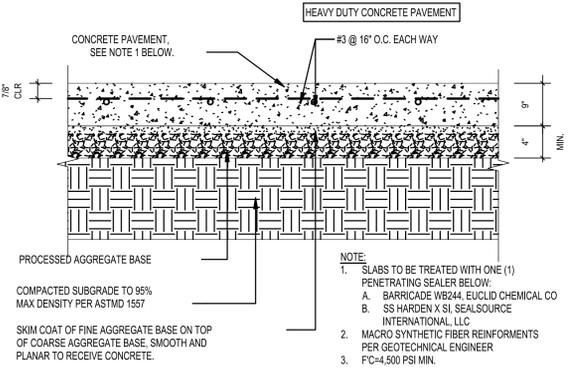
FOR INFORMATION ONLY. FINAL DESIGN BY GEOTECHNICAL ENGINEER AFTER SITE DATA ANALYSIS. PAVEMENT TO MEET LOCAL AND STATE AHJ AND DESIGN. MATERIAL TO BE PER LOCAL DOT PAVEMENT MIX DESIGN FOR WEARING AND BINDER COURSES INCLUDING BASE MATERIALS

11 STANDARD DUTY ASPHALT PAVEMENT
N.T.S.



FOR INFORMATION ONLY. FINAL DESIGN BY GEOTECHNICAL ENGINEER AFTER SITE DATA ANALYSIS. PAVEMENT TO MEET LOCAL AND STATE AHJ AND DESIGN. MATERIAL TO BE PER LOCAL DOT PAVEMENT MIX DESIGN FOR WEARING AND BINDER COURSES INCLUDING BASE MATERIALS

12 HEAVY DUTY ASPHALT PAVEMENT
N.T.S.



FOR INFORMATION ONLY. FINAL DESIGN BY GEOTECHNICAL ENGINEER AFTER SITE DATA ANALYSIS. PAVEMENT TO MEET LOCAL AND STATE AHJ AND DESIGN. MATERIAL TO BE PER LOCAL DOT PAVEMENT MIX DESIGN FOR WEARING AND BINDER COURSES INCLUDING BASE MATERIALS

13 HEAVY DUTY CONCRETE PAVEMENT
N.T.S.

PAVEMENT GRAPHIC NOTES:

- TWO COAT APPLICATION REQUIRED FOR ALL PAVEMENT GRAPHICS.
- REFER TO CIVIL FOR PAINTED GRAPHIC ARROWS AND ADDITIONAL PAVEMENT GRAPHIC CRITERIA.

PAVEMENT PAINT

TA1/PP1	WHITE
TA2/PP2	RED (PANTONE 485C)
TA3/PP3	BLUE (PANTONE 294)
TA4/PP4	GREEN (PANTONE 342)
TA5/PP5	YELLOW (PANTONE 116)

NOTE: TWO COAT APPLICATION REQUIRED FOR ALL PAVEMENT GRAPHICS.

REVISIONS

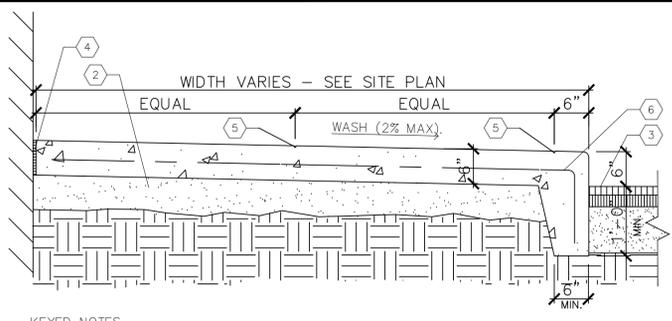
No.	Date	Desc.
1.	05/12/2020	Revised per Staff and Commission Comments
2.	06/01/2020	Revised per Staff and Commission Comments

Designed	P.G.M.
Drawn	P.G.M.
Reviewed	
Scale	NONE
Project No.	1901517
Date	03/04/2020
CAD File:	DN190151701

DETAIL SHEET

Sheet No.

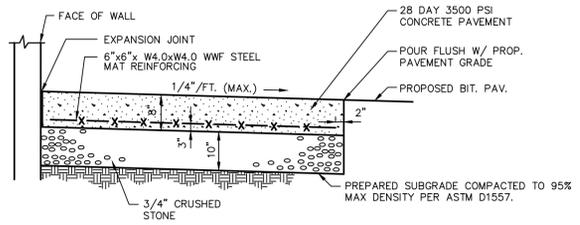
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- KEYED NOTES**
- 1 N/A
 - 2 6" COMPACTED MHD M2.01.07 DENSE GRADED CRUSHED STONE.
 - 3 PAVEMENT.
 - 4 COMPRESSIBLE FILLER (3/4" MAXIMUM).
 - 5 1/4" TOOLED JOINT CUT BACK AND PROVIDE SEALANT, TYPICAL, AT ALL JOINTS WITH FILLER.
 - 6 6" X 6" W2.1X W2.1 W.W.F.

MONOLITHIC CONCRETE CURB AND SIDEWALK DETAIL (AT BUILDING)

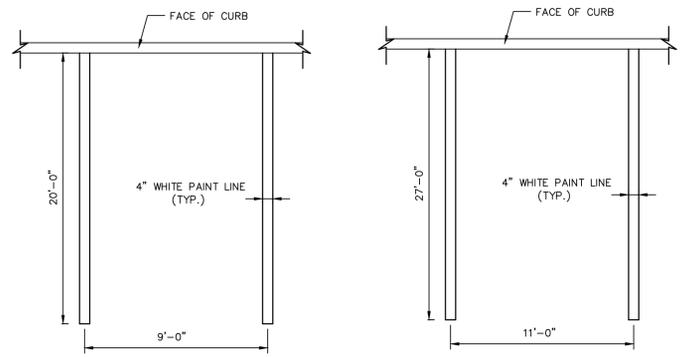
N.T.S. WAG



SECTION VIEW

CONCRETE PAD DETAIL

N.T.S. BLPc-002



- NOTE:**
- PROVIDE 2 COATS OF PAINT ON ALL SURFACES.
 - SEE PLAN FOR ACTUAL SPACE LOCATION AND DIMENSIONS.

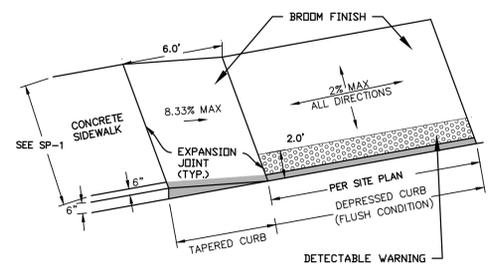
TYPICAL PARKING SPACE DETAIL

N.T.S.

- NOTE:**
- PROVIDE 2 COATS OF PAINT ON ALL SURFACES.
 - SEE PLAN FOR ACTUAL SPACE LOCATION AND DIMENSIONS.

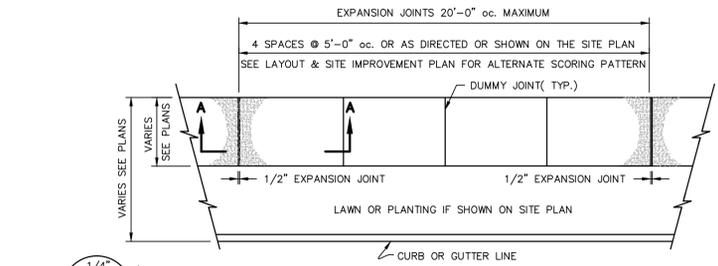
TYPICAL VAN PARKING SPACE DETAIL

N.T.S.



HANDICAP CURB RAMP

N.T.S.



PLAN VIEW

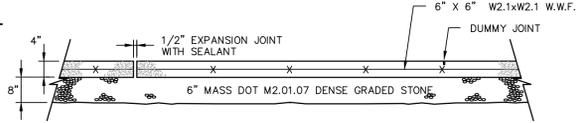
CONCRETE SIDEWALK DETAIL

N.T.S. BLSR-001

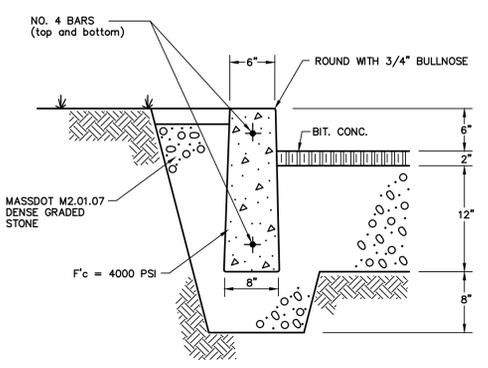


DUMMY JOINT

N.T.S.

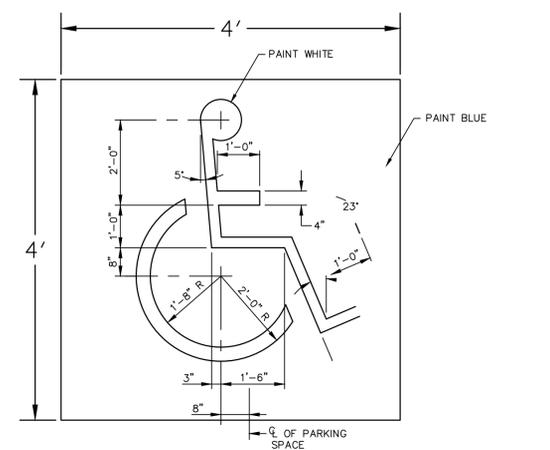


SECTION A-A



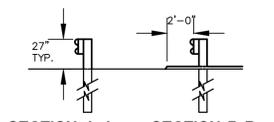
CONCRETE CURB DETAIL

N.T.S. ZPC-010

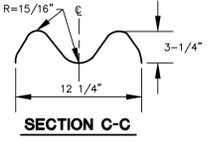


INTERNATIONAL SYMBOL OF ACCESSIBILITY

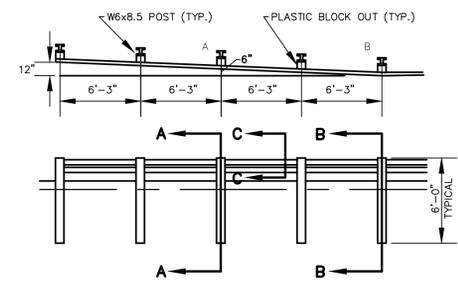
N.T.S. WG



SECTION A-A SECTION B-B HEIGHT WITH CURBING

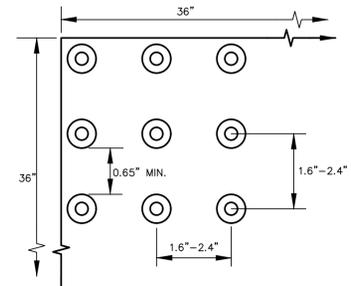


SECTION C-C

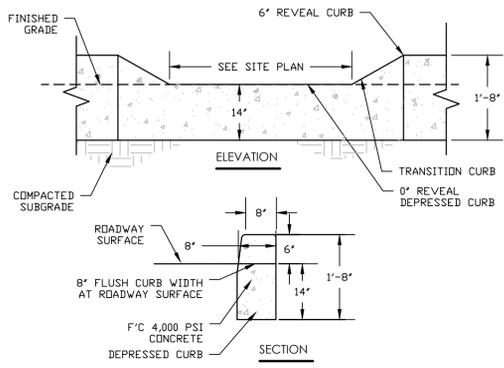


METAL BEAM GUIDE RAIL

N.T.S.

