

GARY AND PAULA
CENTURELLI
7 LECLAIR DRIVE
MAP 156 PARCEL 27

ALLEN E. AND SANDRA MCKENNA
6 LECLAIR DRIVE
MAP 156 PARCEL 94

STACY ROTONDO
4 LECLAIR DRIVE
MAP 156 PARCEL 95

LORELEI A. AND ALBERT A. NOLBANDIAN
207 CUSHING STREET
MAP 156 PARCEL 10

MAP 156 PARCEL 9
RONALD AND ALAINE GOMEZ
211 CUSHING STREET

LOT 1
149,519 SF
3.43 AC

MAP 156 PARCEL 9B
SHEPARD INVESTMENTS, LLC
213 CUSHING STREET

LOT 2
139,623 SF
3.21 AC

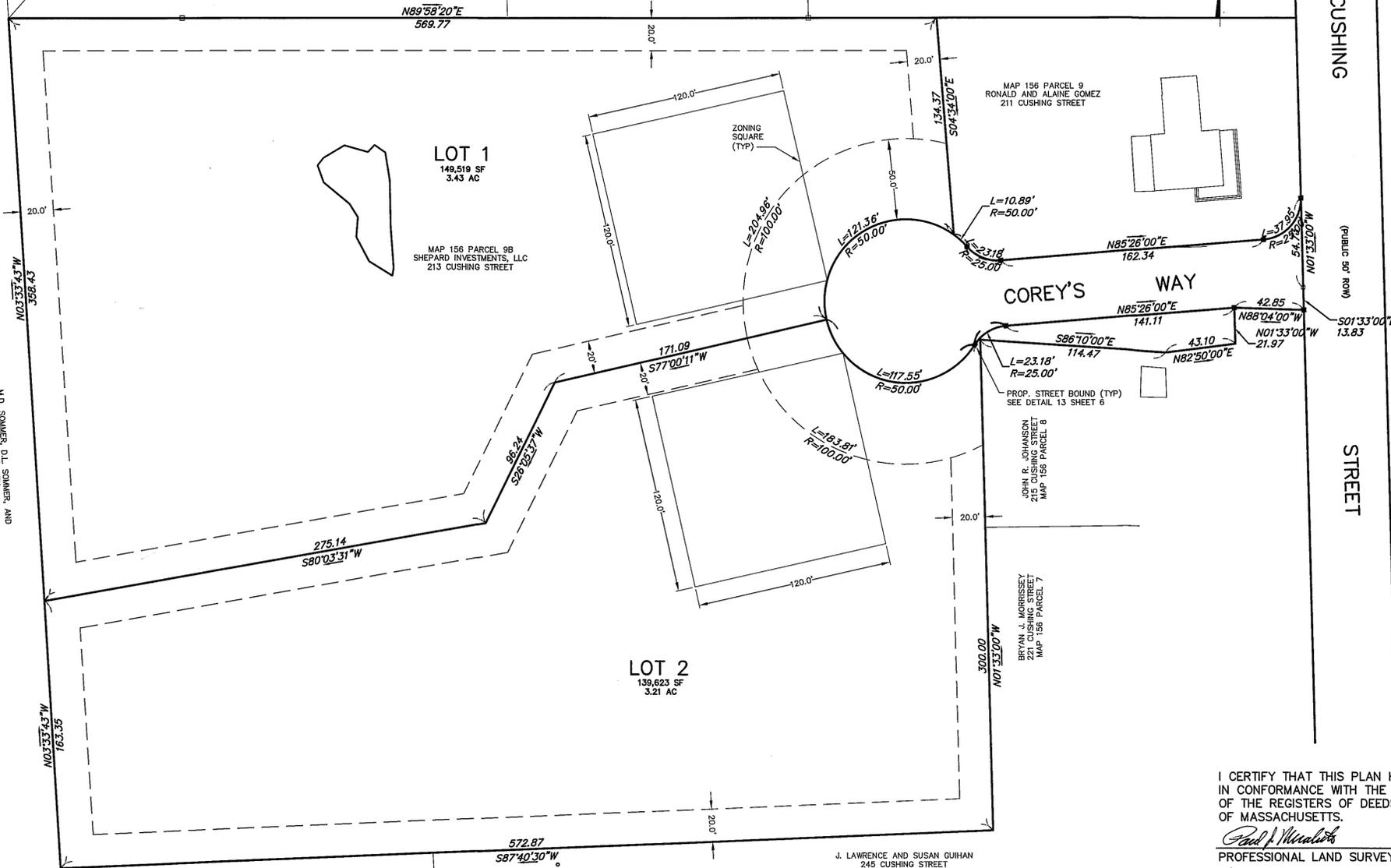
M.D. SOMMER, D.L. SOMMER, AND
C.L.S. O'BRIEN
29 PLYMOUTH RIVER ROAD
MAP 156 PARCEL 19

TOWN OF HINGHAM
MAP 156 PARCEL 89

J. LAWRENCE AND SUSAN GUIHAN
245 CUSHING STREET
MAP 156 PARCEL 5

BRYAN J. MORRISSEY
215 CUSHING STREET
MAP 156 PARCEL 7

JOHN R. JOHANSON
215 CUSHING STREET
MAP 156 PARCEL 6



CUSHING STREET

SEPTIC DESIGN PERMITS ARE
REQUIRED FOR ALL DWELLINGS
PROPOSED IN THIS SUBDIVISION

DATE SUBMITTED: _____
DATE APPROVED: _____
DATE ENDORSED: _____

HINGHAM BOARD OF HEALTH

FOR REGISTRY USE ONLY

APPROVAL UNDER SUBDIVISION
CONTROL LAW IS REQUIRED

DATE SUBMITTED: _____
DATE APPROVED: _____
DATE ENDORSED: _____

HINGHAM PLANNING BOARD

| NO. | DATE | DESCRIPTION | BY |
|-----|---------|-------------------------------|-----|
| 2 | 4-27-20 | RESP TO COMMENT LTR 4/6/20 | GJT |
| 1 | 3-24-20 | MOVE GRADING OUT OF 100' BUF. | GJT |

OWNER
JACQUELINE B. MURRAY AND
KENNETH J. MURRAY, TRUSTEES
192 NEPONSET STREET
CANTON, MA 02021

APPLICANT
SHEPARD INVESTMENTS, LLC
c/o ROBERT SHEPARD
37 DERBY STREET, SUITE ONE
HINGHAM, MA 02043

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED
IN CONFORMANCE WITH THE RULES AND REGULATIONS
OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH
OF MASSACHUSETTS.

Paul J. Moras
PROFESSIONAL LAND SURVEYOR 9-11-20 DATE



APPROVED _____, SUBJECT TO COVENANT
CONDITIONS SET FORTH IN A COVENANT EXECUTED BY
SHEPARD INVESTMENTS, LLC, DATED _____
AND RECORDED HERewith IN THE PLYMOUTH COUNTY
REGISTRY OF DEEDS.

