

COREY'S WAY MODIFIED DEFINITIVE SUBDIVISION PLAN

AT
213 CUSHING STREET
IN
HINGHAM, MASSACHUSETTS

NOTES:

- NOTES:
- ZONING CLASSIFICATION - RESIDENCE C
 - THE FLOOD PLAIN AND WATERSHED PROTECTION DISTRICT IS DETERMINED BY THE 57' CONTOUR LINE (MSL).
 - A PORTION OF THE LOCUS LIES IN THE ACCORD POND WATERSHED AND HINGHAM AQUIFER PROTECTION DISTRICT.
 - THE LOCUS LIES IN ZONE X AS SHOWN ON FIRM MAP COMMUNITY PANEL #250268 0084 J, DATED JULY 17, 2012.
 - PLAN REFERENCES:
A) PLAN #473 OF 1965
 - LOCUS DEED:
BOOK 40356 PAGE 198 RECORDED SEPTEMBER 26, 2011
ASSESSORS REFER: MAP 156 PARCEL 9B.

LIST OF WAIVERS:

- SECTION 3.C.2 REQUIRED: 2" BORDER ON THE LEFT SIDE OF PLAN.
PROPOSED: 1.5" BORDER ON THE LEFT SIDE OF PLAN.
- SECTION 3.C.2.I REQUIRED: SHOW LOCATION OF EXISTING AND PROPOSED STREET TREES.
PROPOSED: SHOW LOCATION OF EXISTING STREET TREES ON CUSHING STREET, AND LARGE TREES SOUTH OF PROP. ROAD AND IN AREA OF SITE CLEARING.
- SECTION 3.C.2.n REQUIRED: SHOW THE PLAN AND PROFILE AT A HORIZONTAL SCALE OF 1"=40'.
SHOW THE PLAN AND PROFILE AT A HORIZONTAL SCALE OF 1"=20'.
- SECTION 4.B.(3)(b) REQUIRED: 500' SIGHT DISTANCE ON NORTH APPROACH FOR THE 85TH PERCENTILE.
PROPOSED: REMOVE EXISTING TREE OBSTRUCTIONS TO MAXIMIZE S.D. PER TOWN'S TRAFFIC CONSULTANT.
- SECTION 4.B.(4)(b) REQUIRED: ROAD TERMINATING IN A 55' RADIUS PAVED TURNAROUND.
PROPOSED: ROAD TERMINATING IN A HAMMERHEAD TURNING SPUR AS SHOWN IN APPENDIX D OF THE PLANNING BOARD REGULATIONS.
- SECTION 4.C.(3)(d) REQUIRED: OUTFALLS SHALL EXTEND TO AND BE COMPATIBLE WITH EITHER A NATURAL WATERWAY OF OR AN EXISTING DRAINAGE SYSTEM.
PROPOSED: DESIGN THE GALLEY SYSTEM 1 WITH NO OUTFALLS.
- SECTION 5.J.3(1) REQUIRED: 24" ROADWAY GRAVEL SUBBASE.
PROPOSED: 12" ROADWAY GRAVEL SUBBASE.

SEPTIC DESIGN PERMITS ARE REQUIRED FOR ALL DWELLINGS PROPOSED IN THIS SUBDIVISION

DATE SUBMITTED: _____
DATE APPROVED: _____
DATE ENDORSED: _____

HINGHAM BOARD OF HEALTH



EXISTING	PROPOSED	
100	100	CONTOUR ELEVATION
X 100.2	X 100.0	SPOT GRADE
~~~~~	~~~~~	STONE WALL
~~~~~	~~~~~	TREELINE
~~~~~	~~~~~	LEDGE OUT CROPPING
~~~~~	~~~~~	FLAGGED WETLAND LINE
~~~~~	~~~~~	WATER RESOURCE PROTECTION DIST.
~~~~~	~~~~~	100 YEAR FEMA FLOOD ZONE
□	□ CB-1	SINGLE GRATE CATCH BASIN (CB)
⊙	⊙ DMH-1	DRAIN MANHOLE (DMH)
— —	— — HW-1	HEADWALL (HW)
— —	— — FES-1	FLARED END SECTION (FES)
⊙	⊙ STU-6	STORMWATER TREATMENT UNIT (STU)
⊙	⊙ HH-1	ELECTRIC HANDHOLE (HH)
⊙	⊙ TRF-1	TRANSFORMER (TRF)
—15" D—	—15" RCP—	STORM DRAIN LINE
—6" DI—	—8" CLDI—	WATERMAIN
—WS—	—1" WS—	WATER SERVICE AND SHUT OFF VALVE
—E—	—ELEC—	ELECTRIC DUCT BANK
—OHE—	—OHE—	OVERHEAD ELEC./TEL./CATV
⊙	⊙	WATER MAIN VALVE
⊙	⊙	HYDRANT (HYD)
⊙	⊙	WATER METER (WM)
⊙	⊙	ELECTRIC METER (EM)
⊙	⊙	UTILITY POLE (UP)
—CC—	—CC—	CAPE COD BERM
□	□	COMMUNITY MAIL BOX
—	—	SIGN STOP/STREET/ETC
☆	☆	STREET LIGHT
⊙	⊙	DRILL HOLE IN STONE WALL OR FEATURE
⊙	⊙	REBAR SET REBAR/IRON PIPE
□	□	CONCRETE BOUND WITH DRILL HOLE
⊙	⊙	PERCOLATION TEST
⊙	⊙	TREE
⊙	⊙	OPTIONAL LANDSCAPE RETAINING WALL

FOR REGISTRY USE ONLY

APPROVAL UNDER SUBDIVISION CONTROL LAW IS REQUIRED

DATE SUBMITTED: _____
DATE APPROVED: _____
DATE ENDORSED: _____

HINGHAM PLANNING BOARD

I, EILEEN McCRACKEN, CLERK OF THE TOWN OF HINGHAM, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT FOLLOWING SUCH RECEIPT AND RECORDING OF SAID NOTICE.

DATE _____ TOWN CLERK _____

NO.	DATE	DESCRIPTION	BY
4	9-21-20	RESP TO PB MTG COMMENTS	GJT
3	8-27-20	RESP TO PB MTG COMMENTS	GJT
2	4-27-20	RESP TO COMMENT LTR 4/6/20	GJT
1	3-24-20	MOVE GRADING OUT OF 100' BUF.	GJT

OWNER
JACQUELINE B. MURRAY AND
KENNETH J. MURRAY, TRUSTEES
192 NEPONSET STREET
CANTON, MA 02021

APPLICANT
SHEPARD INVESTMENTS, LLC
c/o ROBERT SHEPARD
37 DERBY STREET, SUITE ONE
HINGHAM, MA 02043

FEBRUARY 25, 2020

THIS SUBDIVISION PLANS IS SUBJECT TO THE CONDITIONS SET FORTH IN A CERTIFICATE OF ACTION, DATED _____ ISSUED BY THE HINGHAM PLANNING BOARD AND TO BE RECORDED WITH THIS MODIFIED SUBDIVISION PLAN. ALL WORK MUST BE IN COMPLIANCE WITH THE APPLICABLE TOWN OF HINGHAM SUBDIVISION RULES AND REGULATIONS AS AMENDED THROUGH SEPTEMBER 11, 2018 EXCEPT AS WAIVED HEREIN.

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

Paul J. Merabito
PROFESSIONAL LAND SURVEYOR
9-21-2020
DATE

ROSS ENGINEERING COMPANY INC.
PROFESSIONAL ENGINEERS - LAND SURVEYORS
683 MAIN STREET
NORWELL, MASS. 02061
(781) 659-1325

GREGORY
TANSEY
CIVIL
NO. 37219

PAUL J.
MERABITO
NO. 28621

APPROVED _____, SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY SHEPARD INVESTMENTS, LLC, DATED _____ AND RECORDED HERewith IN THE PLYMOUTH COUNTY REGISTRY OF DEEDS.

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE TOWN OF HINGHAM PLANNING BOARD RULES AND REGULATIONS ADOPTED UNDER SUBDIVISION CONTROL LAW AS AMENDED THROUGH SEPTEMBER 11, 2018, EXCEPT AS STATED IN THE LIST OF WAIVERS SHOWN HEREON.

Gregory J. Tansey
PROFESSIONAL ENGINEER
9-21-2020
DATE

PLAN INDEX

SHEET	DESCRIPTION
1	COVER SHEET
2	EXISTING CONDITIONS PLAN
3	LOT PLAN
4	PLAN AND PROFILE
5	SITE PLAN
6	SITE DETAILS PLAN I
7	SITE DETAILS PLAN II
8	SITE DETAILS PLAN III
9	SIGHT DISTANCE PLAN