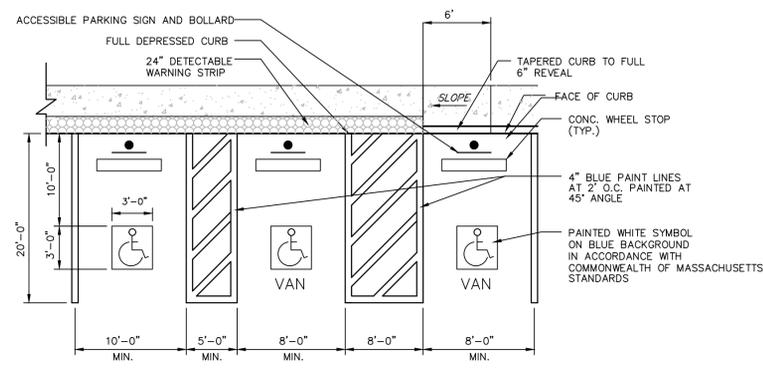


DOME SPACING



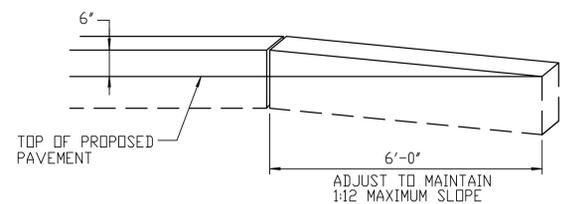
6" REVEAL DEPRESSED/ CONCRETE CURB

N.T.S.



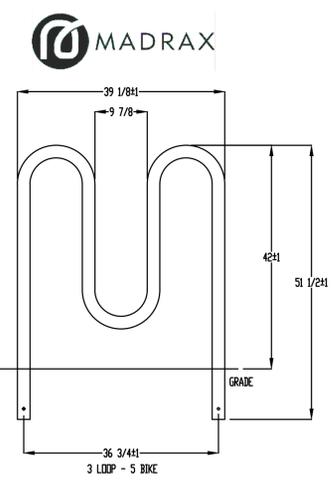
TYPICAL ACCESSIBLE PARKING SPACE AND RAMP DETAIL

N.T.S. BLPc-004



CONCRETE TRANSITION CURB

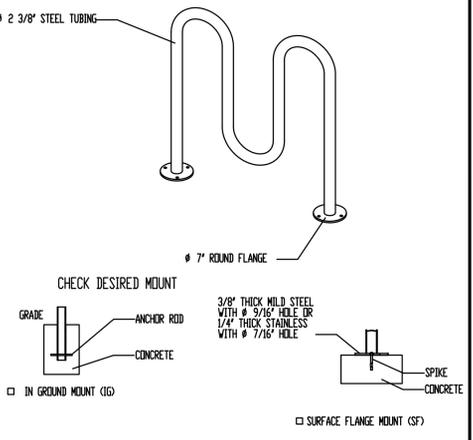
N.T.S.



MADRAX DIVISION
GRABER MANUFACTURING, INC.
 1300 LINCOLN DRIVE
 WASHINGTON, VT 05692
 P:800-448-7331 F:800-849-1800 FAX:800-849-1800
 WWW.MADRAX.COM E-MAIL: SALES@MADRAX.COM

PRODUCT: HW238-5-16(S)
DESCRIPTION: HEAVY DUTY WINDER BIKE RACK
 5 BIKE, SURFACE OR IN GROUND MOUNT
 DATE: 10-16-18
 ENG: SMC

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NOTES:

- INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- CONSULTANT TO SELECT COLOR OF FINISH. SEE MANUFACTURER'S SPECIFICATIONS.
- SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.

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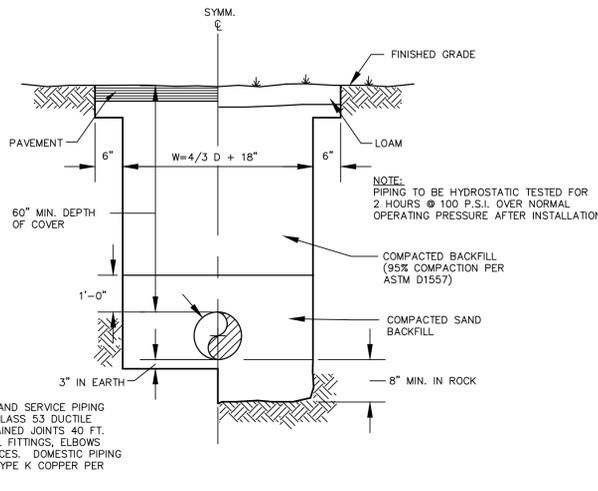
REVISIONS

No.	Date	Description
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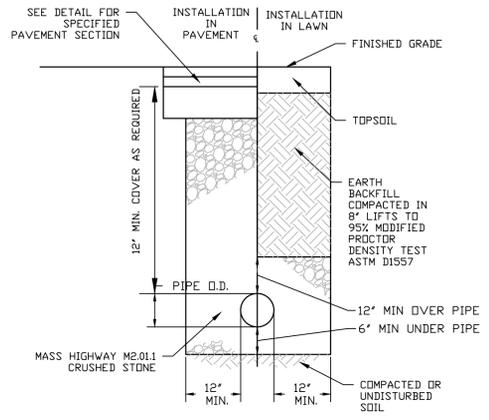
Designed	A.T.K.
Drawn	A.T.K.
Reviewed	
Scale	NONE
Project No.	1901517
Date	03/06/2020
CAD File:	DN190151701

DETAIL SHEET

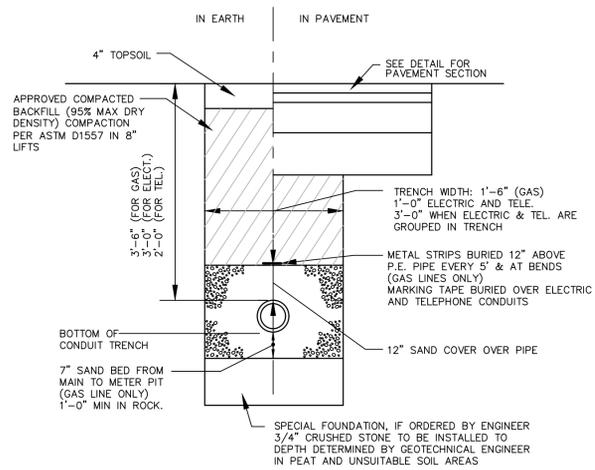
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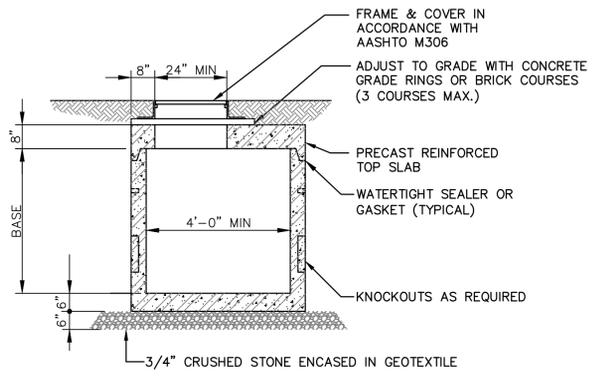
TYPICAL WATER MAIN AND SERVICE TRENCH DETAIL
N.T.S. BLWD-005



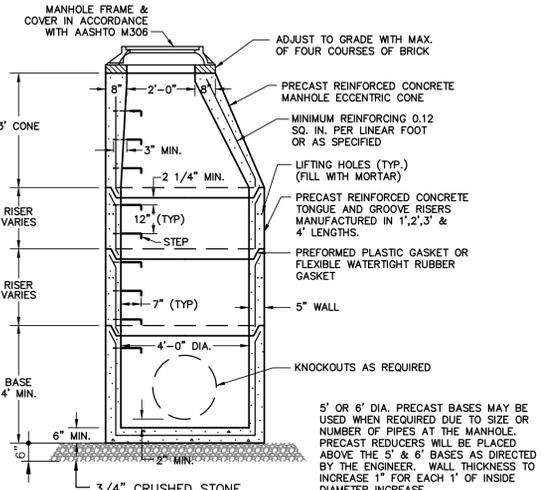
STORM SEWER TRENCH DETAIL (ON-SITE)
N.T.S.



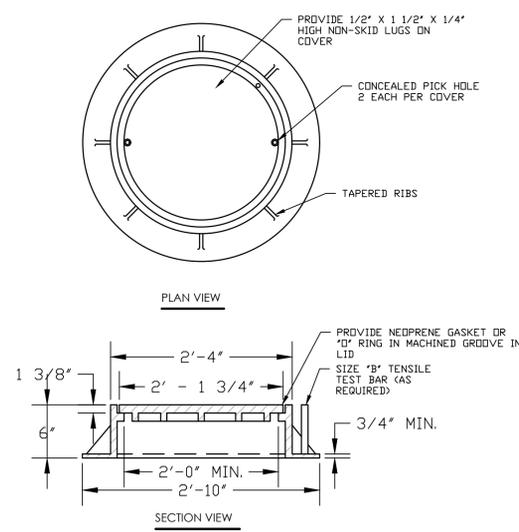
ELECTRICAL, TELECOMMUNICATION AND GAS TRENCH DETAIL
N.T.S. BLUD-001



SHALLOW STORM DRAIN MANHOLE
N.T.S. BLUD-001



TYPICAL MANHOLE
N.T.S.