I, EILEEN McCracken, CLERK OF THE TOWN OF
HINGHAM, HEREBY CERTIFY THAT THE NOTICE OF
APPROVAL OF THIS PLAN BY THE PLANNING BOARD
HAS BEEN RECEIVED AND RECORDED AT THIS
OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED
DURING THE TWENTY DAYS NEXT FOLLOWING SUCH
RECEIPT AND RECORDING OF SAID NOTICE.

DATE _____ TOWN CLERK _____

NOTES:

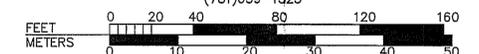
- FY SETBACK=50'
- SY SETBACK=20'
- RY SETBACK=20'
- FRONTAGE=150' (AT FY SETBACK FOR ROW W/RAD.<200')
- 1. ZONING CLASSIFICATION - RESIDENCE C
- 2. THE FLOOD PLAIN AND WATERSHED PROTECTION DISTRICT IS DETERMINED BY THE 57' CONTOUR LINE (MSL).
- 3. A PORTION OF THE LOCUS LIES IN THE ACCORD POND WATERSHED AND HINGHAM AQUIFER PROTECTION DISTRICT.
- 4. THE LOCUS LIES IN ZONE X AS SHOWN ON FIRM MAP COMMUNITY PANEL #250268 0084 J, DATED JULY 17, 2012.
- 5. PLAN REFERENCES:
A) PLAN #473 OF 1965
- 6. LOCUS DEED:
BOOK 40356 PAGE 198 RECORDED SEPTEMBER 26, 2011
ASSESSORS REFER: MAP 156 PARCEL 9B.

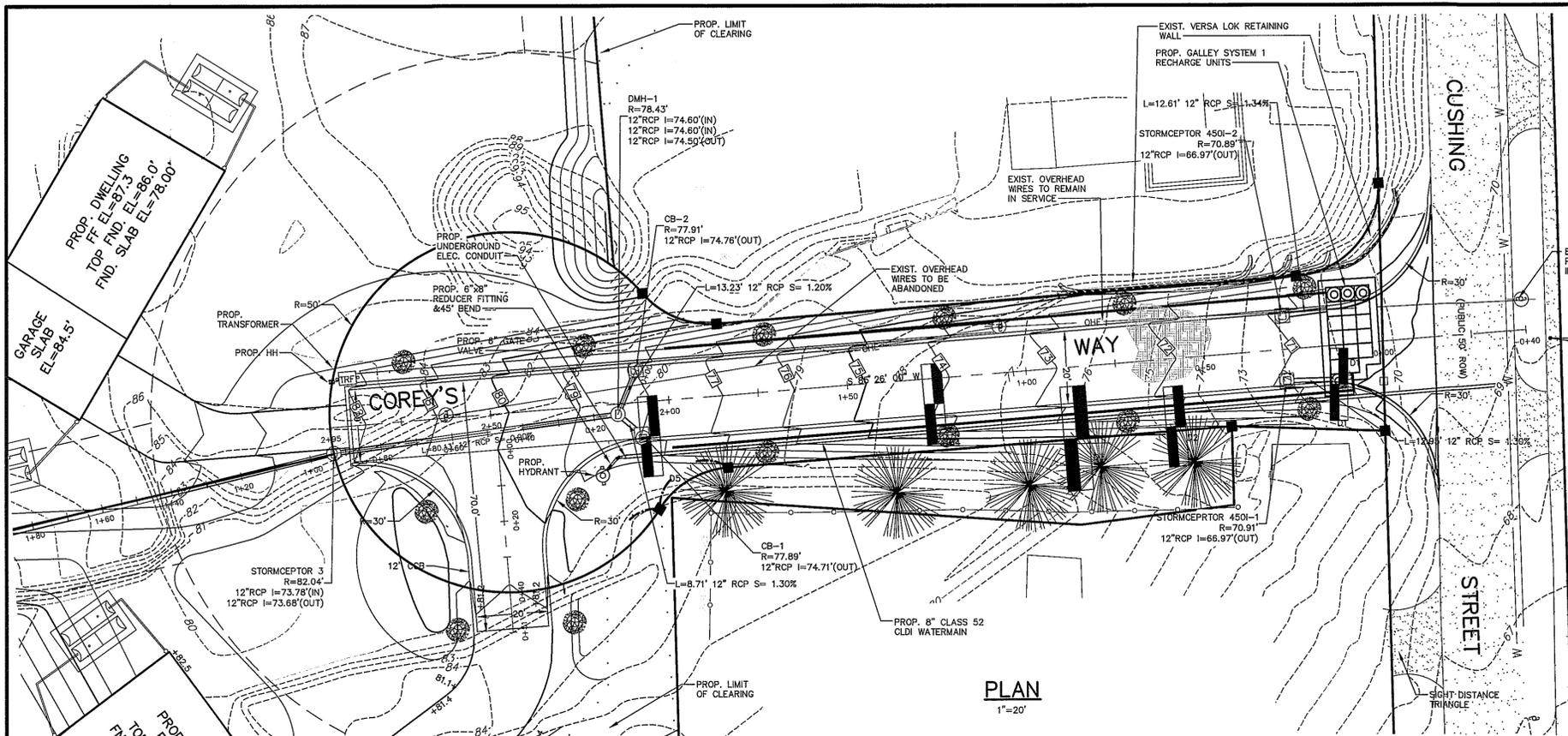
COREY'S WAY
MODIFIED SUBDIVISION PLAN
LOT PLAN
FOR
213 CUSHING STREET
IN
HINGHAM, MASS.

SCALE: 1"=40' FEBRUARY 25, 2020

ROSS ENGINEERING COMPANY INC.
PROFESSIONAL ENGINEERS - LAND SURVEYORS

683 MAIN STREET
NORWELL, MASS. 02061
(781)659-1325





PLAN
1"=20'

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.
Paul J. Murrain
 PROFESSIONAL LAND SURVEYOR
 9-11-20
 DATE



DATE SUBMITTED: _____
 DATE APPROVED: _____

HINGHAM BOARD OF HEALTH

FOR REGISTRY USE ONLY

APPROVAL UNDER SUBDIVISION CONTROL LAW IS REQUIRED

DATE SUBMITTED: _____
 DATE APPROVED: _____
 DATE ENDORSED: _____

HINGHAM PLANNING BOARD

APPROVED _____, SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY SHEPARD INVESTMENTS, LLC, DATED _____ AND RECORDED HERewith IN THE PLYMOUTH COUNTY REGISTRY OF DEEDS.

I, EILEEN McCracken, CLERK OF THE TOWN OF HINGHAM, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT FOLLOWING SUCH RECEIPT AND RECORDING OF SAID NOTICE.