GARY AND PAULA CENTURELLI
7 LECLAIR DRIVE
MAP 156 PARCEL 27

ALLEN E. AND SANDRA MCKENNA
6 LECLAIR DRIVE
MAP 156 PARCEL 94

STACY ROTONDO
4 LECLAIR DRIVE
MAP 156 PARCEL 95

LORELEI A. AND ALBERT A. NOLBANDIAN
207 CUSHING STREET
MAP 156 PARCEL 10

MAP 156 PARCEL 9
RONALD AND ALAINE GOMEZ
211 CUSHING STREET

LOT 1
149,519 SF
3.43 AC

MAP 156 PARCEL 9B
SHEPARD INVESTMENTS, LLC
213 CUSHING STREET

LOT 2
139,623 SF
3.21 AC

M.D. SOMMER, D.L. SOMMER, AND
C.L.S. O'BRIEN
29 PLYMOUTH RIVER ROAD
MAP 155 PARCEL 19

TOWN OF HINGHAM
MAP 156 PARCEL 89

J. LAWRENCE AND SUSAN GUIHAN
245 CUSHING STREET
MAP 156 PARCEL 5

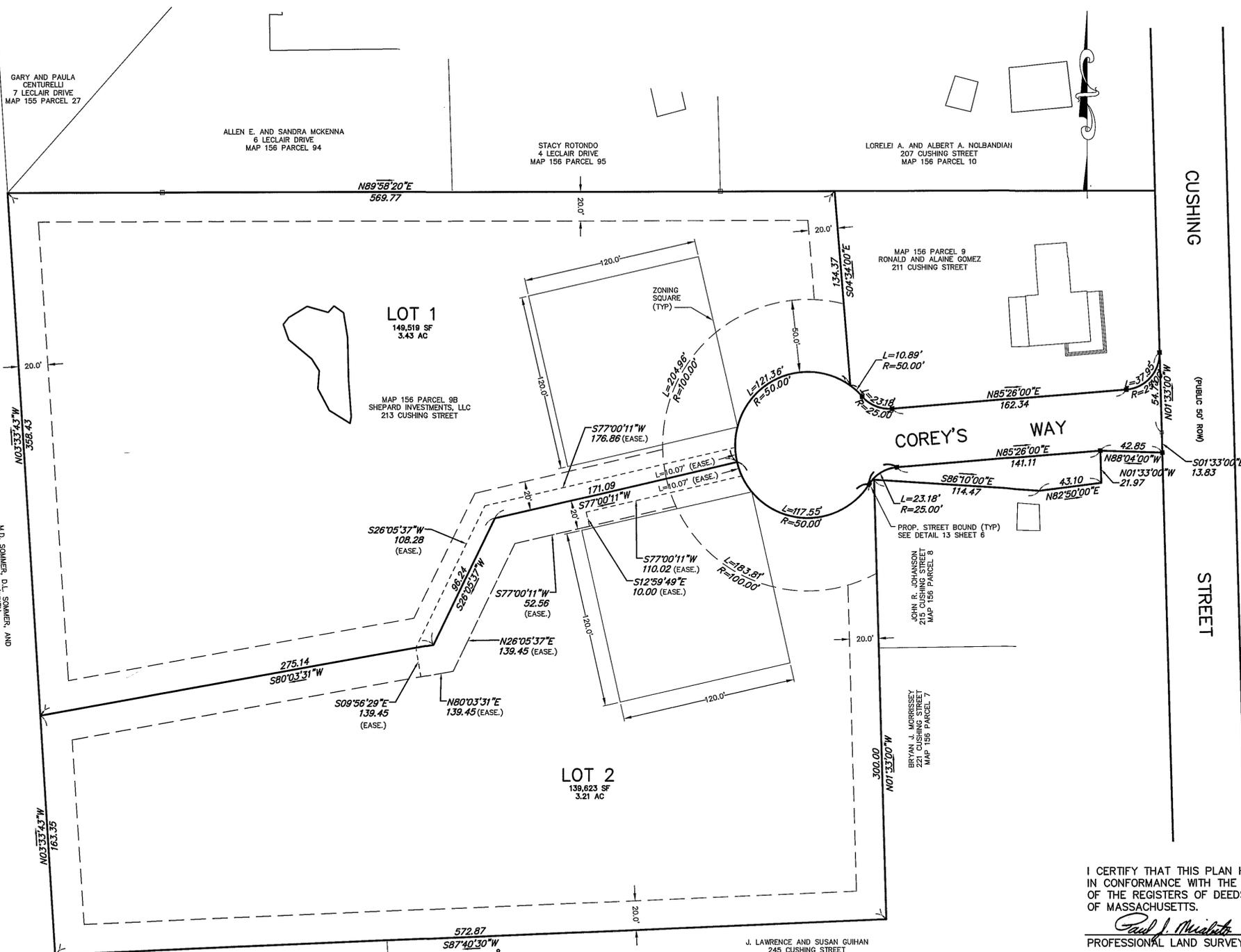
JOHN R. JOHANSON
215 CUSHING STREET
MAP 155 PARCEL 6

BRYAN J. MORRISSEY
215 CUSHING STREET
MAP 155 PARCEL 7

CUSHING

STREET

COREY'S WAY



SEPTIC DESIGN PERMITS ARE
REQUIRED FOR ALL DWELLINGS
PROPOSED IN THIS SUBDIVISION

DATE SUBMITTED: _____
DATE APPROVED: _____
DATE ENDORSED: _____

HINGHAM BOARD OF HEALTH

FOR REGISTRY USE ONLY

APPROVAL UNDER SUBDIVISION
CONTROL LAW IS REQUIRED

DATE SUBMITTED: _____
DATE APPROVED: _____
DATE ENDORSED: _____

HINGHAM PLANNING BOARD

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OWNER

JACQUELINE B. MURRAY AND
KENNETH J. MURRAY, TRUSTEES
192 NEPONSET STREET
CANTON, MA 02021

APPLICANT

SHEPARD INVESTMENTS, LLC
c/o ROBERT SHEPARD
37 DERBY STREET, SUITE ONE
HINGHAM, MA 02043

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED
IN CONFORMANCE WITH THE RULES AND REGULATIONS
OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH
OF MASSACHUSETTS.

Paul J. McCallista 9-21-2020
PROFESSIONAL LAND SURVEYOR DATE



APPROVED _____, SUBJECT TO COVENANT
CONDITIONS SET FORTH IN A COVENANT EXECUTED BY
SHEPARD INVESTMENTS, LLC, DATED _____
AND RECORDED HERewith IN THE PLYMOUTH COUNTY
REGISTRY OF DEEDS.

I, EILEEN McCracken, CLERK OF THE TOWN OF
HINGHAM, HEREBY CERTIFY THAT THE NOTICE OF
APPROVAL OF THIS PLAN BY THE PLANNING BOARD
HAS BEEN RECEIVED AND RECORDED AT THIS
OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED
DURING THE TWENTY DAYS NEXT FOLLOWING SUCH
RECEIPT AND RECORDING OF SAID NOTICE.

DATE _____ TOWN CLERK _____

NOTES:

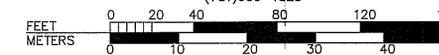
- FY SETBACK=50'
- SY SETBACK=20'
- RY SETBACK=20'
- FRONTAGE=150' (AT FY SETBACK FOR ROW W/RAD.<200')
- 1. ZONING CLASSIFICATION - RESIDENCE C
- 2. THE FLOOD PLAIN AND WATERSHED PROTECTION DISTRICT IS DETERMINED BY THE 57' CONTOUR LINE (MSL).
- 3. A PORTION OF THE LOCUS LIES IN THE ACCORD POND WATERSHED AND HINGHAM AQUIFER PROTECTION DISTRICT.
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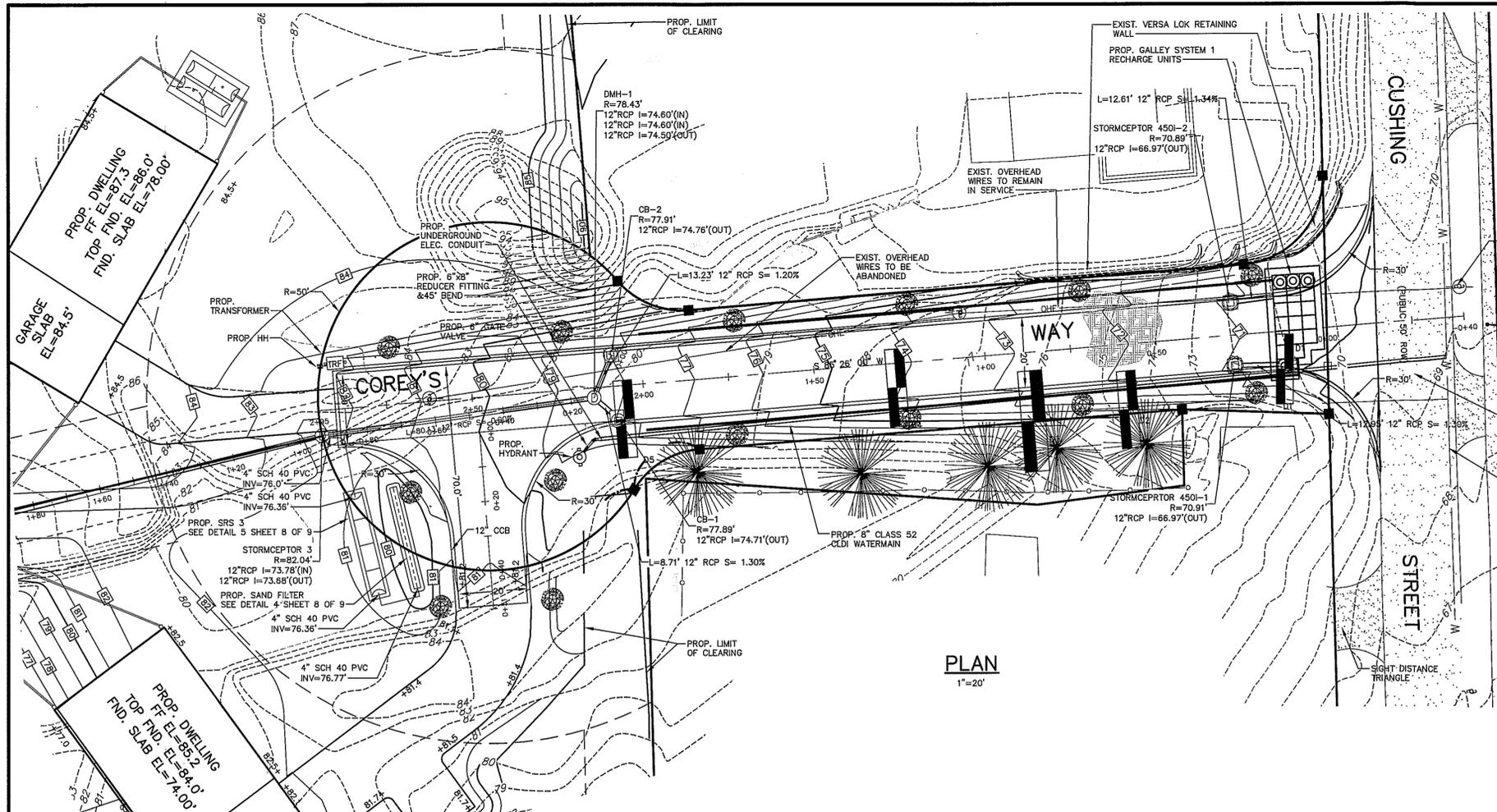
COREY'S WAY
MODIFIED SUBDIVISION PLAN
LOT PLAN
FOR
213 CUSHING STREET
IN
HINGHAM, MASS.