STANDARD MANHOLE FRAME AND COVER
N.T.S.

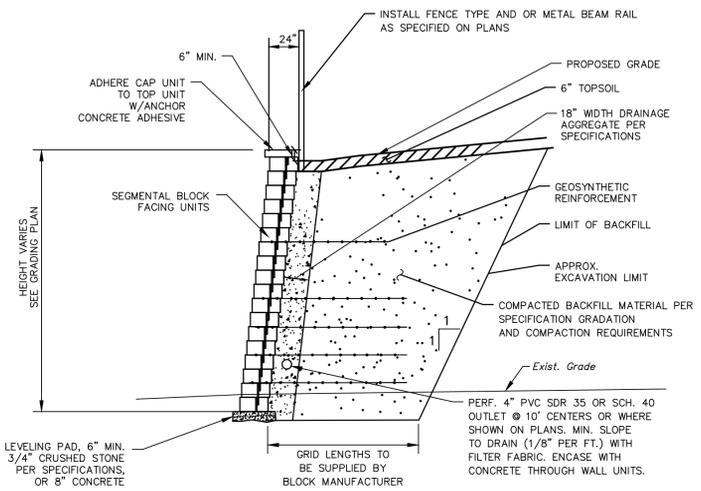
GENERAL NOTES

1. STRIP ALL VEGETATION AND ORGANIC SOIL FROM THE WALL AND GRID ALIGNMENT.
2. BENCH CUT ALL EXCAVATED SLOPES.
3. DO NOT OVER EXCAVATE UNLESS DIRECTED BY SITE SOIL ENGINEER TO REMOVE UNSUITABLE SOIL.
4. SITE SOIL ENGINEER SHALL VERIFY FOUNDATION SOILS AS BEING COMPETENT PER THE DESIGN STANDARDS AND PARAMETERS.
5. LEVELING PAD SHALL CONSIST OF MINIMUM 6" THICK, MINIMUM 2000 PSI CONCRETE, OR MINIMUM 6" OF 3/4" CRUSHED STONE.
6. MINIMUM EMBEDMENT OF WALL BELOW FINISH GRADE SHALL BE 24".
7. FOLLOW APPLICABLE PROVISIONS OF THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND WRITTEN SPECIFICATIONS.
8. WHERE DRAIN PIPE IS USED, PROVIDE OUTLETS AS SHOWN ON WALL ELEVATIONS.
9. COMPACTION TESTS SHALL BE TAKEN AS THE WALL IS INSTALLED. THE MINIMUM NUMBER OF TESTS SHALL BE DETERMINED BY THE SITE SOILS ENGINEER, OR AS INDICATED IN THE SPECIFICATION.
10. COMPACTION SHALL BE 95% OF MAXIMUM DRY DENSITY PER ASTM D1557.
11. GEORGRID SHALL BE PER BLOCK MANUFACTURER'S DESIGN ON SHOP DRAWINGS.
12. PULL GEORGRID TIGHT PRIOR TO BACK FILLING. LENGTH OF GEORGRID SHALL BE MEASURED FROM FRONT OF SEGMENTAL CONCRETE UNITS.
13. PROVIDE LATERAL DRAINAGE SWALES TO DIRECT FLOWS AROUND THE ENDS OF THE WALL.
14. ESTABLISH TURT AS SOON AS THE WALL IS COMPLETED.
15. FINAL WALL ALIGNMENT SHALL BE LOCATED IN THE FIELD.
16. REINFORCED BACK FILL REQUIREMENTS FOR THE SEGMENTAL CONCRETE RETAINING WALL SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:

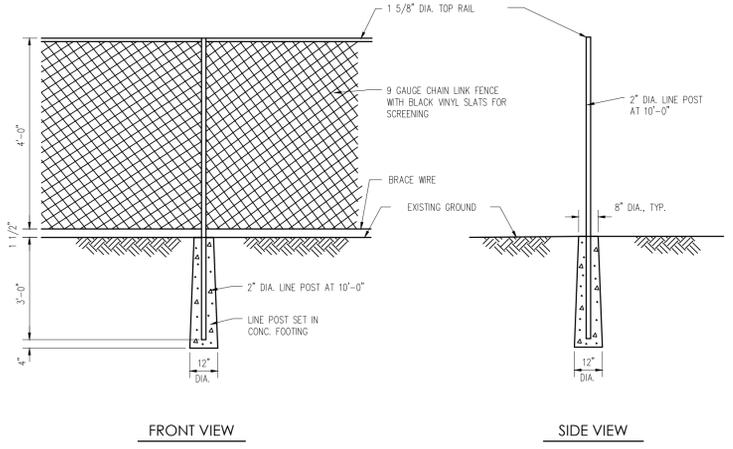
SIEVE SIZE	PERCENT PASSING REINFORCED BACK FILL
5 INCH	100
3-1/2 INCH	90-100
1-1/2 INCH	55-95
3/4 INCH	25-60
NO. 10	15-45
NO. 40	5-25
NO. 100	0-10
NO. 200	0-5

PLASTICITY INDEX (PI) LESS THAN OR EQUAL TO 10 AND A LIQUID LIMIT LESS THAN OR EQUAL TO 40. REINFORCED BACK FILL SHALL BE PLACED AND COMPACTION IN LIFTS NOT EXCEEDING 10 INCHES. REINFORCED BACK FILL SHALL BE COMPACTION TO 95 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY ASTM D1557. THE MOISTURE CONTENT OF THE BACK FILL MATERIAL PRIOR TO AND DURING COMPACTION SHALL BE WITHIN 2 PERCENTAGE POINTS OF DRY OPTIMUM.

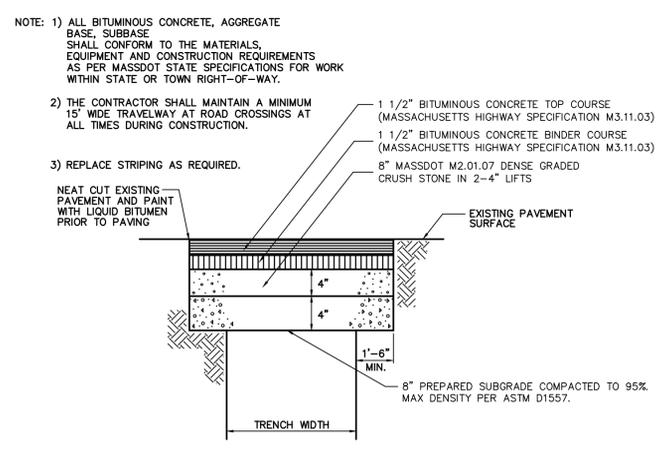
IF CONDITIONS ARE DIFFERENT THAN THOSE STATED IN THESE DRAWINGS AND SPECIFICATIONS, THE CONTRACTOR MUST CONTACT THE ENGINEER PRIOR TO PROCEEDING WITH THE CONSTRUCTION OF THE WALL.



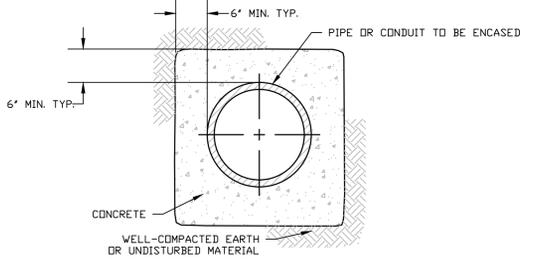
TYPICAL RETAINING WALL SECTION
N.T.S.



CHAIN LINK FENCE DETAIL
N.T.S.

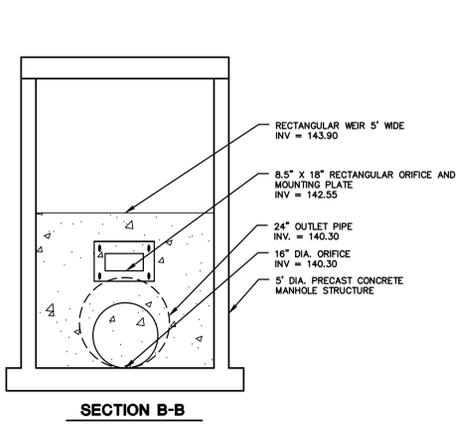
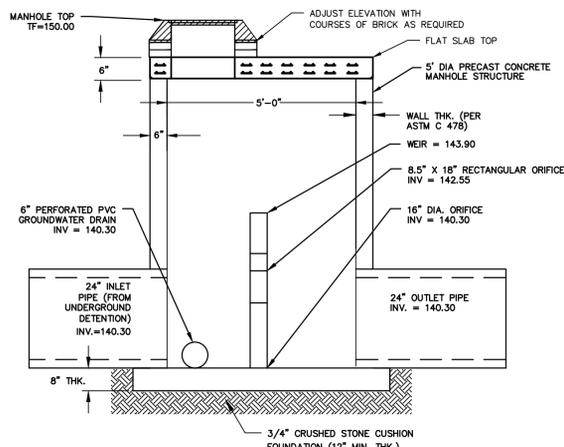


PAVEMENT REPAIR OVER TRENCH
N.T.S.



CONCRETE ENCASEMENT SECTION
N.T.S.

