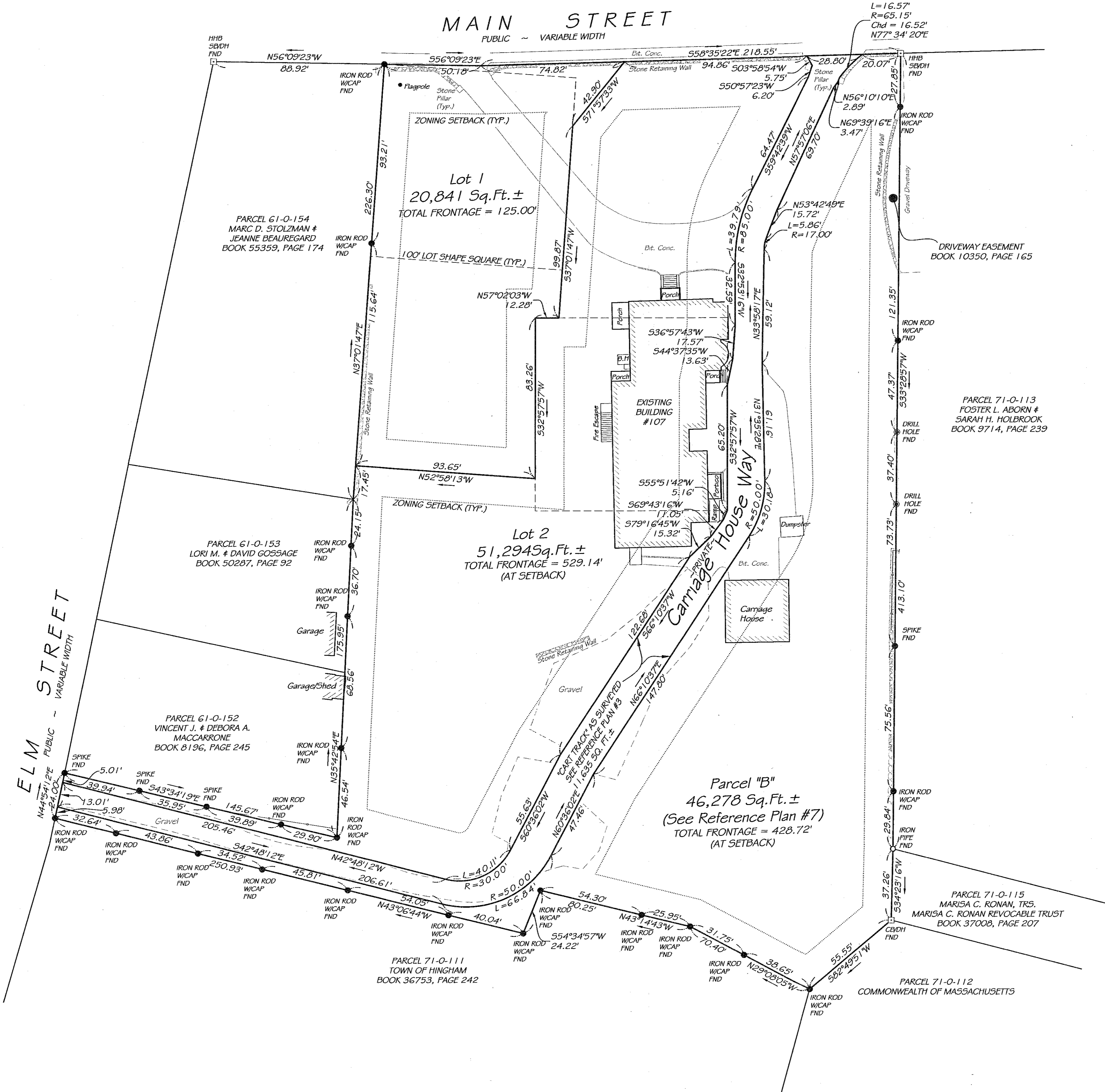


LOCATION MAP
1" = 2000'



Zoning Information

District: Residence A
 Minimum Lot Area: 20,000 Sq. Ft.
 Minimum Lot Frontage: 125'
 Minimum Front Setback: 25'
 Minimum Side Setback: 15'
 Minimum Rear Setback: 15'

