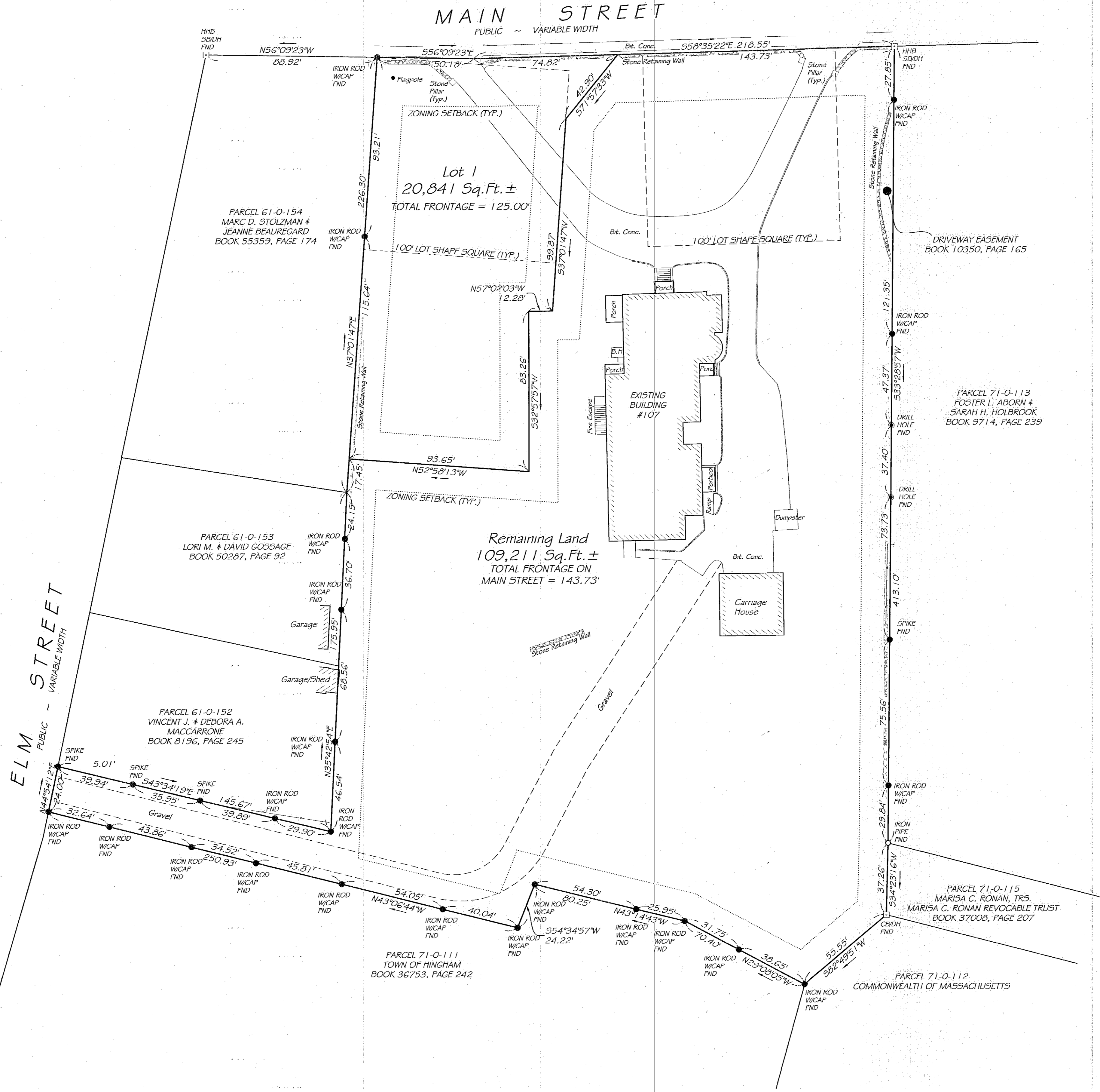


LOCATION MAP
1" = 2000'