SCALE: 1"=40' FEBRUARY 25, 2020

ROSS ENGINEERING COMPANY INC.
PROFESSIONAL ENGINEERS - LAND SURVEYORS

683 MAIN STREET
NORWELL, MASS. 02061
(781)659-1325





PLAN
1"=20'

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

Paul J. McLaughlin
PROFESSIONAL LAND SURVEYOR
DATE 9-21-2020



FOR REGISTRY USE ONLY

APPROVAL UNDER SUBDIVISION CONTROL LAW IS REQUIRED

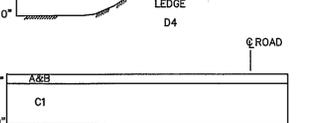
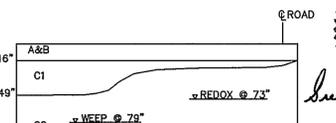
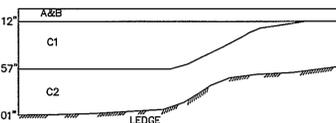
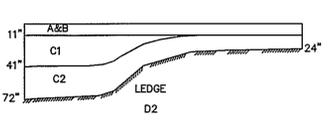
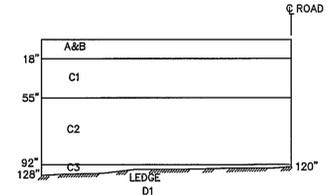
DATE SUBMITTED: _____
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DATE ENDORSED: _____

HINGHAM BOARD OF HEALTH

HINGHAM PLANNING BOARD

APPROVED _____, SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY SHEPARD INVESTMENTS, LLC, DATED _____ AND RECORDED HERewith IN THE PLYMOUTH COUNTY REGISTRY OF DEEDS.

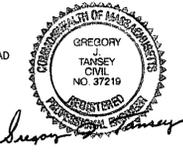
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DATE _____ TOWN CLERK

OWNER
JACQUELINE B. MURRAY AND
KENNETH J. MURRAY, TRUSTEES
192 NEPONSET STREET
CANTON, MA 02021

APPLICANT
SHEPARD INVESTMENTS, LLC
c/o ROBERT SHEPARD
37 DERBY STREET, SUITE ONE
HINGHAM, MA 02043

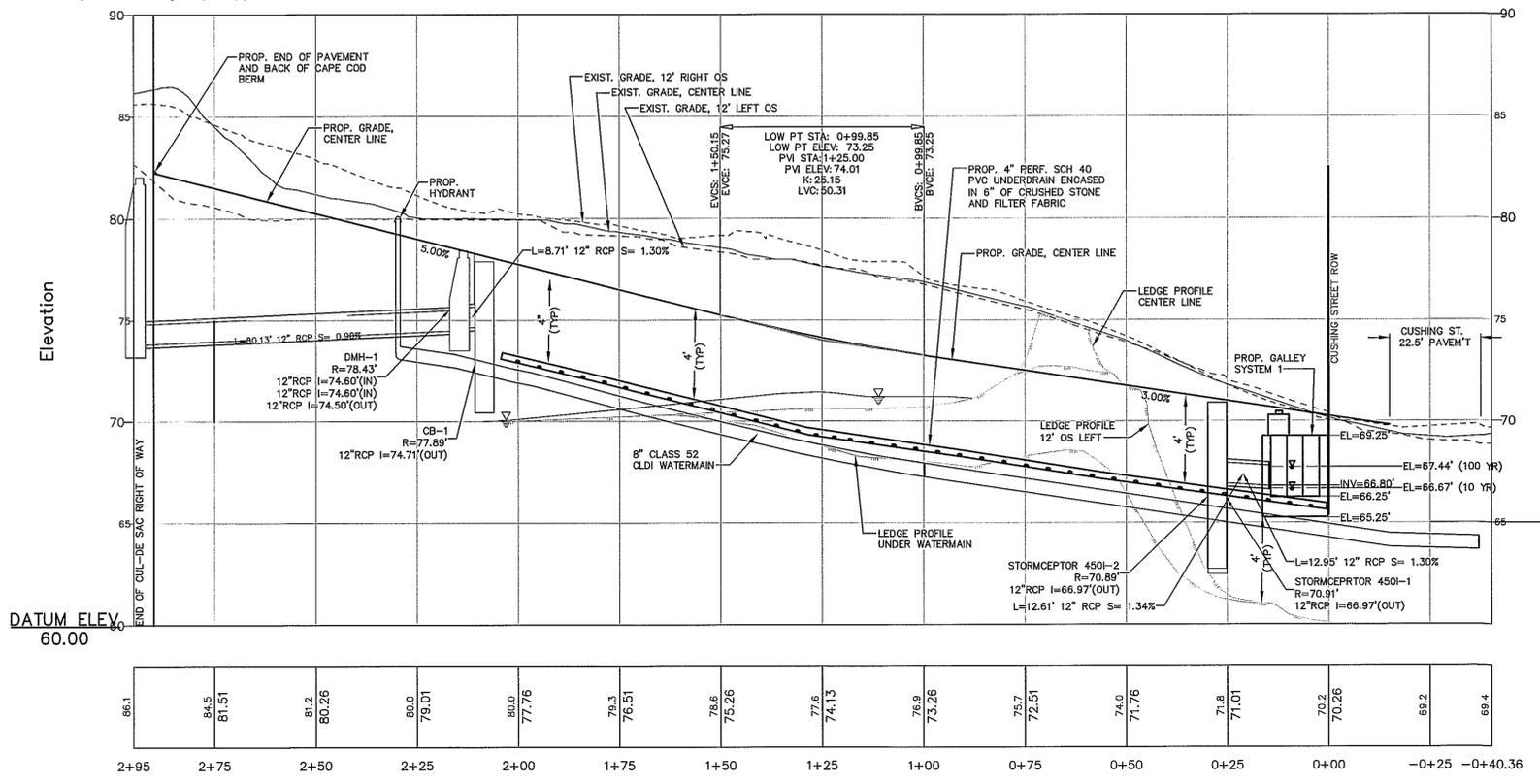


**COREY'S WAY
MODIFIED SUBDIVISION PLAN
PLAN AND PROFILE**
FOR
213 CUSHING STREET
IN
HINGHAM, MASS.

SCALE: 1"=20' FEBRUARY 25, 2020

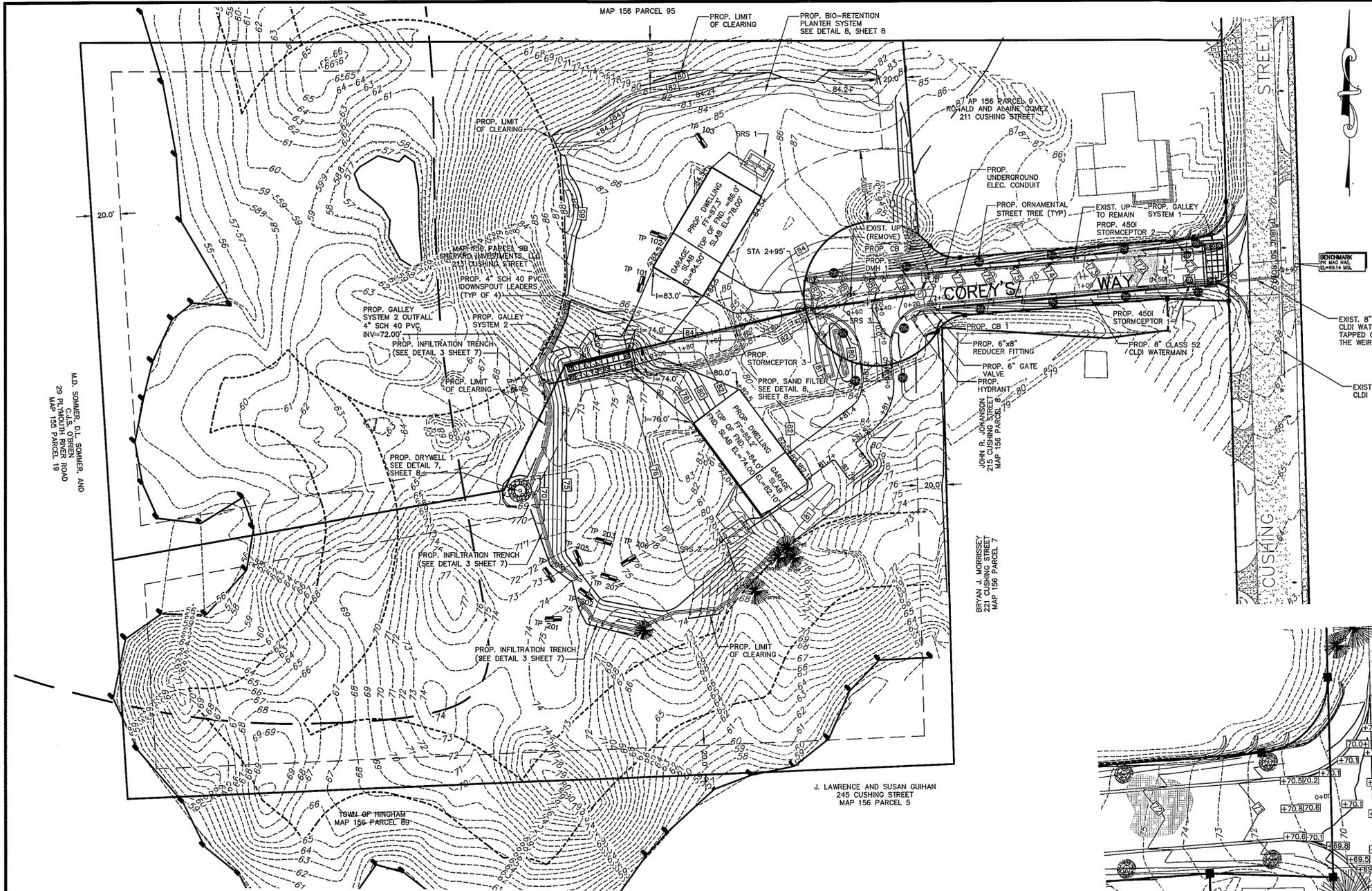
ROSS ENGINEERING COMPANY INC.
PROFESSIONAL ENGINEERS - LAND SURVEYORS

683 MAIN STREET
NORWELL, MASS. 02061
(781)659-1325



PROFILE
1"=20' (HORIZ.)
1"=4' (VERT.)

