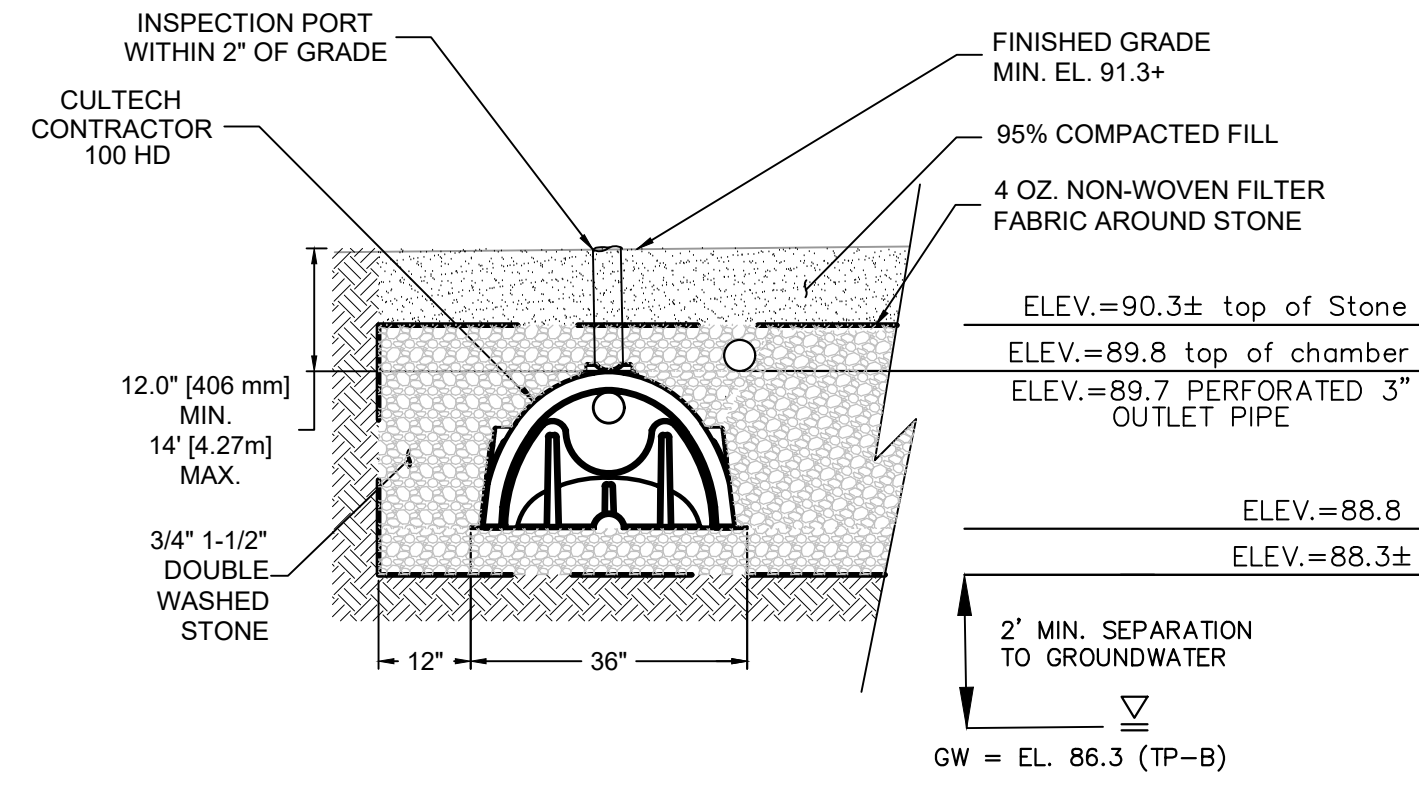
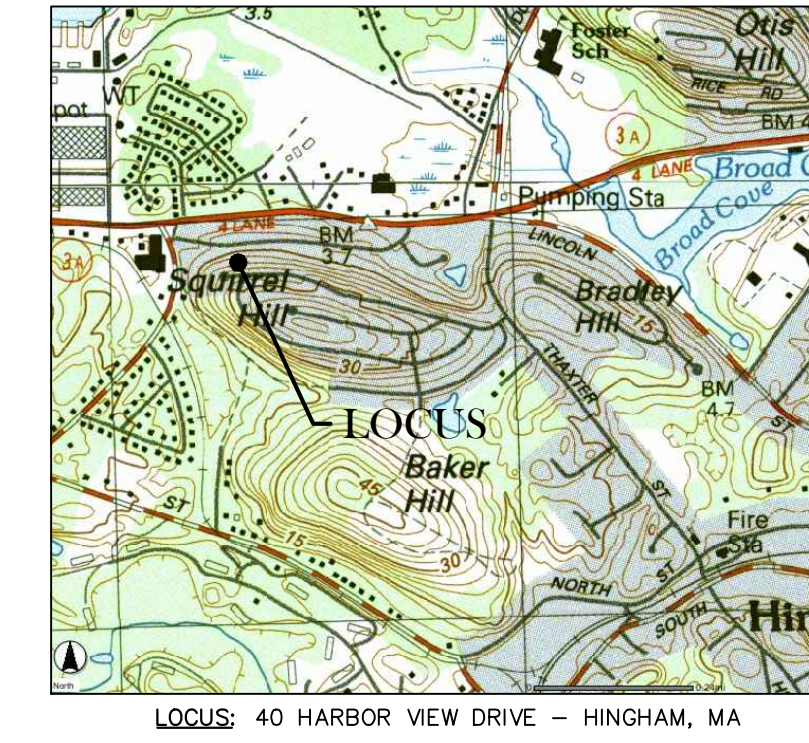