DATE _____ TOWN CLERK _____

OWNER
 JACQUELINE B. MURRAY AND
 KENNETH J. MURRAY, TRUSTEES
 192 NEPONSET STREET
 CANTON, MA 02021

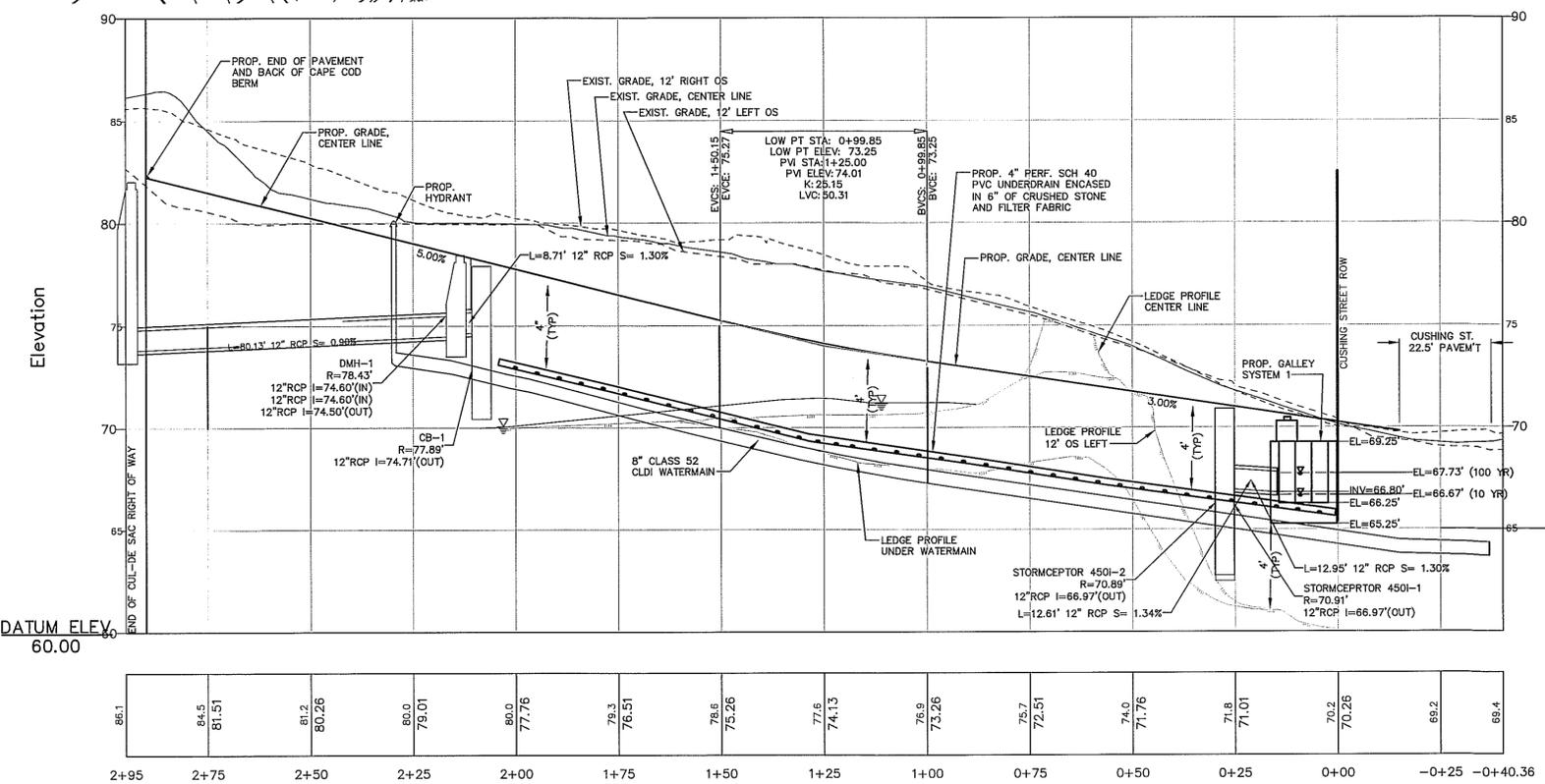
APPLICANT
 SHEPARD INVESTMENTS, LLC
 c/o ROBERT SHEPARD
 37 DERBY STREET, SUITE ONE
 HINGHAM, MA 02043

COREY'S WAY
 MODIFIED SUBDIVISION PLAN
 PLAN AND PROFILE
 FOR
 213 CUSHING STREET
 IN
 HINGHAM, MASS.

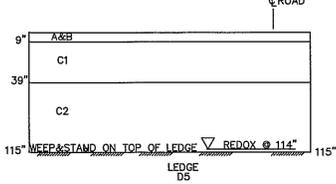
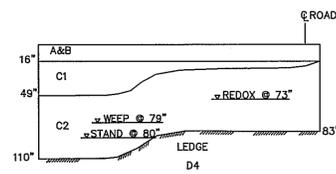
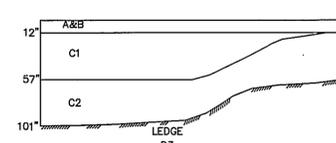
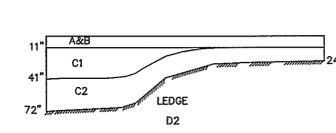
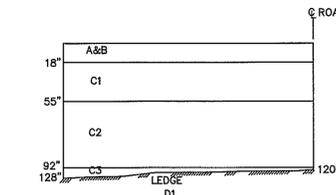
SCALE: 1"=20' FEBRUARY 25, 2020

ROSS ENGINEERING COMPANY INC.
 PROFESSIONAL ENGINEERS - LAND SURVEYORS

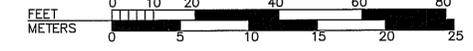
683 MAIN STREET
 NORWELL, MASS. 02061
 (781)659-1325



PROFILE
 1"=20 (HORIZ.)
 1"=4 (VERT.)



| NO. | DATE | DESCRIPTION | BY |
|-----|---------|-------------------------------|-----|
| 2 | 4-27-20 | RESP TO COMMENT LTR 4/6/20 | GJT |
| 1 | 3-24-20 | MOVE GRADING OUT OF 100' BUF. | GJT |



**MATERIAL SPECIFICATIONS
WATER MAINS AND APPURTENANCES**

1.0 RESILIENT SEATED WEDGE GATE VALVES

- 1.1 Valves shall be iron body, bi-directional, resilient type, designed for 200 psi working pressure and conform to the latest revision of AWWA C-509-87.
- 1.2 Valves shall have O ring seals, non-raising seam and 2" operating nut. Valves shall open LEFT.
- 1.3 Valves shall have mechanical joint end, unless otherwise noted.
- 1.4 Valves interiors and exteriors shall be epoxy coated in accordance with AWWA Specification C-550.
- 1.5 Valves shall be as manufactured Mueller, Clow or American Darling.