NOTES:

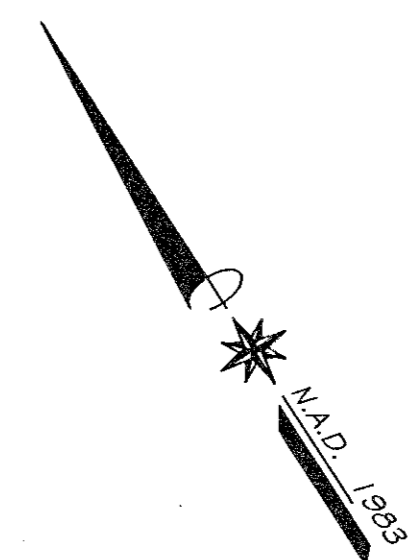
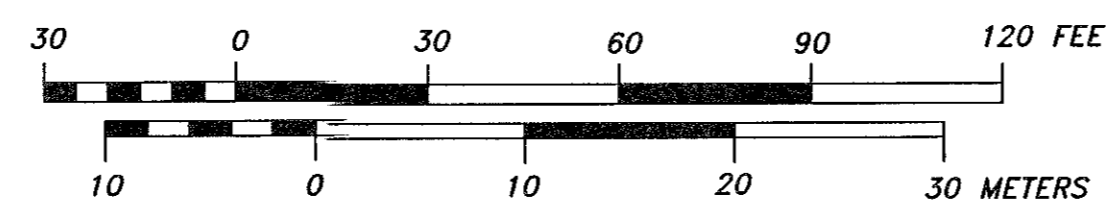
- 1.) PARCEL NUMBERS REFER TO THE TOWN OF HINGHAM ASSESSORS MAP.
- 2.) PARCEL 3" IS TO BE CONVEYED TO THE TOWN OF HINGHAM AND IS NOT TO BE CONSIDERED A SEPARATE BUILDABLE LOT..

HINGHAM PLANNING BOARD

APPROVAL UNDER THE SUBDIVISION CONTROL LAW NOT REQUIRED.

DATE: _____

PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE COMPLIANCE WITH APPLICABLE ZONING BYLAWS.



FOR REGISTRY USE ONLY

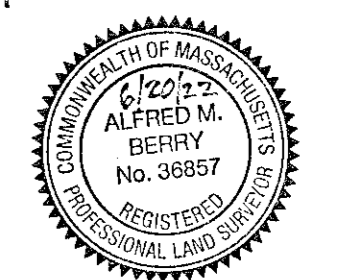
- LEGEND**
- DH DRILL HOLE
 - IP IRON PIPE
 - REBAR OR IRON ROD
 - STONE OR CONCRETE BOUND
 - STONE WALL

LOCUS REFERENCE
 FIRST PARISH CHURCH
 BOOK 2531, PAGE 172
 ASSESSORS PARCEL ID: 61-0-155

- REFERENCE PLANS**
- 1.) PLAN BOOK 1, PAGE 126.
 - 2.) PLAN BOOK 2, PAGE 804.
 - 3.) PLAN BOOK 4, PAGE 823.
 - 4.) PLAN BOOK 11, PAGE 11.
 - 5.) PLAN BOOK 21, PAGE 390.
 - 6.) PLAN BOOK 55, PAGE 811.
 - 7.) PLAN BOOK 66, PAGE 285.

CERTIFICATIONS
 I CERTIFY THAT THE PREPARATION OF THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

Alfred M. Berry
 PROFESSIONAL LAND SURVEYOR
 DATE 6/26/2022



Approval Not Required

Plan of Land
 in
 Hingham, Massachusetts
 Prepared For
 Dover Mill, LLC

RECEIVED
 JUN 21 2022
 Town Clerk
 Hingham, MA

ALFRED M. BERRY, P.L.S.
 129 South Main Street, PO Box 188
 ATHOL, MA 01331
 (508) 277-1161

DATE:	6/18/2022
JOB NO.:	
SCALE:	1" = 30'
DWG NAME:	Hingham-Main St - 107
PLAN NO.:	
SHEET:	1 OF 1