\*CONTRACTOR SHALL FOLLOW ALL MANUFACTURER'S SPECIFICATIONS.  
 17' X 18' STORMWATER INFILTRATION NO. 1  
 DETAIL



\*CONTRACTOR SHALL FOLLOW ALL MANUFACTURER'S SPECIFICATIONS.  
 17' X 18' STORMWATER INFILTRATION NO. 2  
 DETAIL



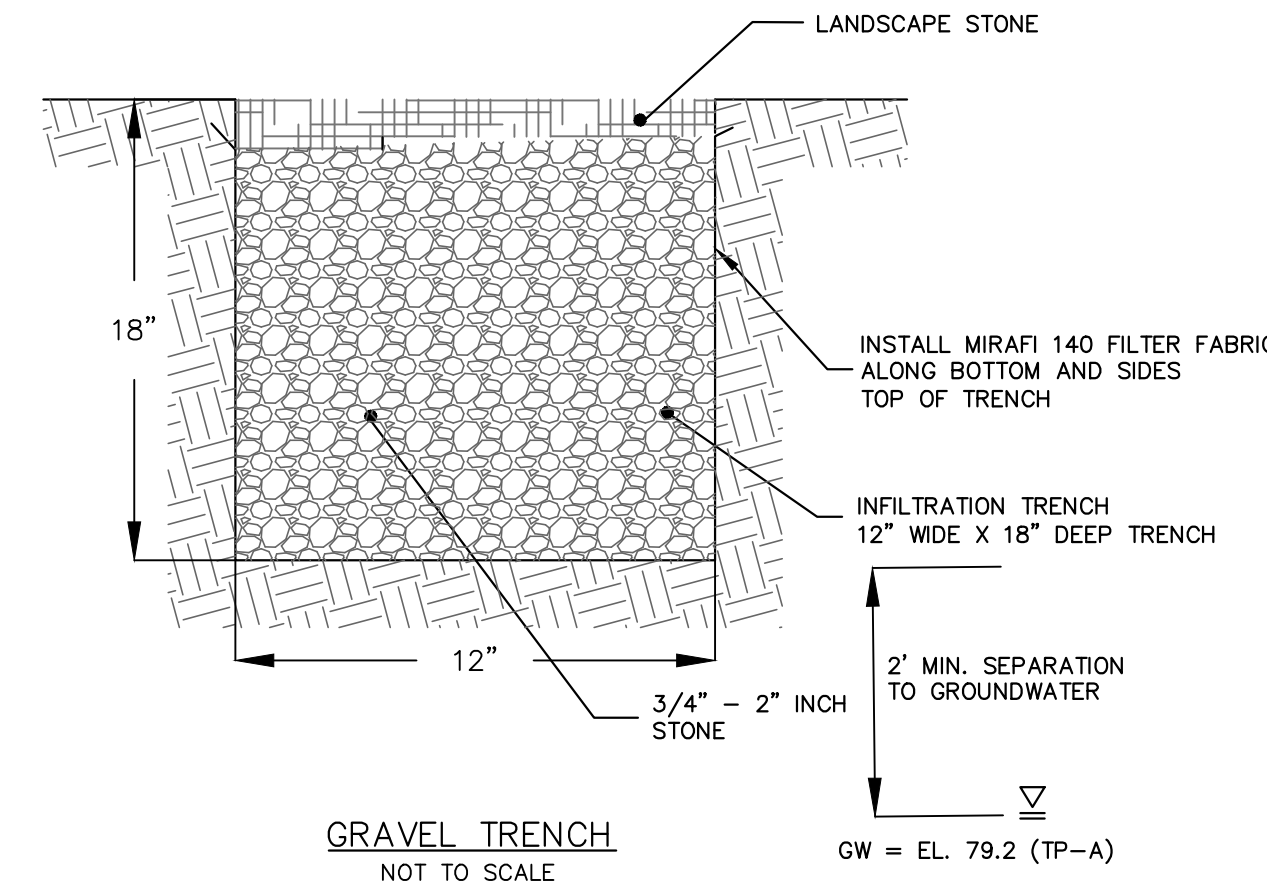
LOCUS: 40 HARBOR VIEW DRIVE - HINGHAM, MA