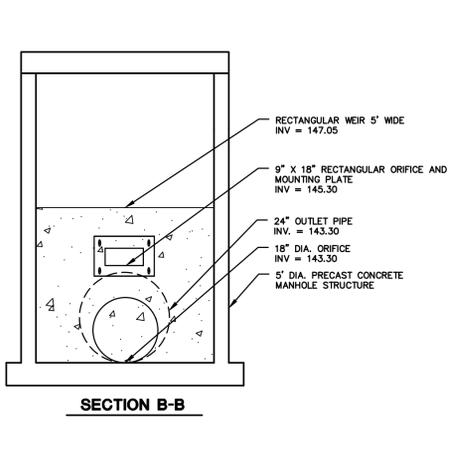
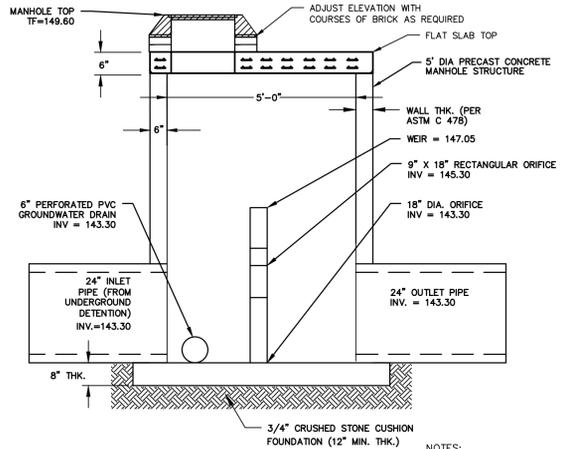
**FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION**



- NOTES:
- ORIFICE PLATE SHALL BE 3/8" ALUMINUM PLATE, PAINTED BLACK. PLATE TO HAVE 1"x3" ELONGATED HOLES FOR MOUNTING
 - CORE DRILL A HOLE INTO OUTLET STRUCTURE AND ADJUST THE ORIFICE PLATE AT THE SPECIFIED INVERT ELEVATION.
 - MOUNT ORIFICE PLATE TO OUTLET WITH 3/4" STAINLESS STEEL BOLTS AND WASHERS. ADJUST PLATE TO FINAL ELEVATIONS.
 - SUBMIT SHOP DRAWINGS OF OUTLET STRUCTURE TO OWNER FOR REVIEW & APPROVAL PRIOR TO CONSTRUCTION.
 - SEE GRADING AND DRAINAGE PLANS FOR OUTLET STRUCTURE LOCATION.

DETENTION BASIN 1D OUTLET CONTROL STRUCTURE (OCS-1D)

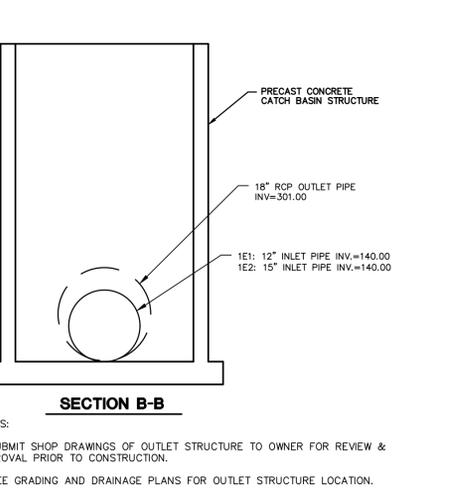
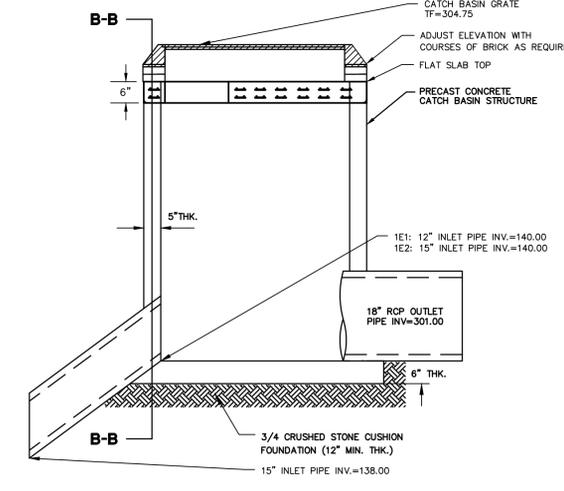
SCALE: N.T.S.



- NOTES:
- ORIFICE PLATE SHALL BE 3/8" ALUMINUM PLATE, PAINTED BLACK. PLATE TO HAVE 1"x3" ELONGATED HOLES FOR MOUNTING
 - CORE DRILL A HOLE INTO OUTLET STRUCTURE AND ADJUST THE ORIFICE PLATE AT THE SPECIFIED INVERT ELEVATION.
 - MOUNT ORIFICE PLATE TO OUTLET WITH 3/4" STAINLESS STEEL BOLTS AND WASHERS. ADJUST PLATE TO FINAL ELEVATIONS.
 - SUBMIT SHOP DRAWINGS OF OUTLET STRUCTURE TO OWNER FOR REVIEW & APPROVAL PRIOR TO CONSTRUCTION.
 - SEE GRADING AND DRAINAGE PLANS FOR OUTLET STRUCTURE LOCATION.

DETENTION BASIN 2A OUTLET CONTROL STRUCTURE (OCS-2A)

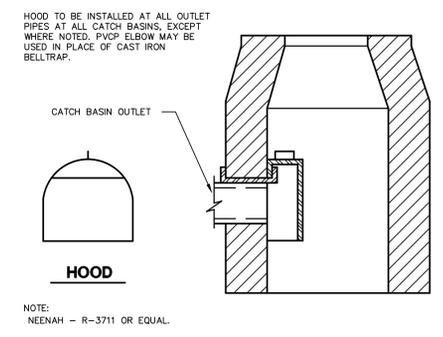
SCALE: N.T.S.



- NOTES:
- SUBMIT SHOP DRAWINGS OF OUTLET STRUCTURE TO OWNER FOR REVIEW & APPROVAL PRIOR TO CONSTRUCTION.
 - SEE GRADING AND DRAINAGE PLANS FOR OUTLET STRUCTURE LOCATION.

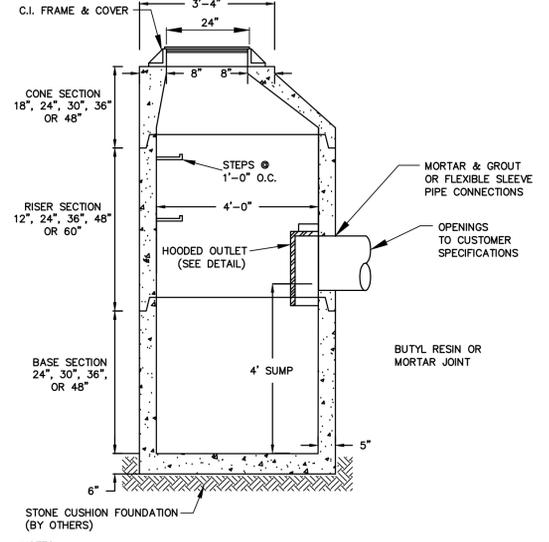
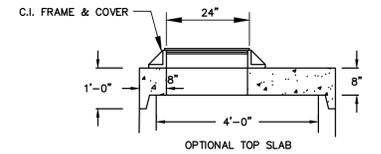
STORMWATER POND 1E OUTLET CONTROL STRUCTURES (OCS-1E1,1E2)

SCALE: N.T.S.



HOODED OUTLET

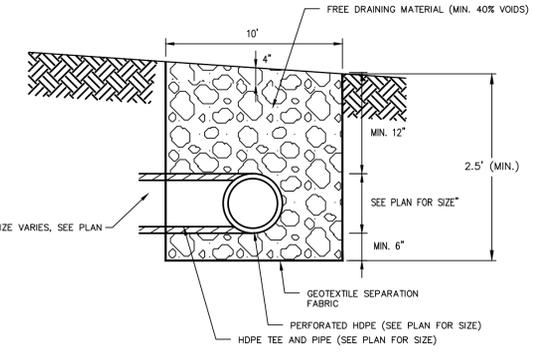
N.T.S.



- NOTES:
- GENERAL SPECIFICATIONS: A.S.T.M. C-478.
 - CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 - BUTYL RESIN JOINT TO CONFORM TO ASTM C990.
 - REINFORCED STEEL CONFORMS TO ASTM A185 SPEC. 0.12 SQ. IN./LINEAL FT. AND 0.12 SQ. IN. (BOTH WAYS) BASE BOTTOM.
 - DESIGN LOADING PER AASHTO HS-20, 1 TO 5 FEET OF COVER

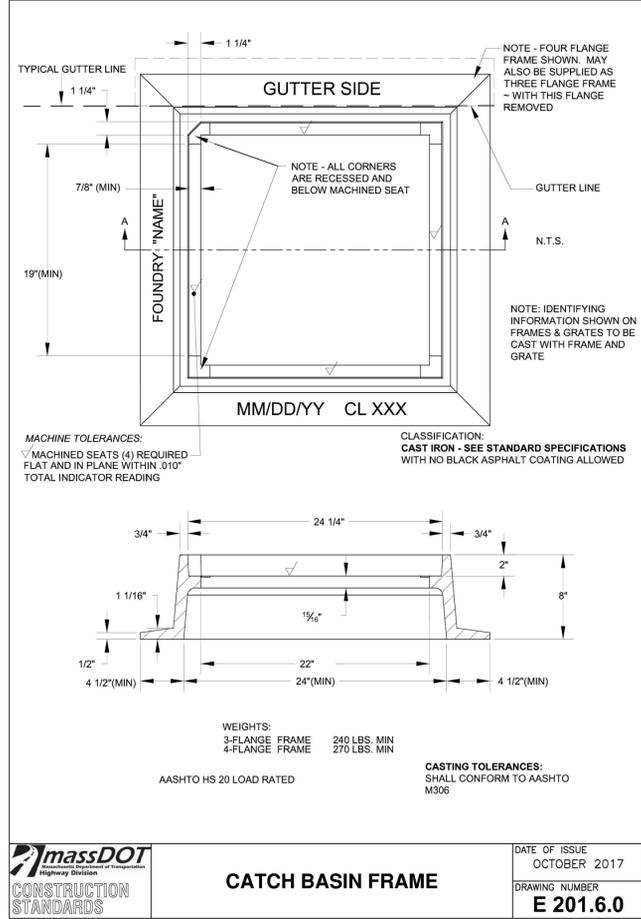
TYPICAL 48" DIA. CATCH BASIN

N.T.S.