NO.	DATE	DESCRIPTION	BY
4	9-21-20	RESP TO PB MTG COMMENTS	GJT
3	8-27-20	RESP TO PB MTG COMMENTS	GJT
2	4-27-20	RESP TO COMMENT LTR 4/6/20	GJT
1	3-24-20	MOVE GRADING OUT OF 100' BUF.	GJT



- NOTES:
1. THE CONTRACTOR IS REQUIRED TO BE AWARE OF ALL THE CONSTRUCTION REQUIREMENTS SPECIFIED IN SECTION 5 OF THE TOWN OF HINGHAM PLANNING BOARD RULES AND REGULATIONS ADOPTED UNDER THE SUBDIVISION CONTROL LAW AS AMENDED THROUGH SEPTEMBER 11, 2018 UNLESS SPECIFICALLY WAIVED.
 2. THE CONTRACTOR SHALL CAREFULLY PERFORM THE GRADING SHOWN ON THE APPROVED PLAN AND HOLD ALL ASSOCIATED LIMITS OF CLEARING FOR THE PRESERVATION OF TREES.
 3. ALL FILL MATERIAL USE IN THE ROADWAY CONSTRUCTION SHALL CONFORM TO SECTION 5.01. ON SITE BORROW MAY BE USED FOR ROADWAY AND OTHER STRUCTURAL CONSTRUCTION PROVIDED SAID MATERIAL IS APPROVED BY THE INSPECTOR OR AGENT OF THE PLANNING BOARD BY PERFORMING THE APPROPRIATE SIEVE OR GRADATION ANALYSIS.
 4. ALL TRUCKING AND VEHICLES WORKING FROM AND WITHIN THE PROJECT LOCUS SHALL BE IN COMPLIANCE WITH ALL MassDOT REGULATIONS.
 5. ALL CONSTRUCTION WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE SPECIFICATIONS FOUND IN SECTION 5 OF THE TOWN OF HINGHAM PLANNING BOARD RULES AND REGULATIONS ADOPTED UNDER THE SUBDIVISION CONTROL LAW AS AMENDED THROUGH SEPTEMBER 11, 2018 AND BECOME FAMILIAR WITH THEM AND ALL REQUIRED INSPECTIONS AS MANDATED BY THEM.

SEPTIC DESIGN PERMITS ARE REQUIRED FOR ALL DWELLINGS PROPOSED IN THIS SUBDIVISION

DATE SUBMITTED: _____
 DATE APPROVED: _____
 DATE ENDORSED: _____

 HINGHAM BOARD OF HEALTH

FOR REGISTRY USE ONLY

APPROVAL UNDER SUBDIVISION CONTROL LAW IS REQUIRED

DATE SUBMITTED: _____
 DATE APPROVED: _____
 DATE ENDORSED: _____

 HINGHAM PLANNING BOARD

APPROVED _____, SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY SHEPARD INVESTMENTS, LLC, DATED _____ AND RECORDED HERewith IN THE PLYMOUTH COUNTY REGISTRY OF DEEDS.

I, EILEEN McCracken, CLERK OF THE TOWN OF HINGHAM, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT FOLLOWING SUCH RECEIPT AND RECORDING OF SAID NOTICE.

DATE _____ TOWN CLERK _____

OWNER
 JACQUELINE B. MURRAY AND
 KENNETH J. MURRAY, TRUSTEES
 192 NEPONSET STREET
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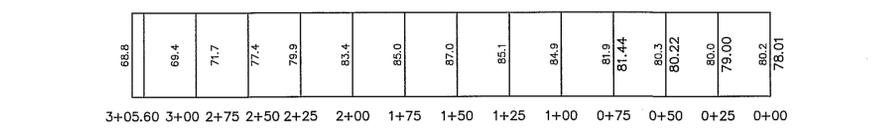
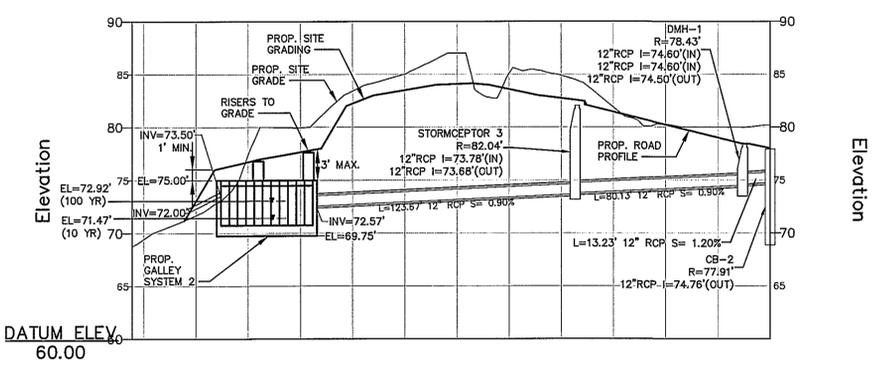
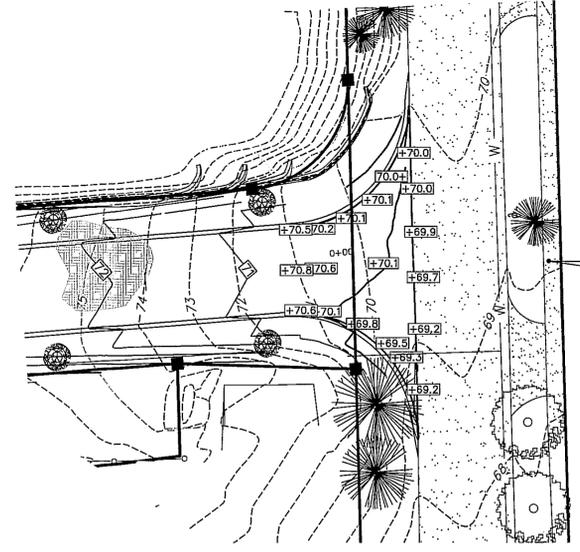
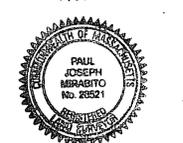
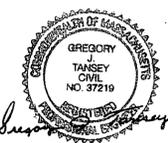
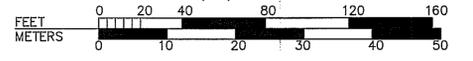
APPLICANT
 SHEPARD INVESTMENTS, LLC
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 37 DERBY STREET, SUITE ONE
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COREY'S WAY
 MODIFIED SUBDIVISION PLAN
 SITE PLAN
 FOR
 213 CUSHING STREET
 IN
 HINGHAM, MASS.

SCALE: 1"=40' FEBRUARY 25, 2020

ROSS ENGINEERING COMPANY INC.
 PROFESSIONAL ENGINEERS - LAND SURVEYORS

683 MAIN STREET
 NORWELL, MASS. 02061
 (781)659-1325



PROFILE
 1"=40 (HORIZ.)
 1"=8 (VERT.)

NO.	DATE	DESCRIPTION	BY
4	9-21-20	RESP TO PB MTG COMMENTS	GJT
3	8-27-20	RESP TO PB MTG COMMENTS	GJT
2	4-27-20	RESP TO COMMENT LTR 4/6/20	GJT
1	3-24-20	MOVE GRADING OUT OF 100' BUF.	GJT

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

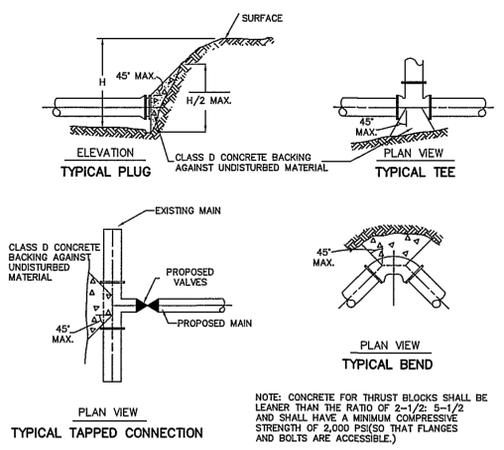
Paul J. Mrazicko
 PROFESSIONAL LAND SURVEYOR
 9-21-2020
 DATE

**MATERIAL SPECIFICATIONS
WATER MAINS AND APPURTENANCES**

- 1.0 RESILIENT SEATED WEDGE GATE VALVES
 - 1.1 Valves shall be iron body, bi-directional, resilient type, designed for 200 psi working pressure and conform to the latest revision of AWWA C-509-87.
 - 1.2 Valves shall have O ring seals, non-raising seam and 2" operating nut. Valves shall open LEFT.
 - 1.3 Valves shall have mechanical joint end, unless otherwise noted.
 - 1.4 Valves interiors and exteriors shall be epoxy coated in accordance with AWWA Specification C-550.
 - 1.5 Valves shall be as manufactured Mueller, Clow or American Darling.
- 2.0 VALVE BOXES
 - 2.1 Valve boxes shall be cast iron, tar coated, telescoping heavy pattern type, consisting of flanged bottom, flanged top and cover with the word "WATER" cast in the cover.
- 3.0 FITTINGS
 - 3.1 Fittings shall be full flow, compact size conforming to the latest revision of AWWA Specification C-153 and have a working pressure rating of 200psi.
 - 3.2 Unless otherwise approved, all fittings shall have mechanical joint ends with appropriate glands, gaskets, nuts, bolts and accessories.
 - 3.3 Restrained joints for mechanical joint fittings shall be mechanical as manufactured by Ebbra Iron Co.
- 4.0 DUCTILE IRON PIPE
 - 4.1 All ductile iron pipe shall be designed in accordance with ANS A21.50 and manufactured in accordance with ANS A21.51.
 - 4.2 All ductile iron pipe shall be cement lined class 52 with an exterior tar coat in accordance with ANS 21.50/SAWWA C150/AWWA C111.
 - 4.3 All ductile iron pipe shall be cement lined in accordance with ANS A21.4.
 - 4.4 All pipe joints shall be of the bell spigot type.
- 5.0 METALLIC INDICATOR TAPE
 - 5.1 Metallic indicator tape with "CAUTION WATER MAIN BURIED BELOW" shall be placed in trench 1' from final grade.
- 6.0 CORPORATION STOP
 - 6.1 The corporation stop shall be of all bronze constructions. The inlet thread shall be of C.C. type. Outlet connections shall be compression suitable for use with type K copper tubing.
 - 6.2 For purposes of standardization, corporation stop shall be Model F-1000CC as manufactured by the Ford Meter Box Co.
- 7.0 CURB STOPS
 - 7.1 Curb stops shall be of all bronze construction with a drain and inlet and outlet compression connection suitable for use with type K copper tubing. Curb stops shall open LEFT.
 - 7.2 For purposes of standardization, the curb stop shall be Model No. 244-444SW as manufactured by the Ford Meter Box Co.
- 8.0 CURB BOX
 - 8.1 The curb box shall be cast iron tar coated telescoping "Erie" type with rod, consisting of a bottom, top and cover secured by a pentagon nut.
- 9.0 SADDLES
 - 9.1 Saddles for service connections shall be all brass with a minimum 1" CC outlet.
 - 9.2 For the purposes of standardization, the saddle shall be Model 202-BS-1110x40C as manufactured by the Ford Meter Co.
- 10 SERVICE CONNECTIONS
 - 10.1 All service connections shall consist of a saddle, corporation stop, curb stop, curb box, copper type K tubing, stainless steel inserts and metallic indicator tape.
- 11 HYDRANTS
 - 11.1 All hydrants shall be the Mueller Super Centurion.