SOIL LOGS  
 Date: February 26, 2021  
 SOILS EVALUATOR: Brendan Sullivan P.E. - Cavanaro Consulting

TP No. A Gnd El. 84.2 G.W. El. 79.2	TP No. B Gnd El. 91.3 G.W. El. 86.3
0' A Horizon LOAMY	0' A Horizon LOAMY
6' FILL (ORIGINAL TOP-SUB SOIL STRIPPED)	6' FILL (ORIGINAL TOP-SUB SOIL STRIPPED)
20' C Horizon SILT LOAM	15' C Horizon SILT LOAM
60' Depth	60' Depth

Mottles @ 60"  
No Water  
No Weeping

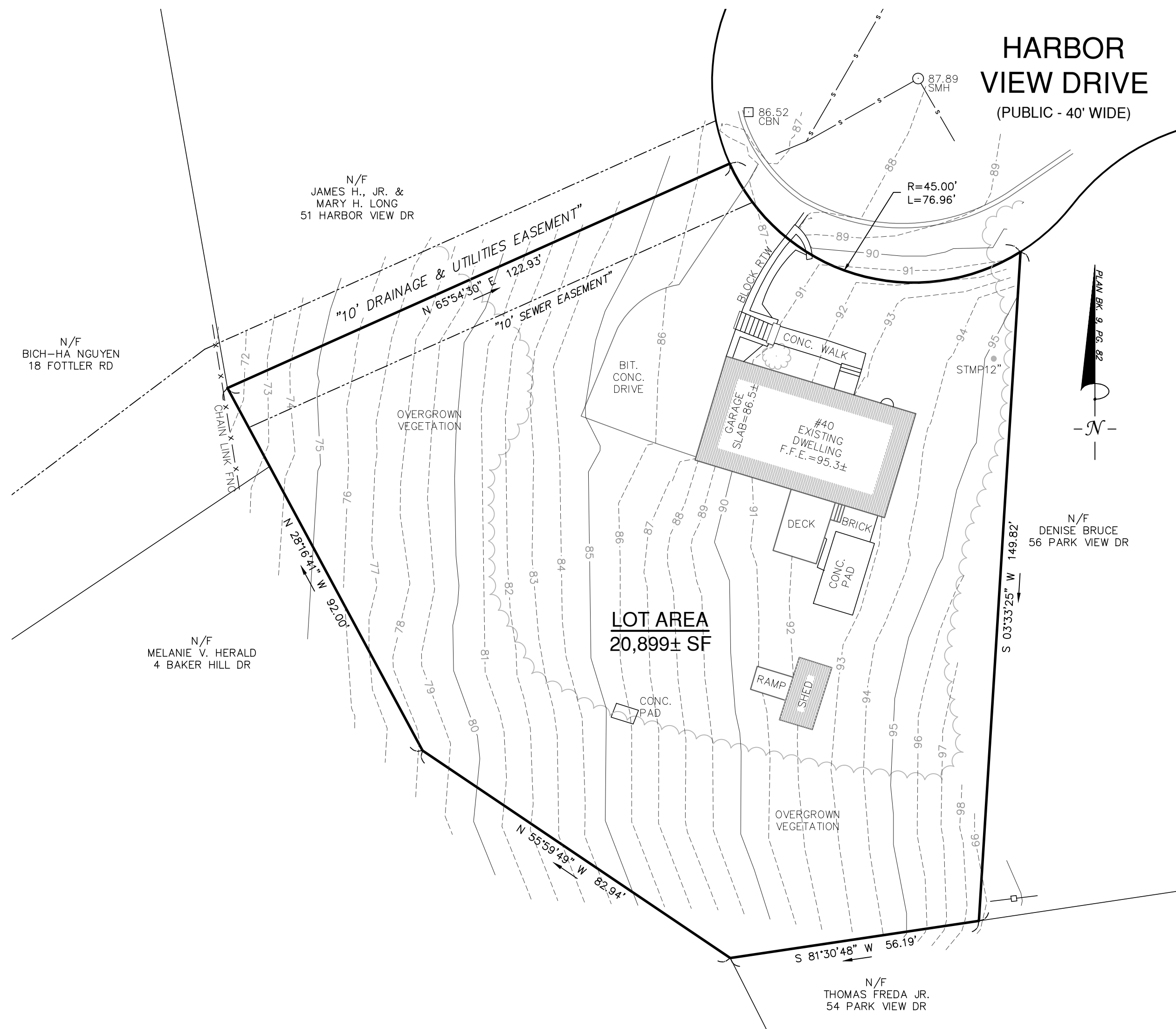


GRAVEL TRENCH  
 NOT TO SCALE

ZONING REQUIREMENTS  
 RESIDENCE DISTRICT "A"