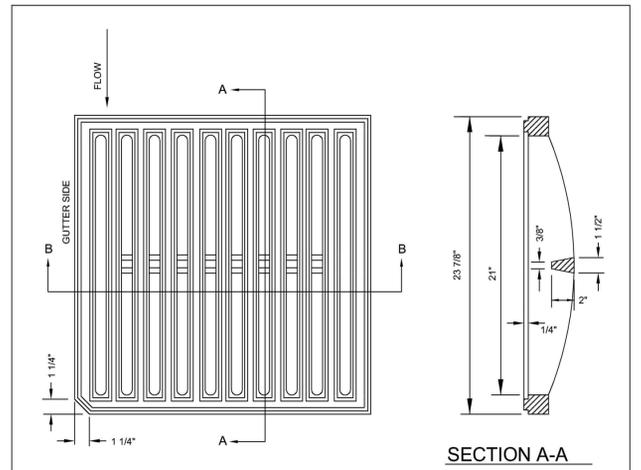


INFILTRATION TRENCH (LEVEL SPREADER) DETAIL

N.T.S.



CATCH BASIN FRAME



DROP INLET GRATE

DATE OF ISSUE OCTOBER 2017
DRAWING NUMBER E 201.11.0



REVISIONS

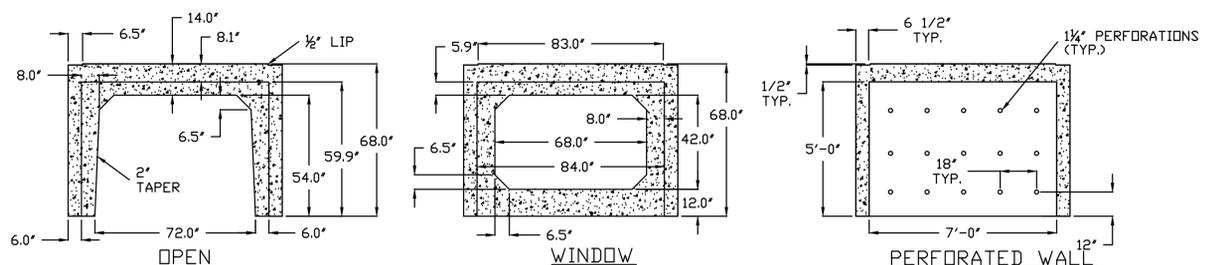
No.	Date	Revised per Staff and Commission Comments
1.	05/12/2020	Revised per Staff and Commission Comments
2.	06/01/2020	Revised per Staff and Commission Comments
4.	07/27/2020	Revised per Conservation Commission Comments

Designed A.T.K.
Drawn A.T.K.
Reviewed
Scale NONE
Project No. 1901517
Date 03/06/2020
CAD File: DN190151701

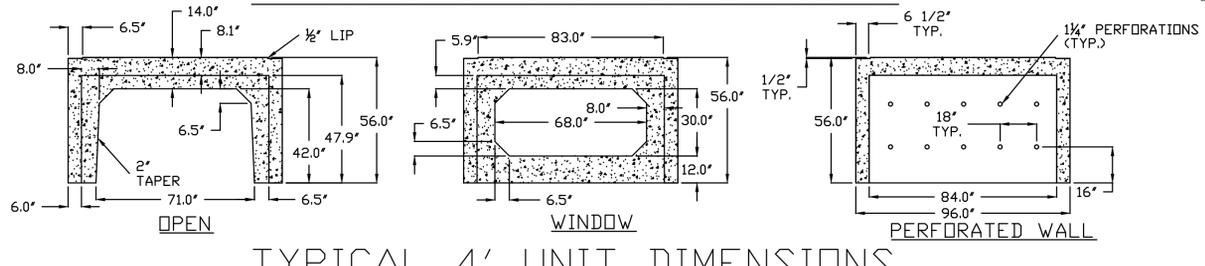
DETAIL SHEET

Sheet No.

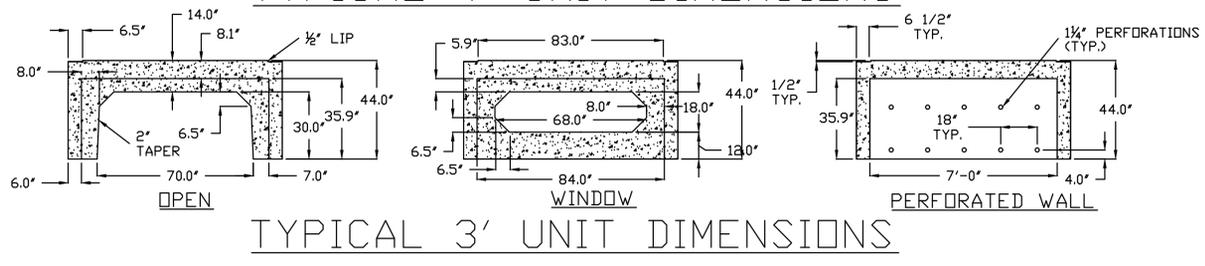
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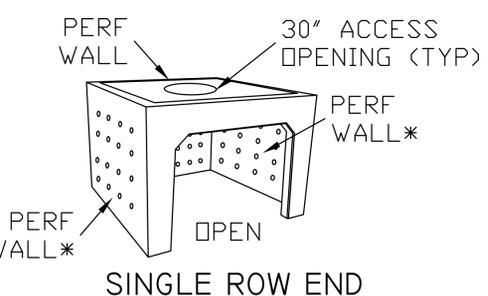
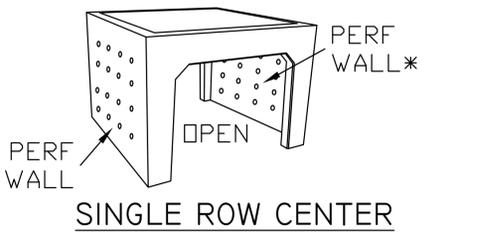
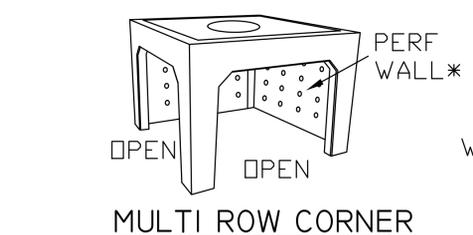
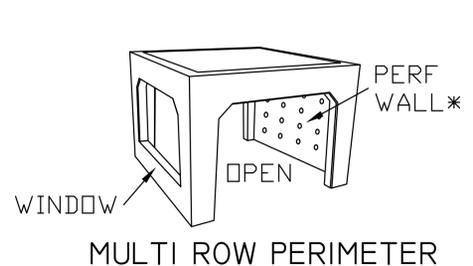
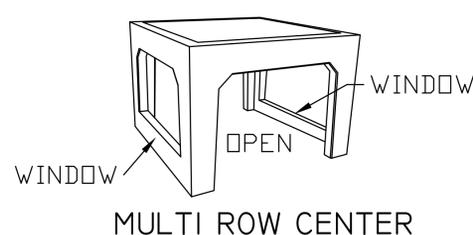
TYPICAL 5' UNIT DIMENSIONS



TYPICAL 4' UNIT DIMENSIONS

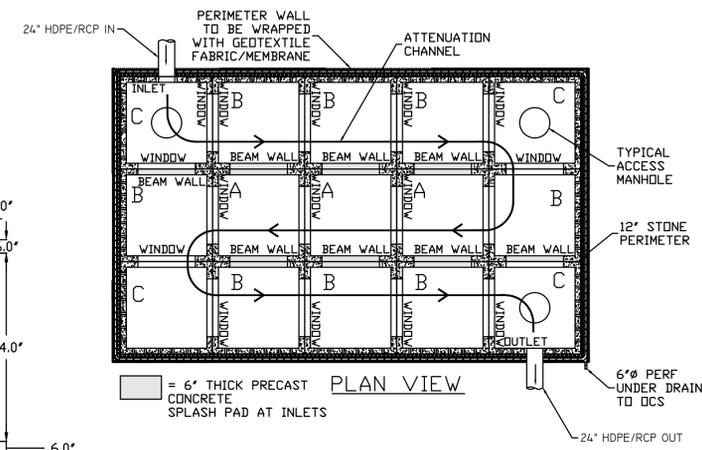
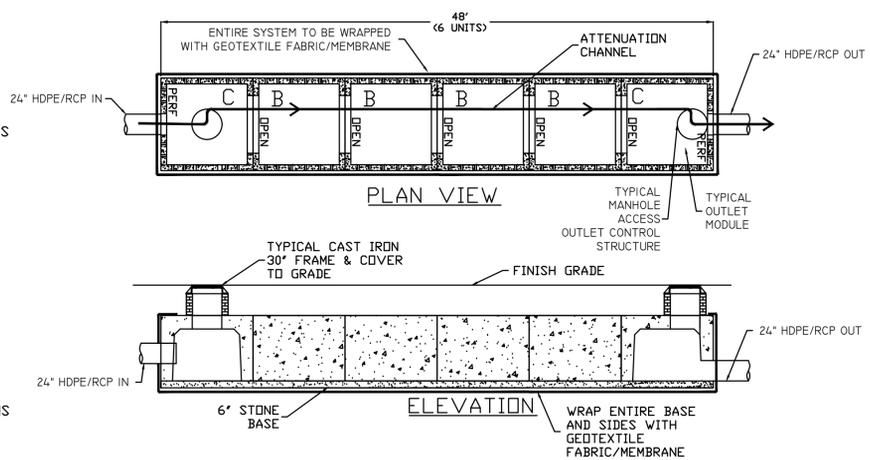


TYPICAL 3' UNIT DIMENSIONS

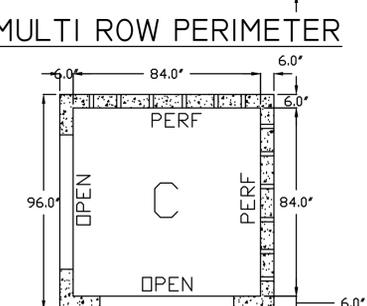
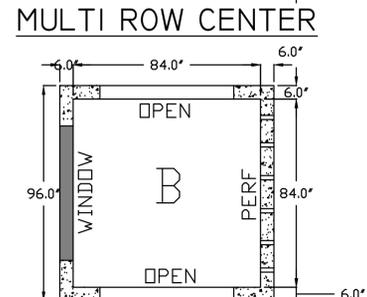
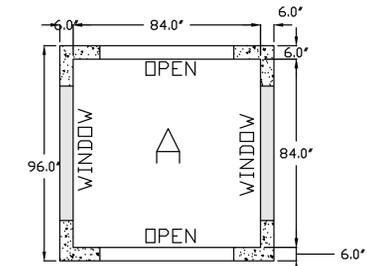