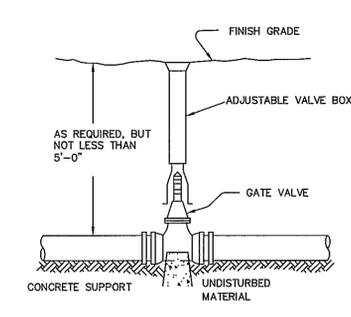
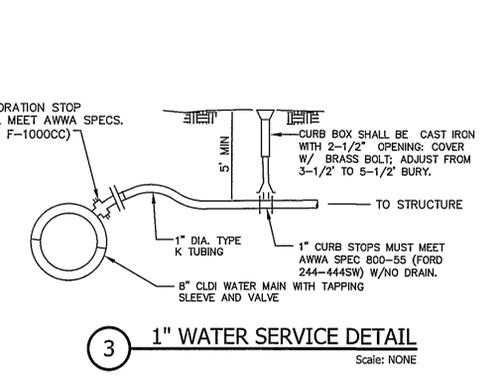
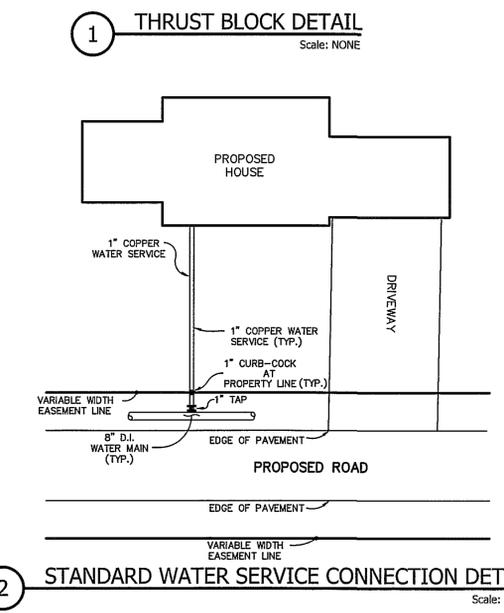
NOTE: THE ABOVE SPECIFICATIONS ARE SUBJECT TO ANY ALTERNATIVE REQUIREMENTS BY THE AQUARIAN WATER COMPANY OF MASSACHUSETTS.

1. UTILITY INFORMATION SHOWN ON THIS PLAN IS BASED ON BOTH FIELD SURVEY AND PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND UTILITY PIPES, CONDUITS, AND STRUCTURES ARE APPROXIMATE ONLY. THE INFORMATION SHOWN HEREON IS BASED ON AVAILABLE PUBLIC AND PRIVATE RECORDS, AND SHOULD BE USED ONLY AS A WARNING TO THE PRESENCE OF UTILITIES IN THE VICINITY OF THE PROPOSED WORK. PRIOR TO ANY EXCAVATION OR OTHER WORK WHICH COULD DISTURB UTILITY PLANTS, THE CONTRACTOR SHALL CONSULT WITH THE PROPER UTILITY AUTHORITIES TO VERIFY THE LOCATION OF ALL UTILITY PLANT IN THE LOCUS, AND TO DEVELOP THE PROCEDURES TO BEST PROTECT SAID PLANT.
2. AS PRESCRIBED BY LAW, THE CONTRACTOR SHALL CALL THE "DIG-SAFE" CALL CENTER AT 1-800-322-4844 AT LEAST 72 HOURS PRIOR TO THE START OF WORK TO HAVE THE UTILITIES FIELD LOCATED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXERCISE PROPER CARE AND JUDGEMENT TO CONSTRUCT THE WORK SHOWN ON THIS PLAN IN A SAFE AND WORKMAN LIKE MANNER.
3. ANY CHANGE IN FIELD CONDITIONS SHOULD BE REPORTED TO THE ENGINEER TO INSURE THAT ANY MODIFICATIONS TO THE ORIGINAL DESIGN ARE PROPER AND ADEQUATE TO SERVE THE PROJECT'S NEEDS, AND COMPLY WITH APPLICABLE STANDARDS, AND REGULATIONS.
4. CONTRACTOR SHALL CHECK WITH THE HINGHAM DPW TO ENSURE THAT ALL MATERIALS CHOSEN MEET OR EXCEED TOWN SPECIFICATIONS AND STANDARDS.

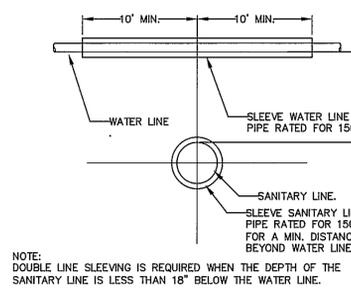


BEARING AREAS OF THRUST BLOCKS (BEARING AREA IN SQUARE FT.)

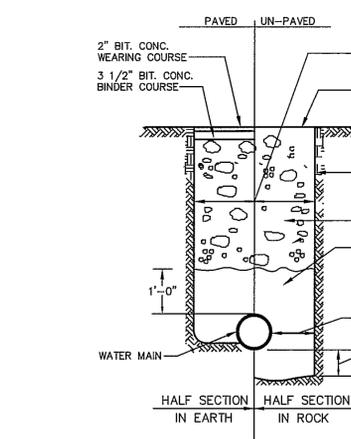
PIPE SIZE INCHES	1/4 BEND	1/8 BEND	1/16 BEND	PLUG TEES
6 AND 8	10	8	-	8
10 AND 12	22	13	8	16



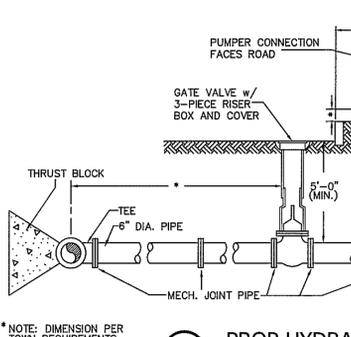
4 GATE VALVE DETAIL Scale: NONE



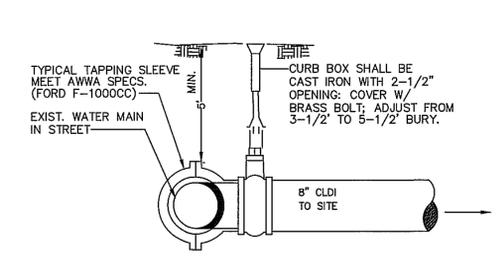
5 WATER MAIN CROSSING DETAIL Scale: NONE



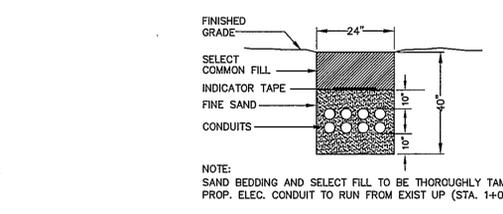
6 TYPICAL WATER MAIN TRENCH DETAIL Scale: NONE



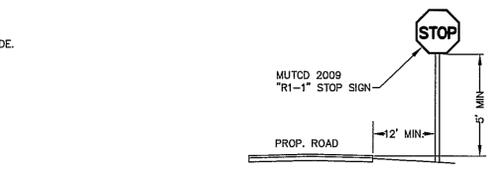
7 PROP HYDRANT DETAIL Scale: NONE



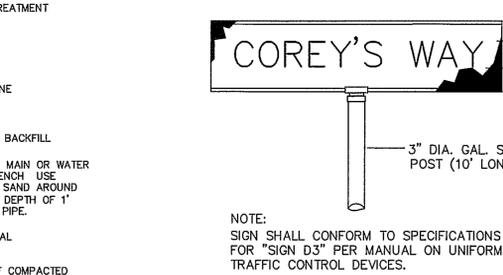
8 WATER MAIN CONNECTION TAP DETAIL Scale: NONE



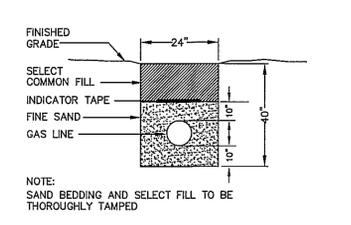
9 ELECTRIC CONDUIT DETAIL Scale: NONE



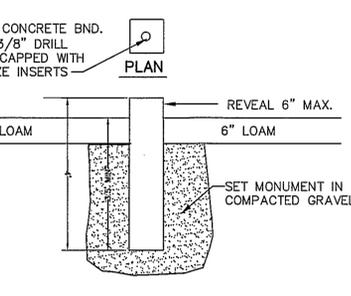
10 STOP SIGN LOCATION DETAIL Scale: NONE



11 STREET SIGN DETAIL Scale: NONE



12 GAS LINE DETAIL Scale: NONE



13 CONCRETE MONUMENT DETAIL Scale: NONE

FOR REGISTRY USE ONLY

APPROVAL UNDER SUBDIVISION CONTROL LAW IS REQUIRED

DATE SUBMITTED: _____

DATE APPROVED: _____

DATE ENDORSED: _____

HINGHAM PLANNING BOARD

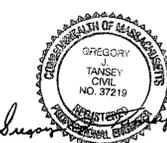
SEPTIC DESIGN PERMITS ARE REQUIRED FOR ALL DWELLINGS PROPOSED IN THIS SUBDIVISION