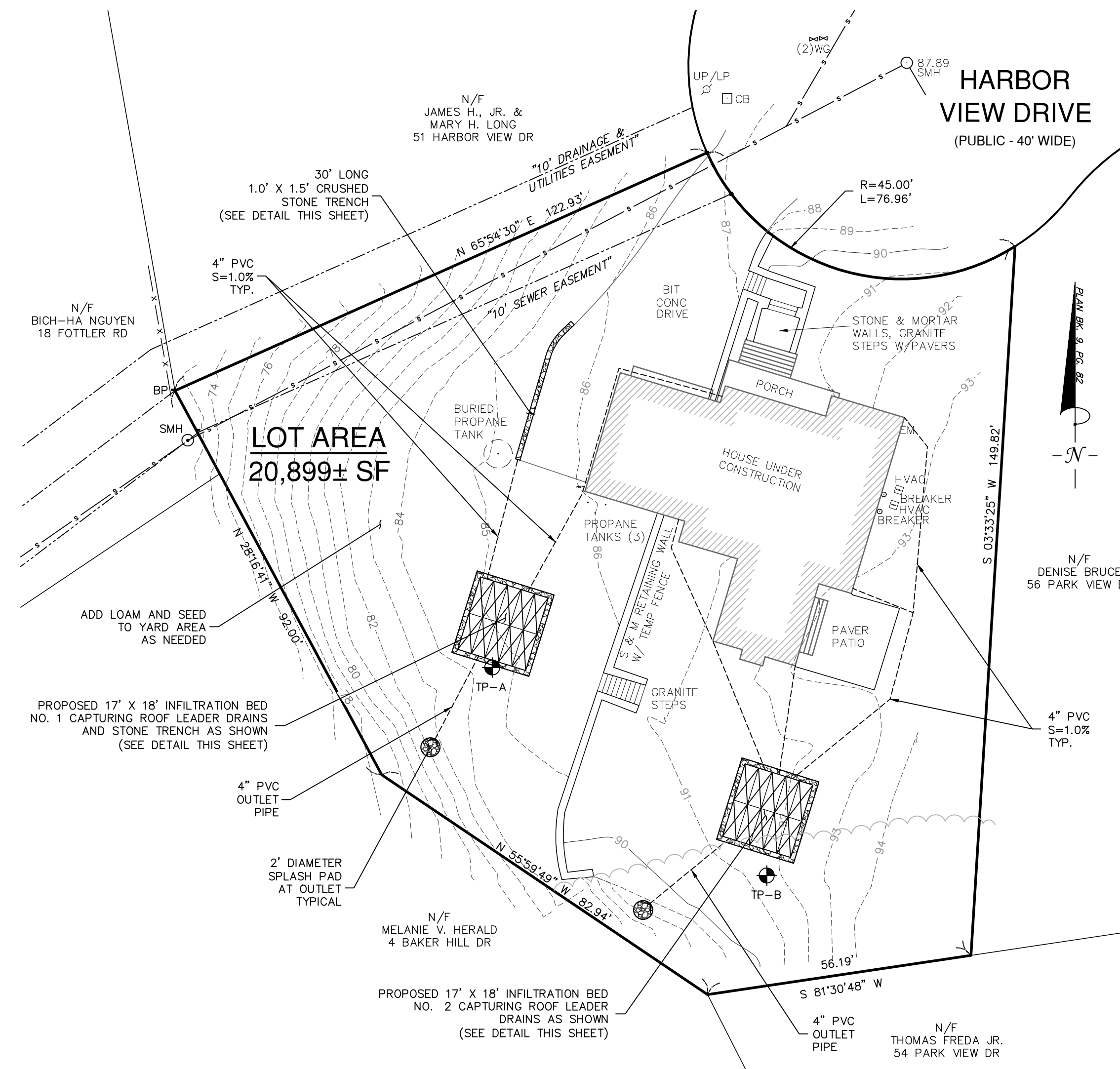
REQUIRED	REQUIRED
AREA	20,000 SF
FRONTAGE	125 FEET
BUILDING HEIGHT	35 FEET
MINIMUM YARDS:	
FRONT	25 FEET*
SIDE	15 FEET
REAR	15 FEET

\* IN ALL RESIDENCE DISTRICTS, THE FRONT SETBACK MAY BE AS NEAR THE STREET AS THE AVERAGE OF THE BUILDINGS OR STRUCTURES IN THE ADJOINING LOTS.  
 BUILDING INSPECTOR TO CONFIRM ALL SETBACKS.



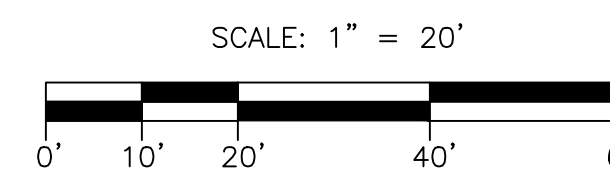
ORIGINAL CONDITIONS - 2019

1" = 20'



EXISTING CONDITIONS - 2021

1" = 20'



**CAVANARO CONSULTING**  
 687 MAIN STREET  
 P.O. BOX 5175  
 NORWELL, MASSACHUSETTS 02061  
 PHONE: 781.659.8187  
 FAX: 781.659.8186

**SITE PLAN TO ACCOMPANY  
 SITE PLAN REVIEW  
 40 HARBOR VIEW DRIVE**

PREPARED FOR:  
 APF DEVELOPMENT GROUP LLC  
 213 WOMPATUCK ROAD  
 HINGHAM, MA 02043

PROJECT NO. : 19122	DRAWING NO.
SCALE : AS SHOWN	<b>SP</b>
DATE : 4/6/21	
DESIGNED BY : BPS	SHEET NO. 1 OF 1
DRAWN BY : MM/BPS	FILENAME:
CHECKED BY : CCH	X\PROJECTS