*IF DESIGNING FOR INFILTRATION

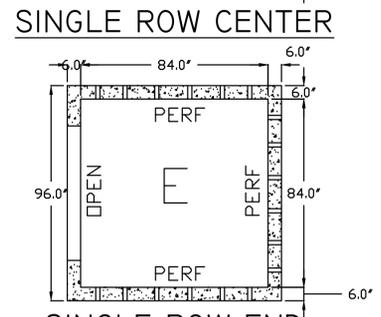
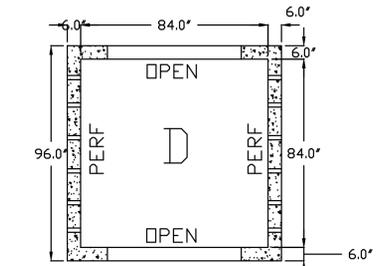
SYSTEM EXAMPLE:



- astm specifications:
1. CONCRETE - 5,000 PSI, 28 DAYS
 2. REINFORCING STEEL CONFORMS TO LATEST ASTM A615
 3. H-20 DESIGN LOADING PER AASHTO HS-20-44



MULTI ROW CORNER



SINGLE ROW END

SHEA CONCRETE PRODUCTS
New England's Premier Precaster
800-696-7432 (SHEA)
www.sheaconcrete.com
BILLING ADDRESS: 87 HAVERHILL RD, AMESBURY MA 01913

1000 GALLON SEPTIC TANK

PLAN VIEW

SECTION VIEW

SHEA

NOTES:

1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
2. CONSTRUCTION OF SEPTIC TANK CONFORMS WITH DEP TITLE 5 REGS, 310 CMR, SECTION 15.226.
3. ALL REINFORCEMENT PER ASTM C1227.
4. TEES AND GAS Baffle SOLD SEPARATELY.
5. TONGUE & GROOVE JOINT SEALED WITH BUTYL RESIN.
6. IF COVER EXCEEDS 4 FEET, HEAVY DUTY TANK REQUIRED. ALSO AVAILABLE IN AASHTO HS-20 LOADING.

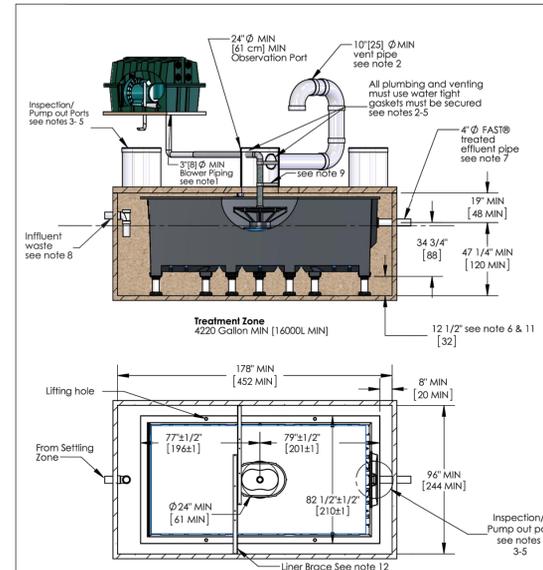
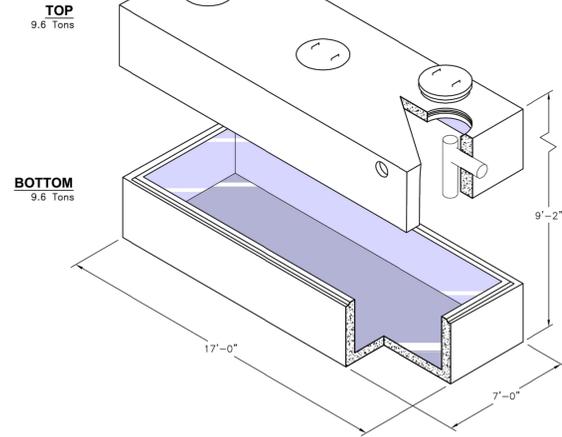
SHEA PRODUCT ID: 1000/1000H	PREPARED FOR:	FILE NAME: tk1000.dwg
WEIGHT (LBS): 8,765#/9,785#	DRAWN BY: ARO	DATE: 06/01/18
773 Salem Street-Wilmington, MA 153 Cranberry Hwy-Rochester, MA 87 Haverhill Road-Amesbury, MA 160 Old Turnpike Rd-Nottingham, NH		

Specifications subject to change without notice

1,000 GALLON PRECAST CONCRETE TANK (OR APPROVED EQUAL)

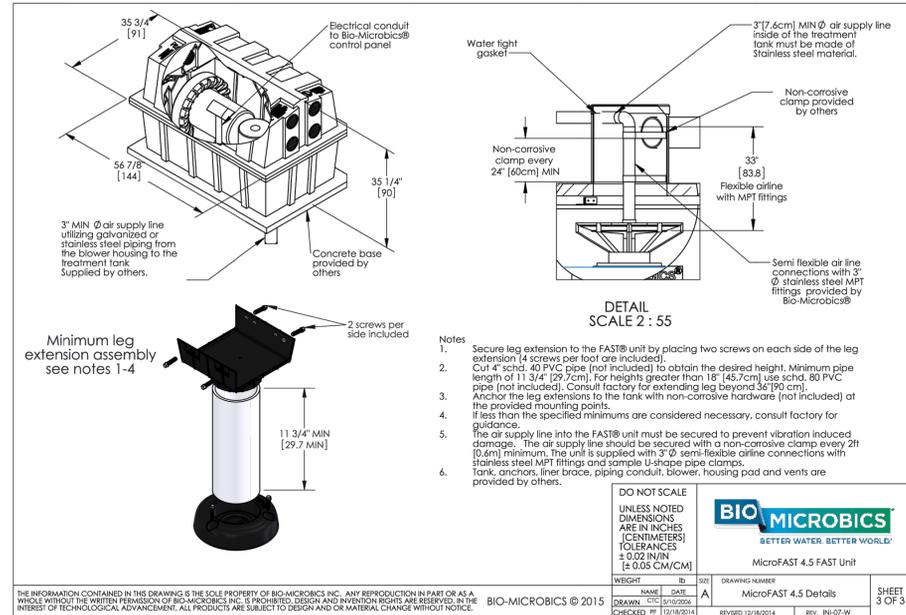
N.T.S.

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NOT RELEASED FOR CONSTRUCTION



- NOTES**
- Airline piping to FAST® may not exceed 100 FT [30m] total length and have a maximum of 4 elbows in the piping system. For distances greater than 100 FT [30m] consult factory. Blower must be located above flood levels on a concrete base 57" X 36" X 2.5" [150 X 90 X 7cm] minimum.
 - Vent to desired location and cover opening with a vent grate with at least 20 sq in [125 sq cm] open surface area. Secure with stainless steel screws. Vent piping must not allow condensate build up or create back pressure. Vent must be above finished grade or higher (see sheet 3 of 3).
 - All appurtenances to FAST® (e.g. tanks, access ports, electrical, etc.) must conform to all applicable country, state, province, and local plumbing and electrical codes. Pump out access shall be adequate to thoroughly clean out both zones.
 - All inspection, viewing and pump out ports must be secured to prevent accidental or unauthorized access.
 - Tank, piping, conduit, etc. are provided by others. Blower control system by Bio-Microbics, Inc. See Installation Manual.
 - If less than the specified minimums are considered necessary, consult factory for guidance.
 - All piping and ancillary equipment installed after FAST must not impede or restrict free flow of effluent.
 - The tank(s) shall be designed to prevent air passage between the settling zone/tank and the treatment zone and preventing on air lock. Examples include a baffle wall sealed to the lid or treatment zone inlet line with a pipe cap. Consult factory for guidance.
 - The air supply line into the FAST® unit must be secured to prevent vibration induced damage. The air supply line should be secured with a non-corrosive clamp every 2 min [60 cm]. See alternate air supply option on sheet 3 of 3.
 - Specialized treatment levels may require specific features to be incorporated into the design. Consult factory for guidance.
 - Refer to sheet 3 of 3 for leg extensions requirements.
 - Secure provided support braces to prevent movement.