2.0 VALVE BOXES

- 2.1 Valve boxes shall be cast iron, tar coated, telescoping heavy pattern type, consisting of flanged bottom, flanged top and cover with the word "WATER" cast in the cover.

3.0 FITTINGS

- 3.1 Fittings shall be full flow, compact size conforming to the latest revision of AWWA Specification C-153 and have a working pressure rating of 200psi.
- 3.2 Unless otherwise approved, all fittings shall have mechanical joint ends with appropriate glands, gaskets, nuts, bolts and accessories.
- 3.3 Restrained joints for mechanical joint fittings shall be mechanical as manufactured by Ebbes Iron Co.

4.0 DUCTILE IRON PIPE

- 4.1 All ductile iron pipe shall be designed in accordance with ANS A21.50 and manufactured in accordance with ANS A21.51.
- 4.2 All ductile iron pipe shall be cement lined class 52 with an exterior tar coat in accordance with ANS 21.50/SAWWA C150/AWWA C111.
- 4.3 All ductile iron pipe shall be cement lined in accordance with ANS A21.4.
- 4.4 All pipe joints shall be of the bell spigot type.

5.0 METALLIC INDICATOR TAPE

- 5.1 Metallic indicator tape with "CAUTION WATER MAIN BURIED BELOW" shall be placed in trench 1' from final grade.

6.0 CORPORATION STOP

- 6.1 The corporation stop shall be of all bronze constructions. The inlet thread shall be of C.C. type. Outlet connections shall be compression suitable for use with type K copper tubing.
- 6.2 For purposes of standardization, corporation stop shall be Model F-1000CC as manufactured by the Ford Meter Box Co.

7.0 CURB STOPS

- 7.1 Curb stops shall be of all bronze construction with a drain and inlet and outlet compression connection suitable for use with type K copper tubing. Curb stops shall open LEFT.
- 7.2 For purposes of standardization, the curb stop shall be Model No. 244-444SW as manufactured by the Ford Meter Box Co.

8.0 CURB BOX

- 8.1 The curb box shall be cast iron tar coated telescoping "Eries" type with rod, consisting of a bottom, top and cover secured by a pentagon nut.

9.0 SADDLES

- 9.1 Saddles for service connections shall be all brass with a minimum 1" CC outlet.
- 9.2 For the purposes of standardization, the saddle shall be Model 202-BS-1110x4CC as manufactured by the Ford Meter Co.

10 SERVICE CONNECTIONS

- 10.1 All service connections shall consist of a saddle, corporation stop, curb stop, curb box, copper type K tubing, stainless steel inserts and metallic indicator tape.

11 HYDRANTS

- 11.1 All hydrants shall be the Mueller Super Centurion.

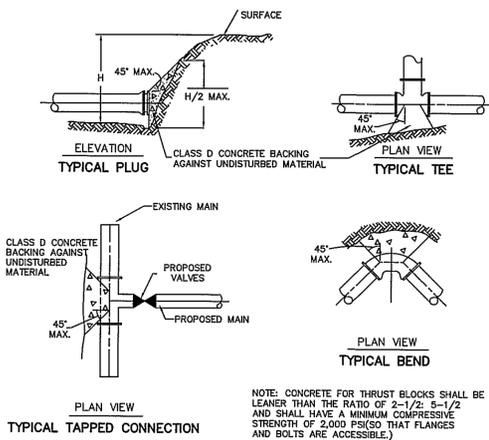
NOTE: THE ABOVE SPECIFICATIONS ARE SUBJECT TO ANY ALTERNATIVE REQUIREMENTS BY THE AQUARIUM WATER COMPANY OF MASSACHUSETTS.

1. UTILITY INFORMATION SHOWN ON THIS PLAN IS BASED ON BOTH FIELD SURVEY AND PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND UTILITY PIPES, CONDUITS, AND STRUCTURES ARE APPROXIMATE ONLY. THE INFORMATION SHOWN HEREON IS BASED ON AVAILABLE PUBLIC AND PRIVATE RECORDS, AND SHOULD BE USED ONLY AS A WARNING TO THE PRESENCE OF UTILITIES IN THE VICINITY OF THE PROPOSED WORK. PRIOR TO ANY EXCAVATION OR OTHER WORK WHICH COULD DISTURB UTILITY PLANT, THE CONTRACTOR SHALL CONSULT WITH THE PROPER UTILITY AUTHORITIES TO VERIFY THE LOCATION OF ALL UTILITY PLANT IN THE LOCUS, AND TO DEVELOP THE PROCEDURES TO BEST PROTECT SAID PLANT.

2. AS PRESCRIBED BY LAW, THE CONTRACTOR SHALL CALL THE "DIG-SAFE" CALL CENTER AT 1-800-322-4844 AT LEAST 72 HOURS PRIOR TO THE START OF WORK TO HAVE THE UTILITIES FIELD LOCATED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXERCISE PROPER CARE AND JUDGEMENT TO CONSTRUCT THE WORK SHOWN ON THIS PLAN IN A SAFE AND WORKMAN LIKE MANNER.

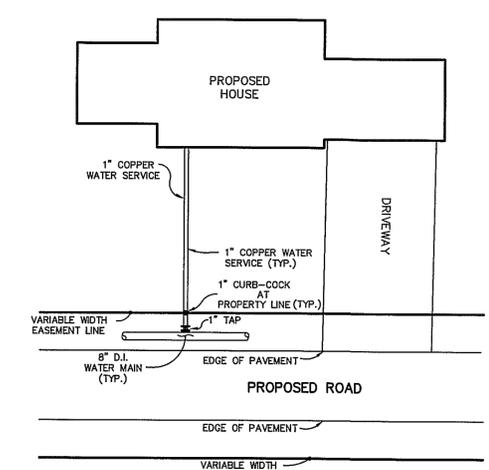
3. ANY CHANGE IN FIELD CONDITIONS SHOULD BE REPORTED TO THE ENGINEER TO INSURE THAT ANY MODIFICATIONS TO THE ORIGINAL DESIGN ARE PROPER AND ADEQUATE TO SERVE THE PROJECT'S NEEDS, AND COMPLY WITH APPLICABLE STANDARDS, AND REGULATIONS.

4. CONTRACTOR SHALL CHECK WITH THE HINGHAM DPW TO ENSURE THAT ALL MATERIALS CHOSEN MEET OR EXCEED TOWN SPECIFICATIONS AND STANDARDS.