DATE SUBMITTED: _____

DATE APPROVED: _____

DATE ENDORSED: _____

HINGHAM BOARD OF HEALTH



I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

Paul J. Miodini 9-21-2020
PROFESSIONAL LAND SURVEYOR DATE

OWNER
JACQUELINE B. MURRAY AND KENNETH J. MURRAY, TRUSTEES
192 NEPONSET STREET
CANTON, MA 02021

APPLICANT
SHEPARD INVESTMENTS, LLC
c/o ROBERT SHEPARD
37 DERBY STREET, SUITE ONE
HINGHAM, MA 02043

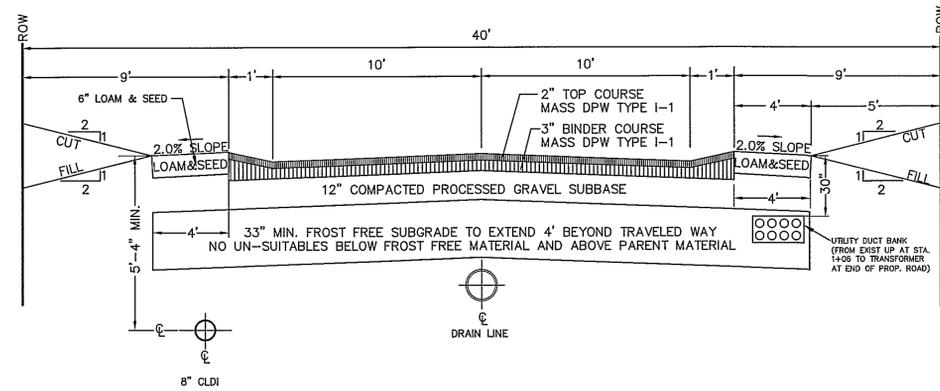
APPROVED _____, SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY SHEPARD INVESTMENTS, LLC, DATED _____ AND RECORDED HERewith IN THE PLYMOUTH COUNTY REGISTRY OF DEEDS.

I, EILEEN McCracken, CLERK OF THE TOWN OF HINGHAM, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT FOLLOWING SUCH RECEIPT AND RECORDING OF SAID NOTICE.

DATE _____ TOWN CLERK _____

NO.	DATE	DESCRIPTION	BY
4	9-21-20	RESP TO PB MTG COMMENTS	GJT
3	8-27-20	RESP TO PB MTG COMMENTS	GJT
2	4-27-20	RESP TO COMMENT LTR 4/6/20	GJT
1	3-24-20	MOVE GRADING OUT OF 100' BUF.	GJT

COREY'S WAY
MODIFIED SUBDIVISION PLAN
SITE DETAILS PLAN I
FOR
213 CUSHING STREET
IN
HINGHAM, MASS.
SCALE: AS SHOWN FEBRUARY 25, 2020
ROSS ENGINEERING COMPANY INC.
PROFESSIONAL ENGINEERS - LAND SURVEYORS
683 MAIN STREET
NORWELL, MASS. 02061
(781)659-1325



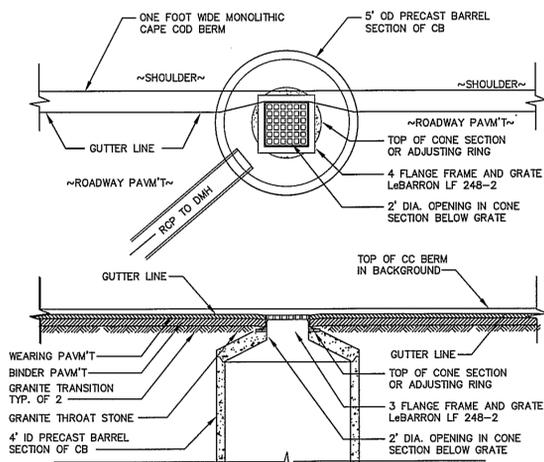
NOTES:

- STANDARD SUB GRADE MATERIAL SHALL CONTAIN NOT MORE THAN TEN (10) PERCENT PASSING THE #200 MESH SIEVE AND NOTHING LARGER THAN 3" WITHIN 3 FEET OF FINISHED GRADE PAVEMENT. SUCH MATERIAL SHALL BE DEPOSITED IN LAYERS OF NOT MORE THAN TWELVE (12) INCHES FOR THE FULL WIDTH SO AS TO FORM A ROADWAY FOUNDATION WHICH SHALL AT ALL POINTS BE PARALLEL TO THE FINISHED GRADE OF THE ROADWAY SURFACE. THE SUBGRADE MATERIAL SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST, IN ACCORDANCE WITH ASTM D-1557-66T, METHOD "D". NOTHING LARGER THAN 3" WITHIN 3' OF FINISHED GRADE PAVEMENT.
- PROPOSED ROADWAY PROCESSED GRAVEL FOUNDATION SUBBASE SHALL BE PLACED IN 6" LIFTS COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST, IN ACCORDANCE WITH ASTM D-1557-78, METHOD "D". SUCH ROADWAY FOUNDATION MATERIAL SHALL CONFORM TO THE GRADATION AS SPECIFIED BELOW.

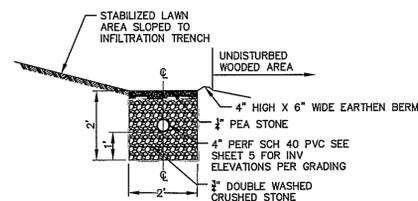
12" COMPACTED PROCESSED GRAVEL FOUNDATION SUBBASE GRADATION SPECIFICATION

SIEVE SIZE	% OF PASSING BY WEIGHT	SIEVE SIZE	% OF PASSING BY WEIGHT	SIEVE SIZE	% OF PASSING BY WEIGHT
3"	100	1/2"	48-85	20	15-43
2"	95-100	3/8"	44-80	40	8-34
1"	60-100	#4	33-68	80	2-22
3/4"	55-95	#10	23-55	200	0-10
				.02 mm	0-3

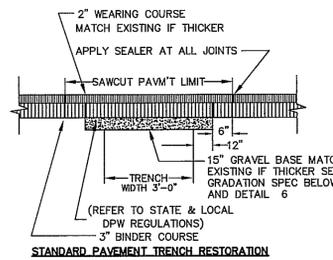
1 STANDARD PAVEMENT SECTION DETAILS Scale: NONE



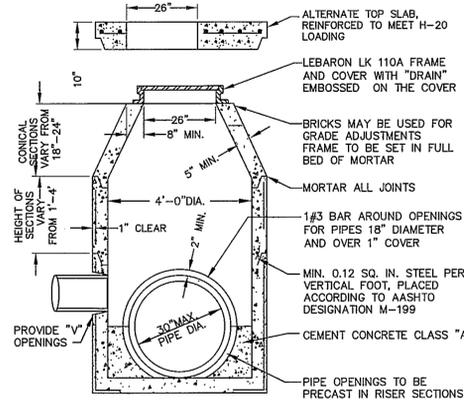
2 CC BERM AT CATCHBASIN GRATES DETAIL Scale: NONE



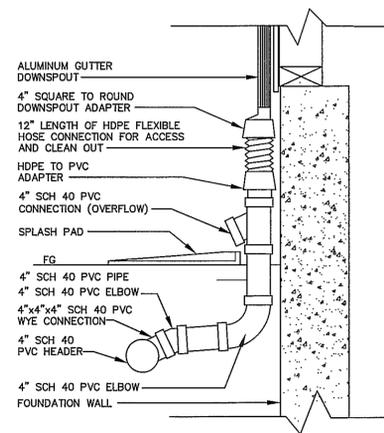
3 INFILTRATION TRENCH DETAIL Scale: NONE



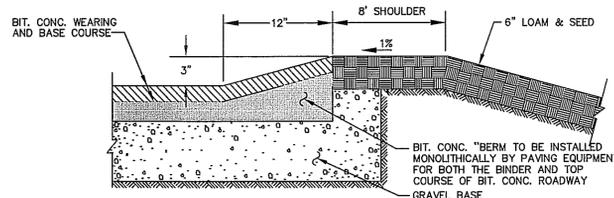
4 TRENCH PAVEMENT DETAILS Scale: NONE



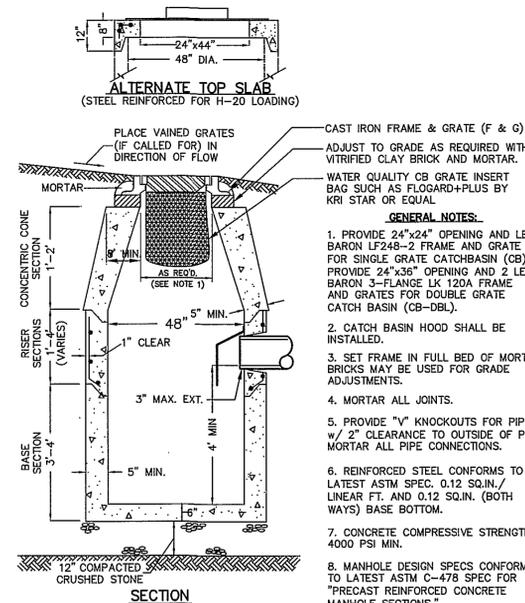
5 STANDARD DRAIN MANHOLE DETAIL Scale: NONE



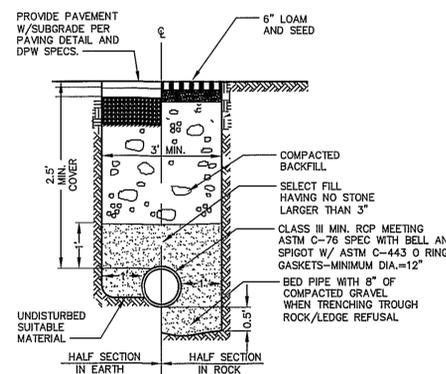
6 DOWNSPOUT HEADER CONNECTION DETAIL Scale: NONE



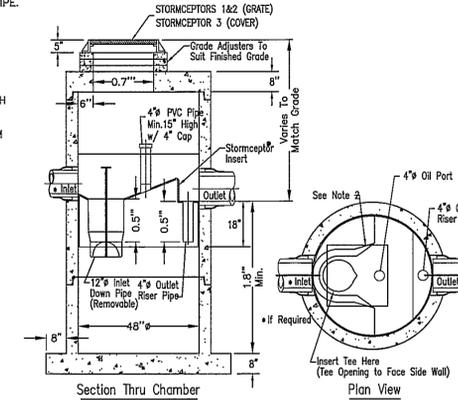
7 BITUMINOUS CONC. BERM DETAIL Scale: NONE



8 STANDARD CATCHBASIN DETAIL Scale: NONE



9 DRAINLINE TRENCHING DETAIL Scale: NONE



10 STORMCEPTOR STC 450i DETAIL Scale: NONE

FOR REGISTRY USE ONLY

APPROVAL UNDER SUBDIVISION CONTROL LAW IS REQUIRED

DATE SUBMITTED: _____

DATE APPROVED: _____

DATE ENDORSED: _____

HINGHAM PLANNING BOARD

SEPTIC DESIGN PERMITS ARE REQUIRED FOR ALL DWELLINGS PROPOSED IN THIS SUBDIVISION

DATE SUBMITTED: _____

DATE APPROVED: _____

DATE ENDORSED: _____

HINGHAM BOARD OF HEALTH

CONDITIONS SET FORTH IN A COVENANT EXECUTED BY SHEPARD INVESTMENTS, LLC, DATED _____ AND RECORDED HERewith IN THE PLYMOUTH COUNTY REGISTRY OF DEEDS.