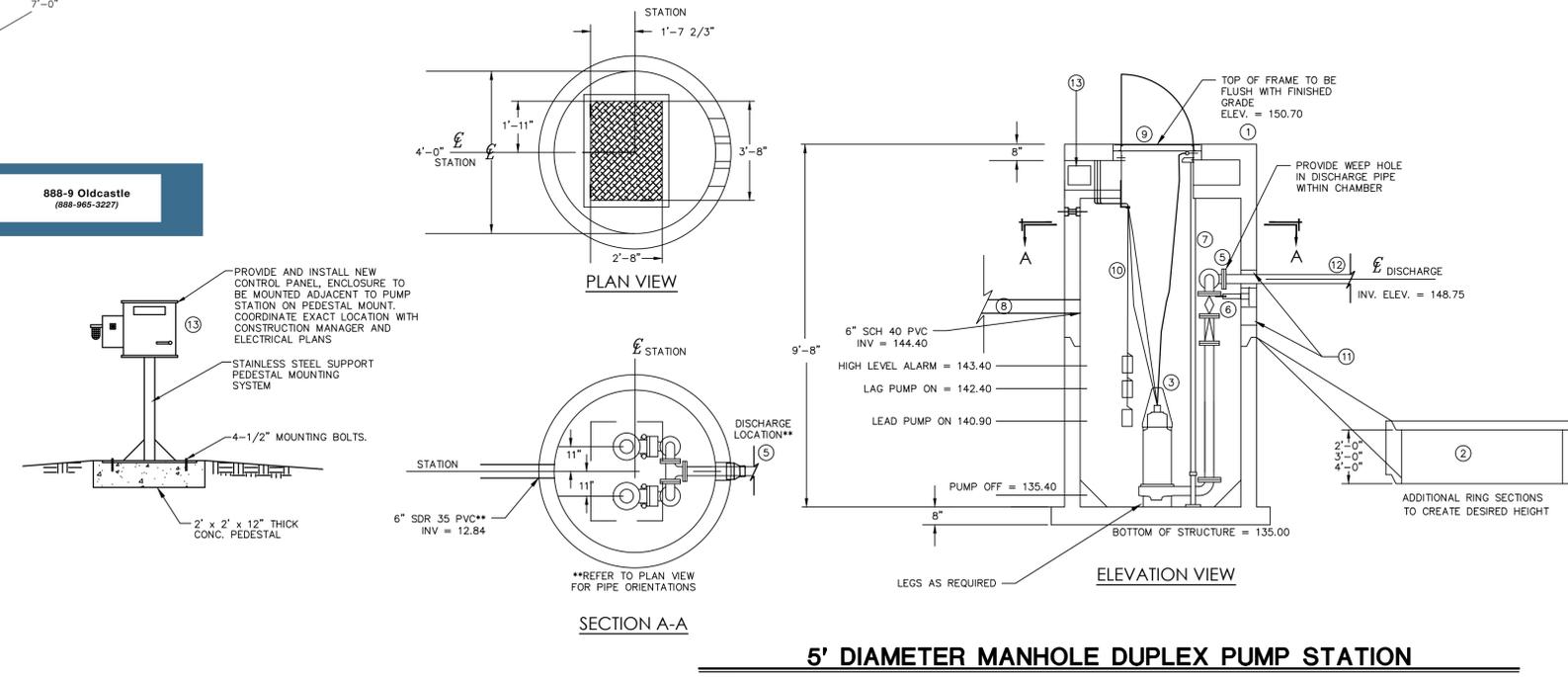
DO NOT SCALE		BIO MICROBICS	
UNLESS NOTED DIMENSIONS ARE IN INCHES (CENTIMETERS)		BETTER WATER. BETTER WORLD.™	
TOLERANCES ± 0.02 MIN [± 0.05 CM/CM]		MicroFAST 4.5 FAST Unit	
WEIGHT	15	DATE	12/18/2014
REV	1	REV	12/18/2014
DRAWN: CJC/10/09/04		CHECKED: JF/10/18/2014	
DRAWING NUMBER: MicroFAST 4.5 with feet		SHEET 1 OF 3	



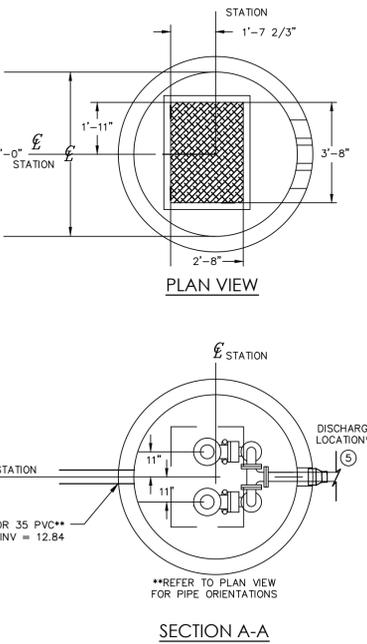
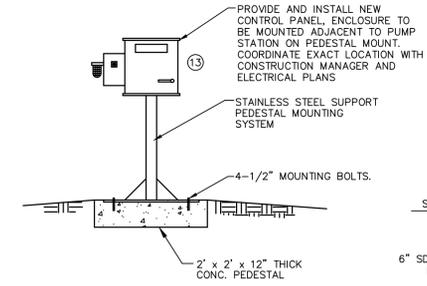
- DETAIL SCALE 2 : 55**
- Notes**
- Secure leg extension to the FAST® unit by placing two screws on each side of the leg extension (4 screws per foot are included).
 - Cut 4" sch. 40 PVC pipe (not included) to obtain the desired height. Minimum pipe length of 11 3/4" [29.7cm]. For heights greater than 18" [45.7cm] use sch. 80 PVC pipe (not included). Consult factory for extending leg beyond 36" [90 cm].
 - Anchor the leg extensions to the tank with non-corrosive hardware (not included) at the provided mounting points.
 - If less than the specified minimums are considered necessary, consult factory for guidance.
 - The air supply line into the FAST® unit must be secured to prevent vibration induced damage. The air supply line should be secured with a non-corrosive clamp every 2ft [0.6m] minimum. The unit is supplied with 3" Ø semi-flexible airline connections with stainless steel MPT fittings and sample U-shape pipe clamps.
 - Tank, anchors, liner brace, piping conduit, blower, housing pad and vents are provided by others.

DO NOT SCALE		BIO MICROBICS	
UNLESS NOTED DIMENSIONS ARE IN INCHES (CENTIMETERS)		BETTER WATER. BETTER WORLD.™	
TOLERANCES ± 0.02 MIN [± 0.05 CM/CM]		MicroFAST 4.5 FAST Unit	
WEIGHT	15	DATE	12/18/2014
REV	1	REV	12/18/2014
DRAWN: CJC/10/09/04		CHECKED: JF/10/18/2014	
DRAWING NUMBER: MicroFAST 4.5 Details		SHEET 3 OF 3	

New England Region
For more information about our products please visit us on the web at: oldcastleprecast.com/newengland
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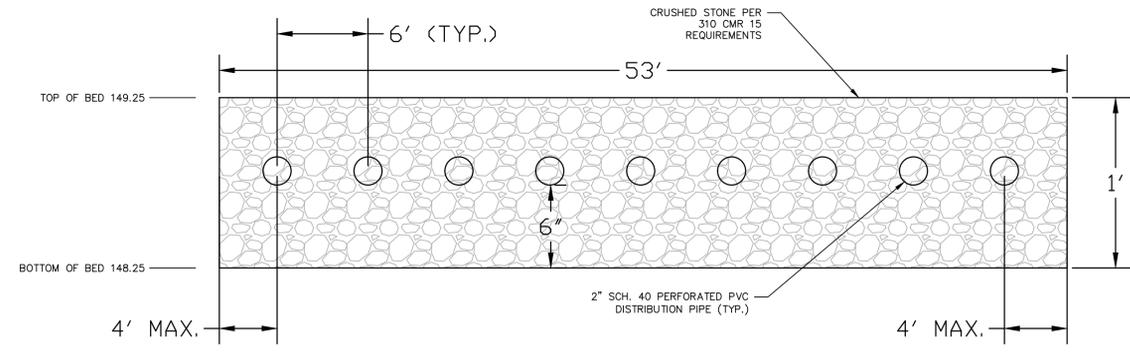


- LEGEND**
- 5' DIA. PRECAST PUMP STATION STRUCTURE.
 - 5' DIA. PRECAST PUMP STATION SHIMS, FINAL HEIGHT TBD.
 - DUAL ALTERNATING PUMP. DESIGNED TO DOSE 8 TIMES PER DAY. CONFIRM MODEL WITH ENGINEER PRIOR TO INSTALLATION.
 - A CONTROL PANEL SHALL BE SUPPLIED FOR MOUNTING AT THE PUMP SITE AND REMOTE FROM THE BASIN AS REQUIRED. SHOP DRAWINGS AND SPECIFICATIONS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO ORDERING EQUIPMENT.
 - 1 1/2" PVC SCH 80 DISCHARGE PIPING WITH PVC SCH 80 FITTINGS AND 1 1/2" GATE VALVE.
 - 1 1/2" DUPLEX DISCHARGE KIT SUPPLIED BY HOMA AND 2" SCH. 40 PVC CHECK VALVE.
 - STAINLESS STEEL PUMP REMOVAL GUIDE RAILS AS SUPPLIED BY CENTRIPRO.
 - 6" INLET PIPE.
 - 2'-8" X 3'-8" ALUMINUM PUMP ACCESS HATCH. QUALIFIED FOR H2O LOADING.
 - ADJUSTABLE POLYPROPYLENE LEVEL CONTROL FLOAT SWITCHES.
 - LINK SEAL (FOR EACH PIPE LEAVING OR ENTERING MANHOLE AND VALVE VAULT).
 - 1 1/2" SDR 9 PIPING.
- **EDGE OF INLET PIPE CAN BE NO CLOSER THAN 8" FROM A STRUCTURAL JOINT
- ⑬ CONTROL BOX. FINAL DESIGN TBD. CONFIRM MODEL WITH ENGINEER PRIOR TO INSTALLATION.



5' DIAMETER MANHOLE DUPLEX PUMP STATION

N.T.S.



LEACHING BED CONFIGURATION

N.T.S.

**FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION**

REVISIONS	DESCRIPTION	DATE	NO

Designed: Designer
Drawn: Author
Reviewed: Approver
Scale: As Indicated
Project No. 1901517
Date: 05/04/2020