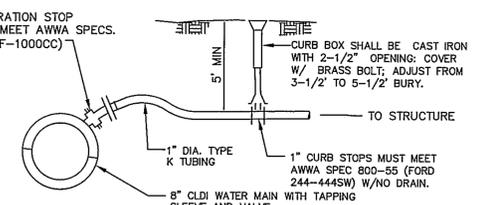


NOTE: CONCRETE FOR THRUST BLOCKS SHALL BE LEANER THAN THE RATIO OF 2-1/2: 9-1/2 AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,000 PSI (SO THAT FLANGES AND BOLTS ARE ACCESSIBLE.)

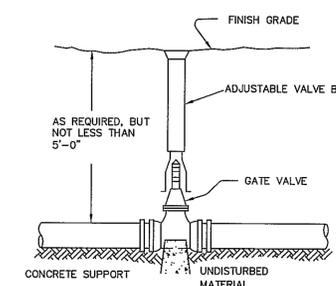
1 THRUST BLOCK DETAIL
Scale: NONE



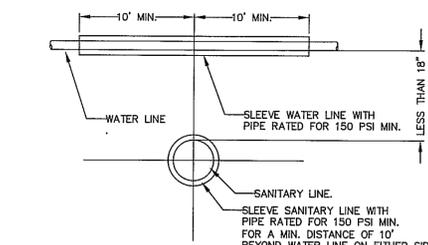
2 STANDARD WATER SERVICE CONNECTION DETAIL
Scale: NONE



3 1" WATER SERVICE DETAIL
Scale: NONE

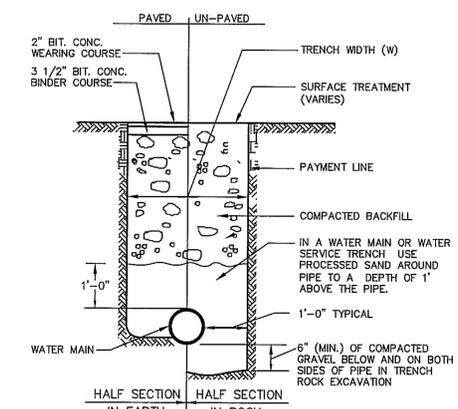


4 GATE VALVE DETAIL
Scale: NONE

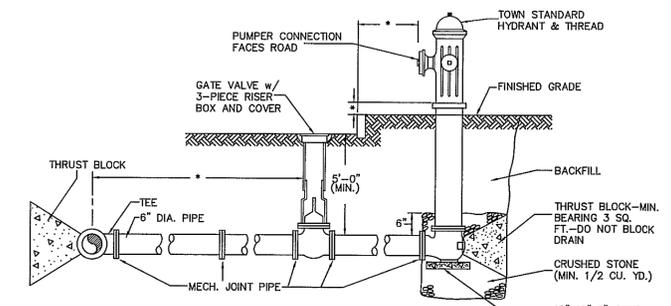


NOTE: DOUBLE LINE SLEEVING IS REQUIRED WHEN THE DEPTH OF THE SANITARY LINE IS LESS THAN 18" BELOW THE WATER LINE.

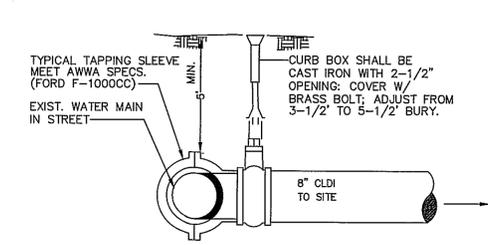
5 WATER MAIN CROSSING DETAIL
Scale: NONE



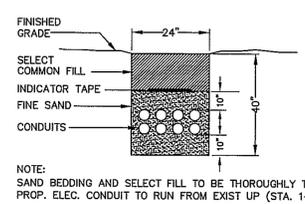
6 TYPICAL WATER MAIN TRENCH DETAIL
Scale: NONE



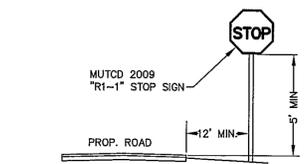
7 PROP HYDRANT DETAIL
Scale: NONE



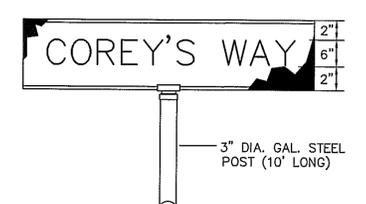
8 WATER MAIN CONNECTION TAP DETAIL
Scale: NONE



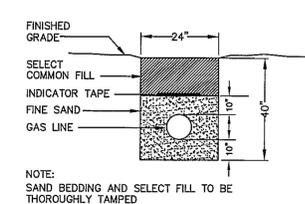
9 ELECTRIC CONDUIT DETAIL
Scale: NONE



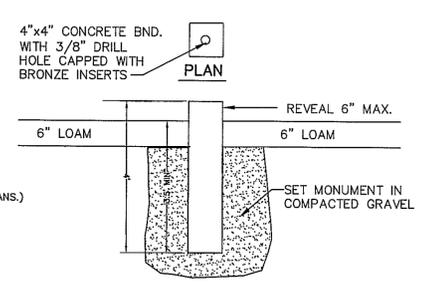
10 STOP SIGN LOCATION DETAIL
Scale: NONE



11 STREET SIGN DETAIL
Scale: NONE



12 GAS LINE DETAIL
Scale: NONE



13 CONCRETE MONUMENT DETAIL
Scale: NONE



I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.
Paul J. Murrabit
PROFESSIONAL LAND SURVEYOR 9-11-20 DATE

OWNER
JACQUELINE B. MURRAY AND
KENNETH J. MURRAY, TRUSTEES
192 NEPONSET STREET
CANTON, MA 02021

APPLICANT
SHEPARD INVESTMENTS, LLC
c/o ROBERT SHEPARD
37 DERBY STREET, SUITE ONE
HINGHAM, MA 02043

APPROVED _____, SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY SHEPARD INVESTMENTS, LLC, DATED _____ AND RECORDED HERewith IN THE PLYMOUTH COUNTY REGISTRY OF DEEDS.

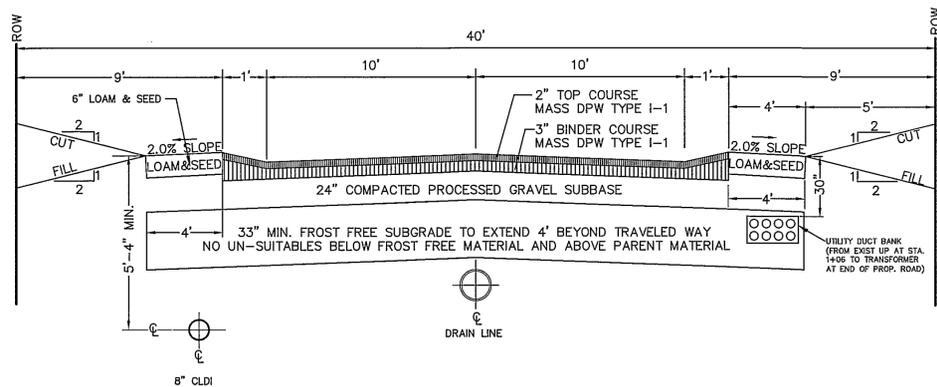
I, EILEEN McCracken, CLERK OF THE TOWN OF HINGHAM, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT FOLLOWING SUCH RECEIPT AND RECORDING OF SAID NOTICE.