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

Paul J. Murrato 9-21-2020
PROFESSIONAL LAND SURVEYOR DATE



OWNER
JACQUELINE B. MURRAY AND
KENNETH J. MURRAY, TRUSTEES
192 NEPONSET STREET
CANTON, MA 02021

APPLICANT
SHEPARD INVESTMENTS, LLC
c/o ROBERT SHEPARD
37 DERBY STREET, SUITE ONE
HINGHAM, MA 02043

COREY'S WAY
MODIFIED SUBDIVISION PLAN
SITE DETAILS PLAN II

FOR
213 CUSHING STREET
IN

HINGHAM, MASS.

SCALE: AS SHOWN FEBRUARY 25, 2020

ROSS ENGINEERING COMPANY INC.
PROFESSIONAL ENGINEERS - LAND SURVEYORS

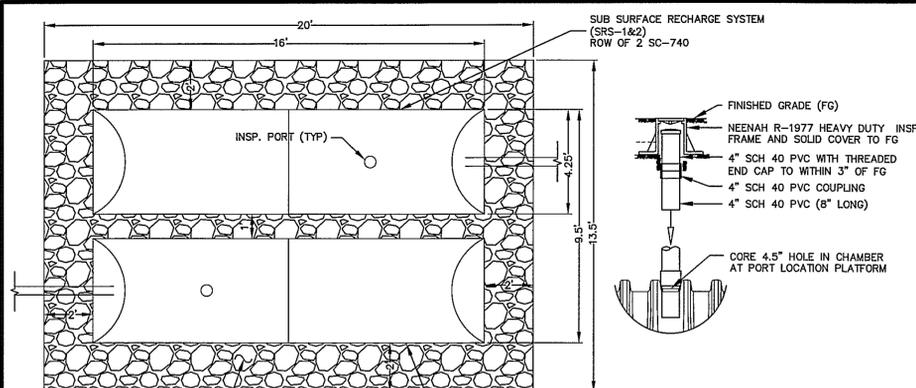
683 MAIN STREET
NORWELL, MASS. 02061
(781)659-1325

I, EILEEN McCracken, CLERK OF THE TOWN OF HINGHAM, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT FOLLOWING SUCH RECEIPT AND RECORDING OF SAID NOTICE.

DATE _____ TOWN CLERK _____

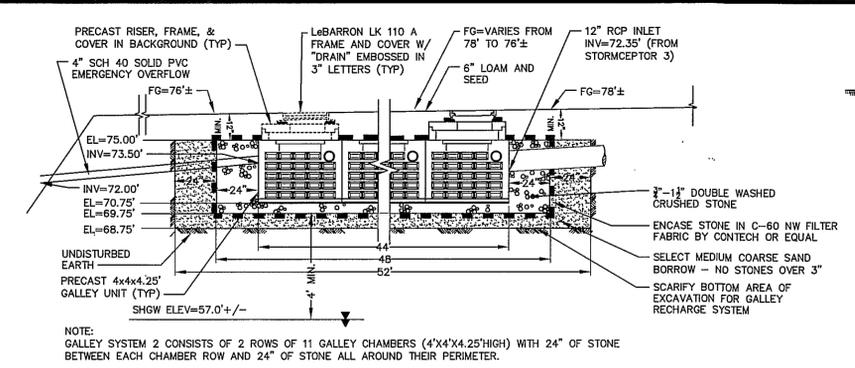
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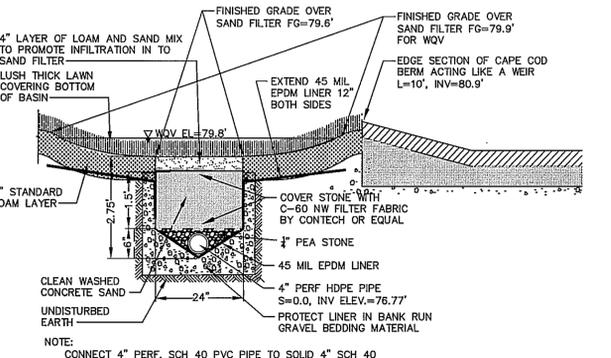


	ELEV A	ELEV B	ELEV C	ELEV D	ELEV E	ELEV F
SRS 1	80.5'	81.0'	82.86'	83.5'	84.0'	84.5'
SRS 2	72.5'	73.0'	74.86'	75.5'	76.0'	76.5'

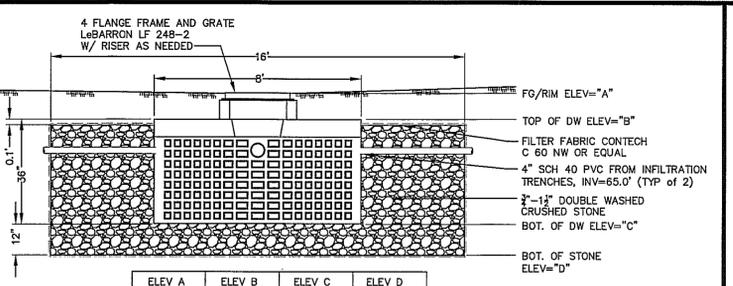
1 SRS 1&2 DETAIL
Scale: NONE



3 SUBSURFACE GALLEY RECHARGE SYSTEM 2 DETAIL
Scale: NONE

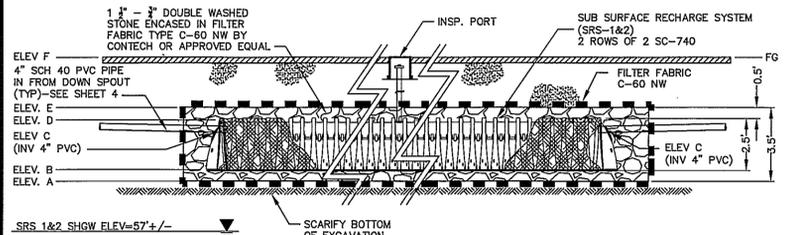


4 SAND FILTER DETAIL
Scale: NONE



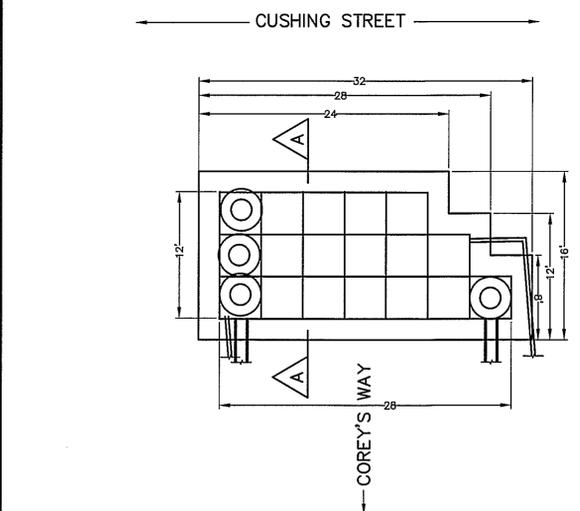
	ELEV A	ELEV B	ELEV C	ELEV D
DW 1	67.5'	66.0'	63.0'	62.0'

7 DRYWELL DETAIL
Scale: NONE

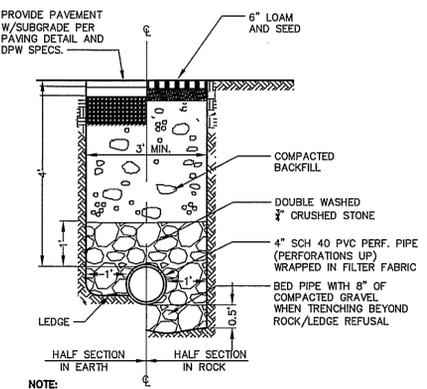


	ELEV A	ELEV B	ELEV C	ELEV D	ELEV E	ELEV F
SRS 3	74.0'	74.5'	76.36'	77.0'	77.5'	80.5'

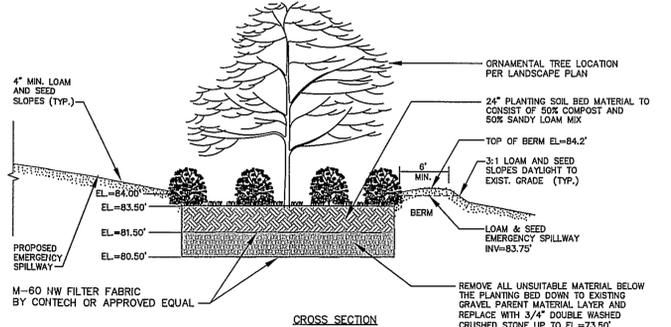
5 SRS 3 DETAIL
Scale: NONE



2 SUBSURFACE GALLEY RECHARGE SYSTEM 1 DETAIL
Scale: NONE



6 ROADWAY UNDERDRAIN DETAIL
Scale: NONE



- NOTES:
- BIO-RETENTION PLANTER SYSTEM IS DESIGNED TO INFILTRATE.
 - REFER TO PLAN FOR TOP OF BERM ELEVATIONS AND HORIZONTAL LIMITS.
 - LIGHT EARTH MOVING EQUIPMENT IS TO BE USED DURING CONSTRUCTION TO REDUCE COMPACTION OF BASIN BOTTOM.
 - PLANTER SYSTEM FLOOR IS TO BE DEEPLY TILLED AFTER FINAL GRADING.
 - PROPER EROSION SEDIMENT CONTROLS SHOULD BE UTILIZED DURING CONSTRUCTION TO PREVENT SEDIMENT AND/OR DEBRIS FROM ENTERING THE RAIN GARDEN.
 - FILL FOR BERM SHALL BE A COMPACTED COMBINATION OF GRAVEL, SAND AND SILT TO INSURE WATER TIGHTNESS AND STABILITY.
 - NATIVE PLANT MATERIAL SHALL BE USED TO SIMULATE A FOREST-SHRUB COMMUNITY OF PRIMARILY UPLAND TYPE. SHRUBS SHALL DOMINATE THE PERIMETER OF THE PLANTER SYSTEM WITH HERBACEOUS SPECIES THAT ARE ADAPTED TO MOISTURE CONDITIONS. SIMILAR PLANTINGS SHALL BE SELECTED FOR BOTTOM AREAS OF THE PLANTER SYSTEM. ORNAMENTAL TREES PER LANDSCAPE PLAN SPEC AND SCHEDULE.