Title: OVERALL FLOOR PLAN

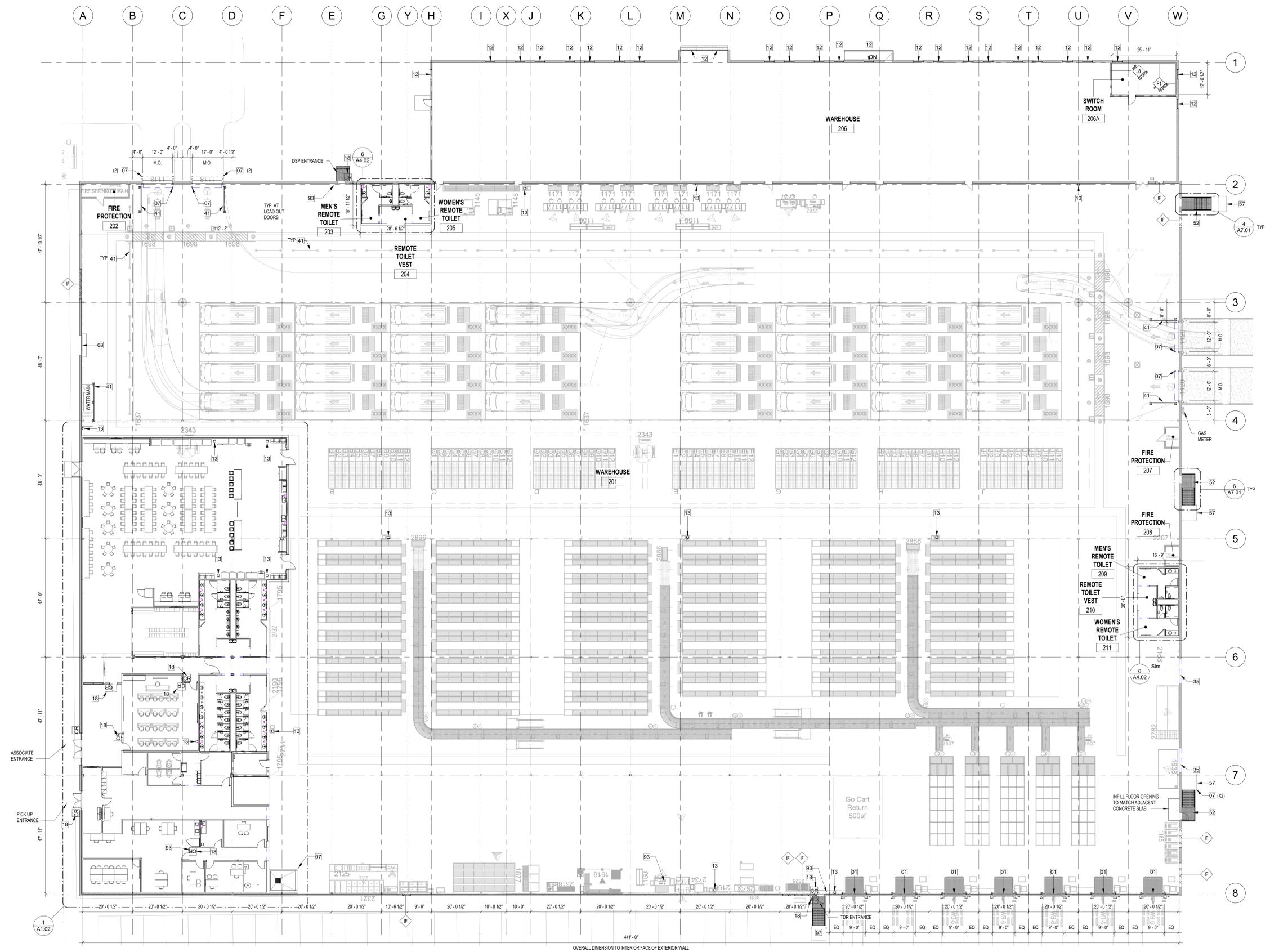
Sheet No.

A1.01

LEGEND	
	EXISTING WALLS TO REMAIN
	NEW WALL
	EXISTING DOOR TO REMAIN
	NEW DOOR
	WALL TYPE WALLS WITH NO TAG TO BE INFILLED TO MATCH EXISTING CONSTRUCTION
	INFILL WALL TO MATCH EXISTING

KEYNOTES	
#	DESCRIPTION
01	NEW OVERHEAD DOOR WITH DOCK EQUIPMENT PACKAGE. SEE DOOR SCHEDULE.
07	6" DIA. STEEL BOLLARD. PAINT SAFETY YELLOW (P-9). SEE DETAIL 5A9.01
08	INACTIVE DOCK DOOR. REFERENCE INACTIVE DOCK DOOR DETAILS ON A6.02
12	SECURITY WINDOW FILM (WF-1). PROVIDE AT ALL WINDOWS AND DOORS EXPOSED IN WAREHOUSE FROM FINISHED FLOOR TO 12'-0" A.F. SEE MATERIAL FINISH KEY ON A10.01 FOR MORE INFO.
13	WATER COOLERS PROVIDED AND INSTALLED BY TENANT. FINAL NUMBER AND LOCATIONS TO BE DETERMINED. SEE PLUMBING AND ELECTRICAL DRAWINGS.
18	CARD READERS BY TENANT'S SECURITY CONTRACTOR. G.C. TO PROVIDE CONDUITS AND PULL STRINGS WITHIN PARTITIONS.
35	NEW MECHANICAL LOUVERS. SEE MECHANICAL DRAWINGS FOR MORE INFO.
41	PREFAB GUARDRAIL. LOCATION SHOWN SCHEMATICALLY. FINAL LOCATION TO BE COORDINATED WITH TENANT. SEE A4A.01
52	INSTALL NEW STAIR, RAILING AND BOLLARDS.
93	AI PHONE LOCATION.

- CONSTRUCTION GENERAL NOTES:**
- FIELD VERIFY ALL DIMENSIONS AND ADVISE ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK OR PROCUREMENT OF DIMENSION SENSITIVE PRODUCTS.
 - DIMENSIONS ARE TO THE FACE OF STUDS, UNLESS OTHERWISE NOTED.
 - GYPSUM WALLBOARD
 - WORK SHALL COMPLY WITH ASTM C840 STANDARD SPECIFICATIONS FOR APPLICATION AND FINISHING OF GYPSUM BOARD.
 - GYPSUM WALLBOARD TO RECEIVE LEVEL 4 FINISHES PER ASTM C840. SURFACE SHALL BE SMOOTH AND READY TO RECEIVE FINISH MATERIAL. PROVIDE MOISTURE RESISTANT GWB IN RESTROOM WET WALLS AND AT SINK COUNTERS.
 - GYPSUM WALLBOARD NOT TO RECEIVE FINISHES SHALL BE FINISHED TO LEVEL 2 FINISH PER ASTM C840.
 - WATER RESISTANT GYPSUM TO BE 5/8" GENS ARMOR PLUS OR EQUAL COMPLYING WITH ASTM C1178, C1288 OR C1285. PROVIDE AT PARTITIONS ADJACENT TO PLUMBING FIXTURES.
 - ALL GYPSUM WALLBOARD IS TO BE 5/8" THICK UNLESS NOTED OTHERWISE. PROVIDE TYPE "X" GYPSUM WALLBOARD AT ALL FIRE RATED PARTITIONS.
 - WHERE NEW PARTITIONS ARE ALIGNED WITH EXISTING, ALIGN FROM FINISH FACE OF BOTH. IF PARTITIONS ARE TO ATTACH, MAKE TRANSITION SMOOTH UNIFORM SURFACE.
 - UNIFORM LOAD AT PARTITIONS IS 5 PSF WITH ALLOWABLE DEFLECTION OF L/240 UNLESS SHELING AND EQUIPMENT IS PROPOSED FOR ATTACHMENT.
 - ALL PARTITIONS TO BE BUILT TO DECK SHALL ENCOMPASS ANY STRUCTURE SUCH AS JOISTS AND BEAMS THAT MAY NEED TO BE FRAMED OUT TO PROVIDE DRYWALL TO DECK. ALL PENETRATIONS AND FLUTES IN DECK SHALL BE SEALED AS REQUIRED.
 - PROVIDE BRACING PER MANUFACTURER RECOMMENDATIONS OF ALL PARTITIONS THAT DO NOT EXTENDED FULL HEIGHT TO UNDERSIDE OF STRUCTURE ABOVE. PROVIDE GALVANIZED STEEL SHEET DEEP LEG DEFLECTION TRACK (20 GA.) SLP-TRX BY SLP TRACK SYSTEMS, INC. SECURE TO STRUCTURE WITH FASTENERS AT 2'-0" O.C. MAXIMUM. DO NOT SECURE TRACK TO VERTICAL STUDS. PROVIDE MINIMUM 2" TO TOP OF STUD.
 - ALL BOTTOM TRACK RUNNERS TO BE HELD IN PLACE WITH FASTENERS AT 2'-0" O.C. MAX. WITH HLT1 POWDER DRIVEN ANCHORS #288, 0.145" DIA. SHANK WITH 1.18" MIN. PENETRATION.
 - PROVIDE HORIZONTAL BRACING IN ALL PENETRATION FRAMING AT MAXIMUM OF 8'-0" VERTICALLY, UNLESS OTHERWISE NOTED.
 - METAL STUD NON-STRUCTURAL WALL SYSTEMS TO FOLLOW C754 AND ASTM B66.
 - FIRE STOPPING REQUIREMENTS: ALL PENETRATIONS WITHIN OR THROUGH RATED ASSEMBLIES SHALL BE TIGHTLY SEALED USING APPROVED LISTED MATERIAL & SYSTEMS COMPLYING WITH ASTM E 814 OR UL-1479 (AS PER CODE). SEALANT MEETING THESE REQUIREMENTS TO BE FLAME STOP OR APPROVED EQUAL.
 - PROVIDE COMPRESSIBLE FIRE STOPPING MATERIAL AT CEILING LEVEL OF ALL PARTITIONS IN WHICH THE GYP. BD. DOES NOT EXTEND TO DECK. HOLD FIRE STOPPING IN PLACE WITH 1" WIDE (25GA.) 1 1/2" x 1 1/2" IMPLING ANGLE ON EACH STUD TO SECURE EACH END OF MATERIAL.
 - PROVIDE ACOUSTICAL SEALANT AT THE CONNECTION OF ALL GYP. BD. TO DECK OR SLAB CONDITIONS. HOLD GYP. BD. 3/8" OFF STRUCTURE FOR SEALANT. PROVIDE J-BEAD AT ALL SEALED EDGES PER 715 & 715.3 OF B.C. ALL CONCEALED AND EXPOSED INSULATION SHALL HAVE A CLASS A FLAME SPREAD AND SMOKE DEVELOPMENT INDEX PER ASTM E 84.
 - INSULATING MATERIALS WHEN INSTALLED IN BUILDINGS OF ANY TYPE CONSTRUCTION SHALL COMPLY WITH LOCAL JURISDICTION CODE.
 - ALL PLYWOOD & BLOCKING TO BE FIRE RETARDANT TREATED.
 - PROVIDE CONTROL JOINTS IN ALL WALLS EXCEEDING 30' IN LENGTH AND HEIGHT AND EVERY 30' THEREAFTER. USE 48963.
 - ALL SLABS TO BE STRIPPED AND PREPARED FOR SEALING AND TENANT FLOOR STRIPING. REPAIR ALL CONTROL JOINTS AS REQUIRED.
 - ALL DOORS SHALL BE LOCKED WITH HINGE SIDE OF FRAME 4" OFF FINISHED WALL, AT CORNER CONDITION, UNLESS OTHERWISE NOTED.
 - 5% BUT NOT LESS THAN 1% OF SEATING AND STANDING SURFACES AT DINING SURFACES SHALL BE ACCESSIBLE.
 - ZIP WALLS TO BE INSTALLED FOR PROTECTION DURING TIME OF CONSTRUCTION.



1 OVERALL FLOOR PLAN
1/16" = 1'-0"