DATE _____ TOWN CLERK _____

| NO. | DATE | DESCRIPTION | BY |
|-----|---------|-------------------------------|-----|
| 2 | 4-27-20 | RESP TO COMMENT LTR 4/6/20 | GJT |
| 1 | 3-24-20 | MOVE GRADING OUT OF 100' BUF. | GJT |

COREY'S WAY
MODIFIED SUBDIVISION PLAN
SITE DETAILS PLAN I
FOR
213 CUSHING STREET
IN
HINGHAM, MASS.
SCALE: AS SHOWN FEBRUARY 25, 2020
ROSS ENGINEERING COMPANY INC.
PROFESSIONAL ENGINEERS - LAND SURVEYORS
683 MAIN STREET
NORWELL, MASS. 02061
(781)659-1325



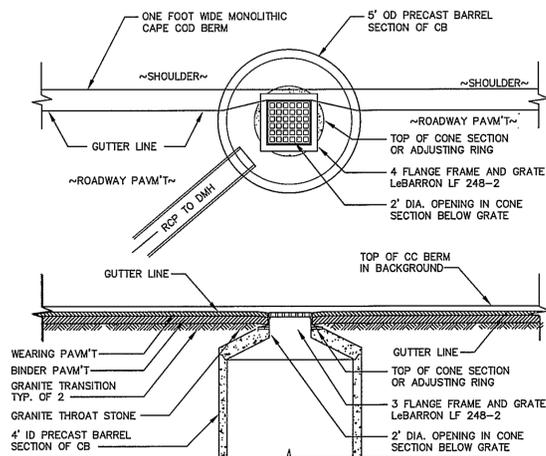


- NOTES:
- STANDARD SUB GRADE MATERIAL SHALL CONTAIN NOT MORE THAN TEN (10) PERCENT PASSING THE #200 MESH SIEVE AND NOTHING LARGER THAN 3" WITHIN 3 FEET OF FINISHED GRADE PAVEMENT. SUCH MATERIAL SHALL BE DEPOSITED IN LAYERS OF NOT MORE THAN TWELVE (12) INCHES FOR THE FULL WIDTH SO AS TO FORM A ROADWAY FOUNDATION WHICH SHALL AT ALL POINTS BE PARALLEL TO THE FINISHED GRADE OF THE ROADWAY SURFACE. THE SUBGRADE MATERIAL SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST, IN ACCORDANCE WITH ASTM D-1557-66T, METHOD "D". NOTHING LARGER THAN 3" WITHIN 3' OF FINISHED GRADE PAVEMENT.
 - PROPOSED ROADWAY PROCESSED GRAVEL FOUNDATION SUBBASE SHALL BE PLACED IN 6" LIFTS COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST, IN ACCORDANCE WITH ASTM D-1557-78, METHOD "D". SUCH ROADWAY FOUNDATION MATERIAL SHALL CONFORM TO THE GRADATION AS SPECIFIED BELOW.

12" COMPACTED PROCESSED GRAVEL FOUNDATION SUBBASE GRADATION SPECIFICATION

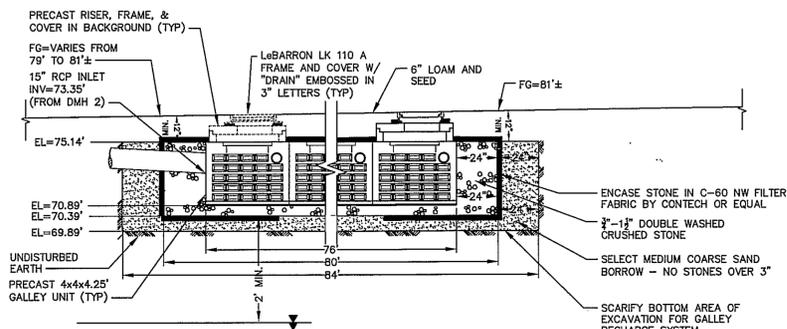
| SIEVE SIZE | % OF PASSING BY WEIGHT | SIEVE SIZE | % OF PASSING BY WEIGHT | SIEVE SIZE | % OF PASSING BY WEIGHT |
|------------|------------------------|------------|------------------------|------------|------------------------|
| 3" | 100 | 1/2" | 48-85 | 20" | 15-43 |
| 2" | 95-100 | 3/8" | 44-80 | 40" | 8-34 |
| 1" | 60-100 | #4 | 33-68 | 80" | 0-10 |
| 3/4" | 55-95 | 10" | 23-55 | 200" | 0-10 |
| | | | | .02 mm | 0-3 |

1 STANDARD PAVEMENT SECTION DETAILS Scale: NONE

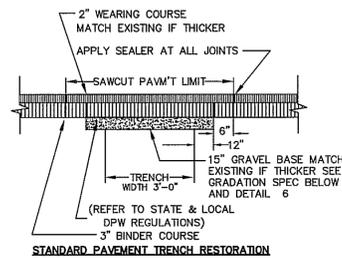


NOTE: THE BACK OF THE CATCHBASIN'S FRAME AND GRATE IS TO BE SET 6" INTO THE CAPE COD BERM AS SHOWN.

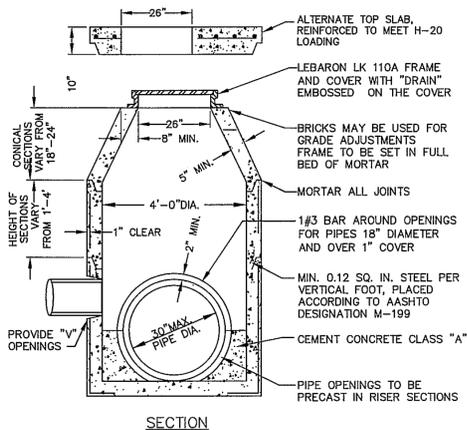
2 CC BERM AT CATCHBASIN GRATES DETAIL Scale: NONE



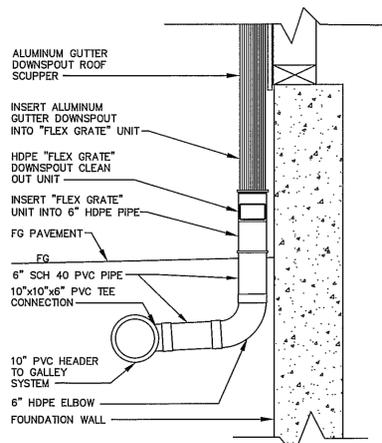
3 SUBSURFACE GALLEY RECHARGE SYSTEM DETAIL Scale: NONE