8 BIO-RETENTION PLANTER SYSTEM DETAIL
Scale: NONE

FOR REGISTRY USE ONLY

APPROVAL UNDER SUBDIVISION CONTROL LAW IS REQUIRED

DATE SUBMITTED: _____
DATE APPROVED: _____
DATE ENDORSED: _____

HINGHAM PLANNING BOARD

SEPTIC DESIGN PERMITS ARE REQUIRED FOR ALL DWELLINGS PROPOSED IN THIS SUBDIVISION

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HINGHAM BOARD OF HEALTH

CONDITIONS SET FORTH IN A COVENANT EXECUTED BY SHEPARD INVESTMENTS, LLC, DATED _____ AND RECORDED HERewith IN THE PLYMOUTH COUNTY REGISTRY OF DEEDS.

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.



Paul J. Marabito
PROFESSIONAL LAND SURVEYOR 9-21-2020 DATE



OWNER
JACQUELINE B. MURRAY AND KENNETH J. MURRAY, TRUSTEES
192 NEPONSET STREET
CANTON, MA 02021

APPLICANT
SHEPARD INVESTMENTS, LLC
c/o ROBERT SHEPARD
37 DERBY STREET, SUITE ONE
HINGHAM, MA 02043
COREY'S WAY

MODIFIED SUBDIVISION PLAN
SITE DETAILS PLAN II

FOR
213 CUSHING STREET
IN

HINGHAM, MASS.

SCALE: AS SHOWN FEBRUARY 25, 2020

ROSS ENGINEERING COMPANY INC.
PROFESSIONAL ENGINEERS - LAND SURVEYORS

683 MAIN STREET
NORWELL, MASS. 02061
(781)659-1325

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DATE TOWN CLERK

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Paul J. Mrazito
PROFESSIONAL LAND SURVEYOR

9-21-2020
DATE

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APPROVAL UNDER SUBDIVISION CONTROL LAW IS REQUIRED

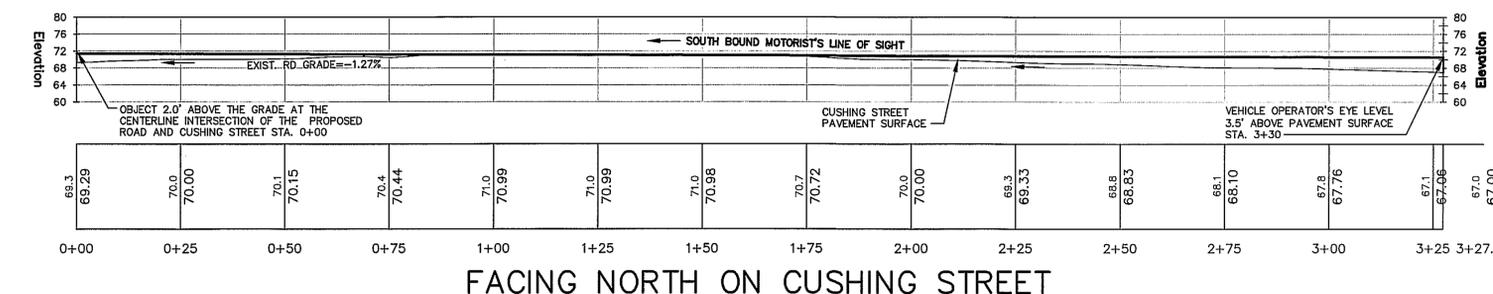
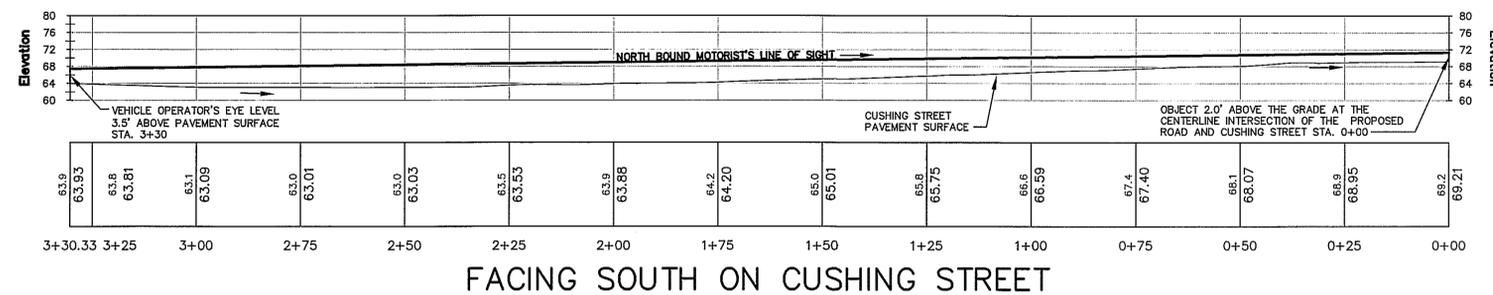
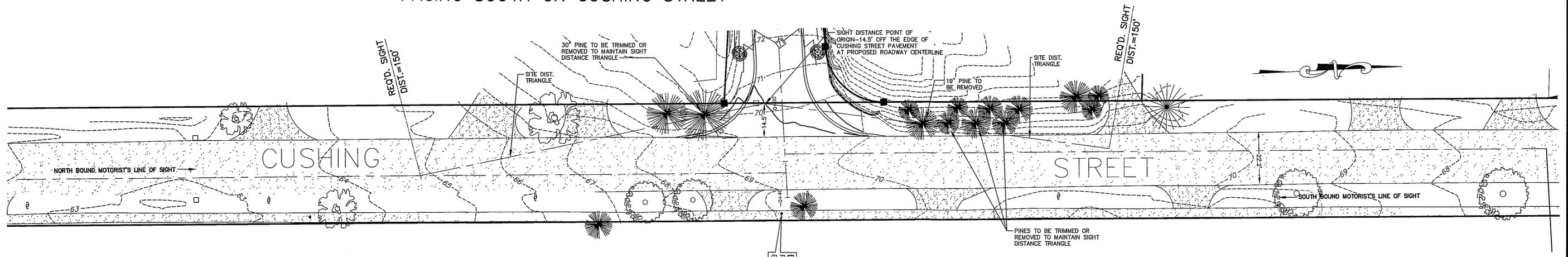
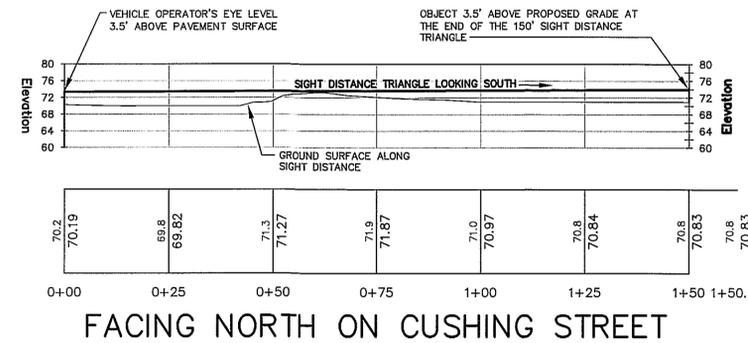
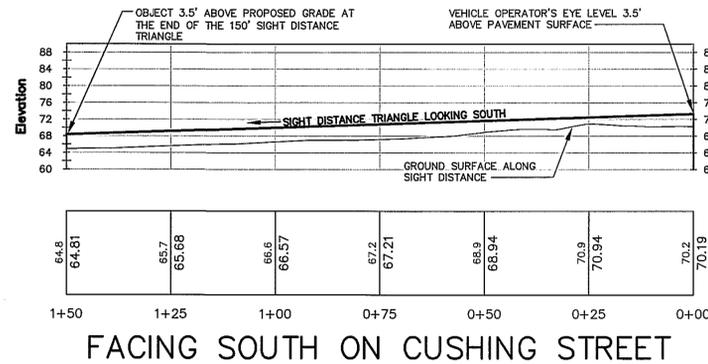
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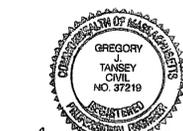
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HINGHAM BOARD OF HEALTH

HINGHAM PLANNING BOARD



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Gregory J. Tansey

OWNER
JACQUELINE B. MURRAY AND
KENNETH J. MURRAY, TRUSTEES
192 NEPONSET STREET
CANTON, MA 02021

APPLICANT
SHEPARD INVESTMENTS, LLC
c/o ROBERT SHEPARD
37 DERBY STREET, SUITE ONE
HINGHAM, MA 02043

APPROVED _____, SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY SHEPARD INVESTMENTS, LLC, DATED _____ AND RECORDED HERewith IN THE PLYMOUTH COUNTY REGISTRY OF DEEDS.

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DATE _____ TOWN CLERK _____

COREY'S WAY
MODIFIED SUBDIVISION PLAN
SIGHT DISTANCE PLAN
FOR
213 CUSHING STREET
IN
HINGHAM, MASS.

SCALE: 1"=20' FEBRUARY 25, 2020

ROSS ENGINEERING COMPANY INC.
PROFESSIONAL ENGINEERS - LAND SURVEYORS
683 MAIN STREET
NORWELL, MASS. 02061
(781)659-1325