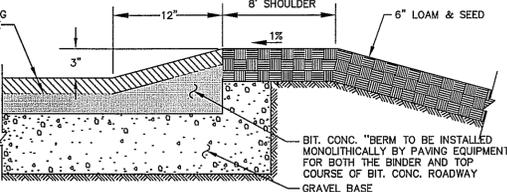
4 TRENCH PAVEMENT DETAILS Scale: NONE



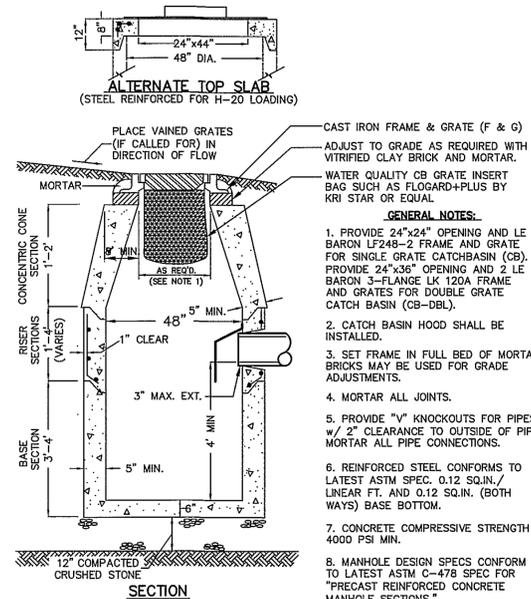
5 STANDARD DRAIN MANHOLE DETAIL Scale: NONE



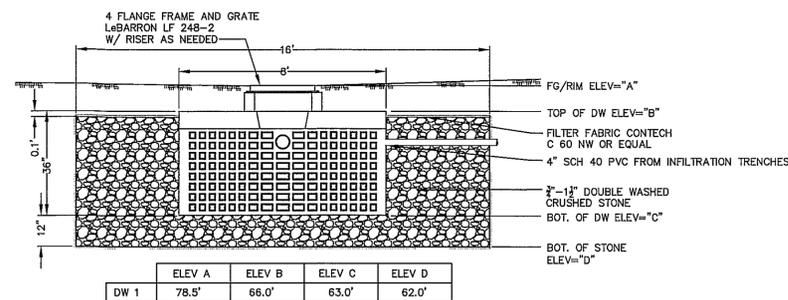
6 DOWNSPOUT HEADER CONNECTION DETAIL Scale: NONE



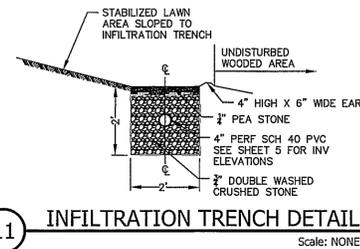
7 BITUMINOUS CONC. BERM DETAIL Scale: NONE



8 STANDARD CATCHBASIN DETAIL Scale: NONE



10 DRYWELL DETAIL Scale: NONE

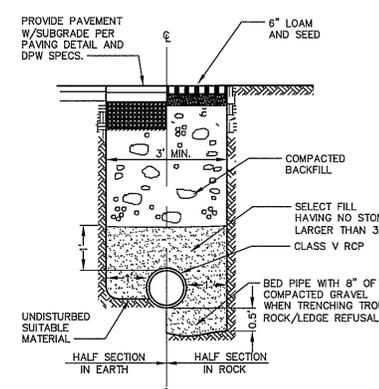


11 INFILTRATION TRENCH DETAIL Scale: NONE

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| 2 | 4-27-20 | RESP TO COMMENT LTR 4/6/20 | GJT |
| 1 | 3-24-20 | MOVE GRADING OUT OF 100' BUF. | GJT |



9 DRAINLINE TRENCHING DETAIL Scale: NONE

FOR REGISTRY USE ONLY

APPROVAL UNDER SUBDIVISION CONTROL LAW IS REQUIRED

DATE SUBMITTED: _____

DATE APPROVED: _____

DATE ENDORSED: _____

HINGHAM PLANNING BOARD

SEPTIC DESIGN PERMITS ARE REQUIRED FOR ALL DWELLINGS PROPOSED IN THIS SUBDIVISION

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DATE APPROVED: _____

DATE ENDORSED: _____

HINGHAM BOARD OF HEALTH

CONDITIONS SET FORTH IN A COVENANT EXECUTED BY SHEPARD INVESTMENTS, LLC, DATED _____ AND RECORDED HERewith IN THE PLYMOUTH COUNTY REGISTRY OF DEEDS.

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

Paul J. McCallister 9-11-20
PROFESSIONAL LAND SURVEYOR DATE



OWNER
JACQUELINE B. MURRAY AND
KENNETH J. MURRAY, TRUSTEES
192 NEPONSET STREET
CANTON, MA 02021

APPLICANT
SHEPARD INVESTMENTS, LLC
c/o ROBERT SHEPARD
37 DERBY STREET, SUITE ONE
HINGHAM, MA 02043

COREY'S WAY
MODIFIED SUBDIVISION PLAN
SITE DETAILS PLAN II

FOR
213 CUSHING STREET
IN

HINGHAM, MASS.

SCALE: AS SHOWN FEBRUARY 25, 2020

ROSS ENGINEERING COMPANY INC.
PROFESSIONAL ENGINEERS - LAND SURVEYORS

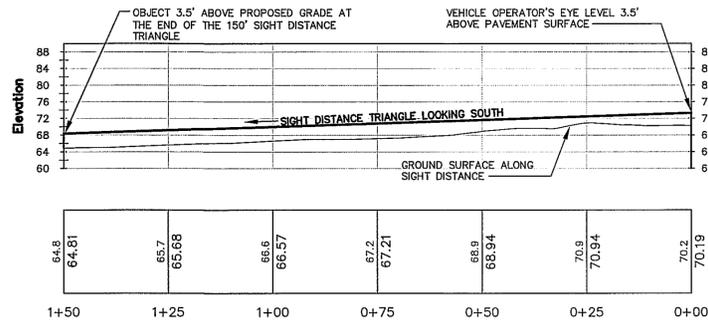
683 MAIN STREET
NORWELL, MASS. 02061
(781)659-1325



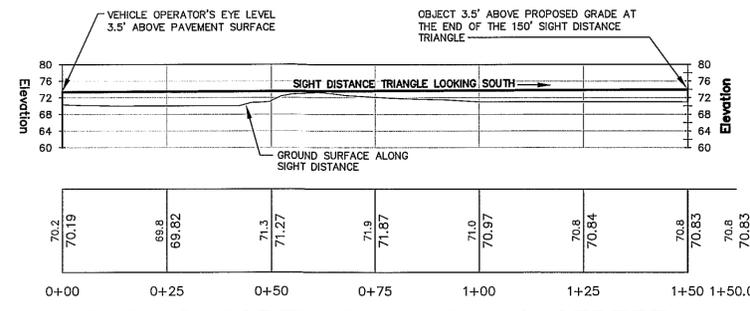
I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

Paul J. Marabito
PROFESSIONAL LAND SURVEYOR

9-11-20
DATE



FACING SOUTH ON CUSHING STREET



FACING NORTH ON CUSHING STREET

SEPTIC DESIGN PERMITS ARE REQUIRED FOR ALL DWELLINGS PROPOSED IN THIS SUBDIVISION

DATE SUBMITTED: _____
DATE APPROVED: _____
DATE ENDORSED: _____

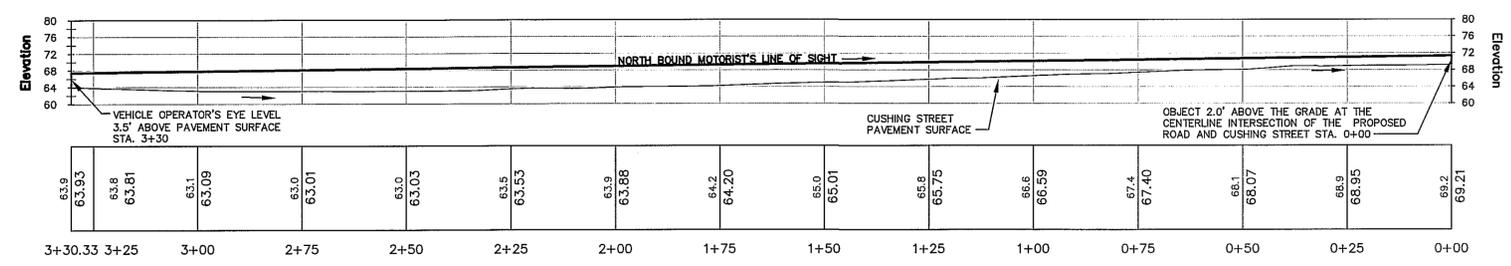
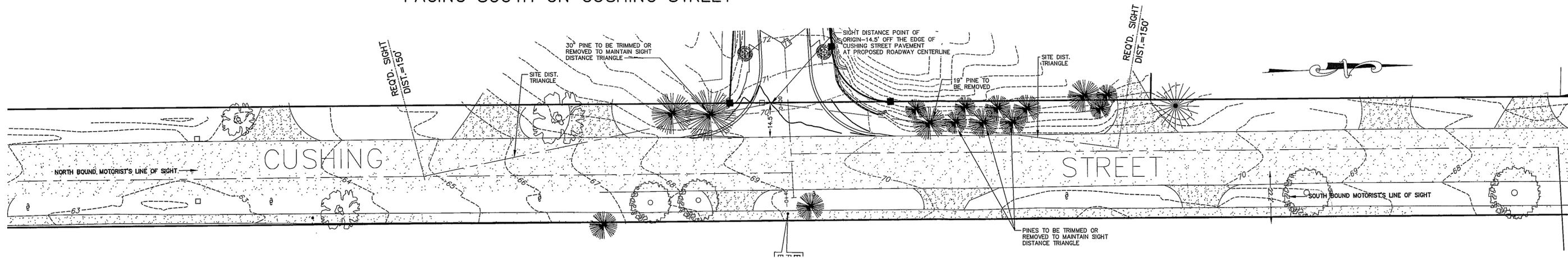
FOR REGISTRY USE ONLY

APPROVAL UNDER SUBDIVISION CONTROL LAW IS REQUIRED

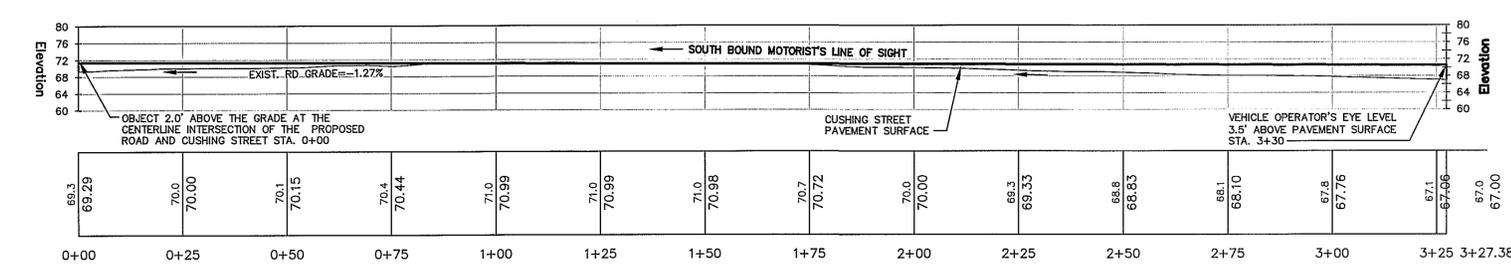
DATE SUBMITTED: _____
DATE APPROVED: _____
DATE ENDORSED: _____

HINGHAM BOARD OF HEALTH

HINGHAM PLANNING BOARD



FACING SOUTH ON CUSHING STREET



FACING NORTH ON CUSHING STREET



OWNER
JACQUELINE B. MURRAY AND
KENNETH J. MURRAY, TRUSTEES
192 NEPONSET STREET
CANTON, MA 02021

APPLICANT
SHEPARD INVESTMENTS, LLC
c/o ROBERT SHEPARD
37 DERBY STREET, SUITE ONE
HINGHAM, MA 02043

| NO. | DATE | DESCRIPTION | BY |
|-----|---------|-------------------------------|-----|
| 3 | 8-27-20 | RESP TO PB MTG COMNTS | GJT |
| 2 | 4-27-20 | RESP TO COMMENT LTR 4/6/20 | GJT |
| 1 | 3-24-20 | MOVE GRADING OUT OF 100' BUF. | GJT |

APPROVED _____, SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY SHEPARD INVESTMENTS, LLC, DATED _____ AND RECORDED HEREWITH IN THE PLYMOUTH COUNTY REGISTRY OF DEEDS.

I, EILEEN McCracken, CLERK OF THE TOWN OF HINGHAM, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT FOLLOWING SUCH RECEIPT AND RECORDING OF SAID NOTICE.

DATE _____ TOWN CLERK _____

COREY'S WAY
MODIFIED SUBDIVISION PLAN
SIGHT DISTANCE PLAN
FOR
213 CUSHING STREET
IN
HINGHAM, MASS.

SCALE: 1"=20' FEBRUARY 25, 2020

ROSS ENGINEERING COMPANY INC.
PROFESSIONAL ENGINEERS - LAND SURVEYORS
683 MAIN STREET
NORWELL, MASS. 02061
(781)659-1325