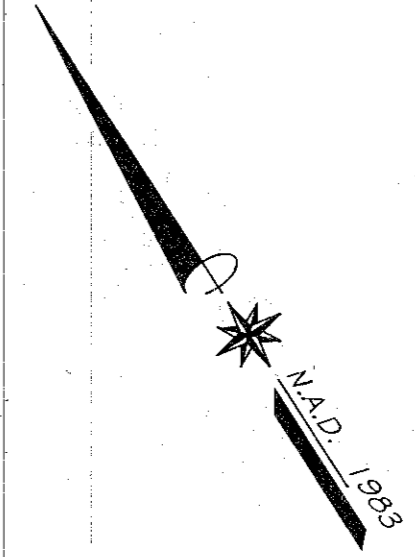
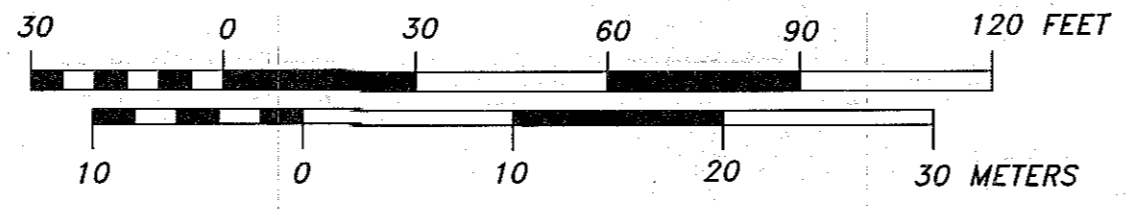


Zoning Information
 District: Residence A
 Minimum Lot Area: 20,000 Sq. Ft.
 Minimum Lot Frontage: 125'
 Minimum Front Setback: 25'
 Minimum Side Setback: 15'
 Minimum Rear Setback: 15'

NOTES:
 1.) PARCEL NUMBERS REFER TO THE TOWN OF HINGHAM ASSESSORS MAP.

HINGHAM PLANNING BOARD
 APPROVAL UNDER THE SUBDIVISION CONTROL LAW NOT REQUIRED.

DATE: _____
 PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE COMPLIANCE WITH APPLICABLE ZONING BYLAWS.



FOR REGISTRY USE ONLY

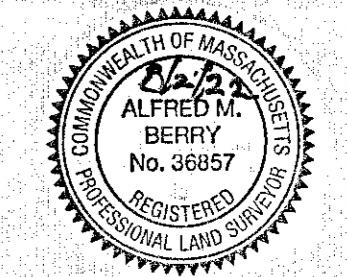
- LEGEND**
- DH DRILL HOLE
 - IP IRON PIPE
 - IRON ROD W/ CAP FND REBAR OR IRON ROD
 - STONE OR CONCRETE BOUND
 - STONE WALL

LOCUS REFERENCE
 FIRST PARISH CHURCH
 BOOK 2531, PAGE 172
 ASSESSORS PARCEL ID: 61-0-155

- REFERENCE PLANS**
- 1.) PLAN BOOK 1, PAGE 126.
 - 2.) PLAN BOOK 2, PAGE 804.
 - 3.) PLAN BOOK 4, PAGE 823.
 - 4.) PLAN BOOK 11, PAGE 111.
 - 5.) PLAN BOOK 21, PAGE 390.
 - 6.) PLAN BOOK 55, PAGE 811.
 - 7.) PLAN BOOK 66, PAGE 285.

CERTIFICATIONS
 I CERTIFY THAT THE PREPARATION OF THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

Alfred M. Berry
 PROFESSIONAL LAND SURVEYOR
 DATE 8/2/2022



Approval Not Required

Plan of Land
 in
 Hingham, Massachusetts
 Prepared For
 Dover Mill, LLC

<p style="text-align: center;">ALFRED M. BERRY, P.L.S.</p> <p style="text-align: center; font-size: small;">129 South Main Street, PO Box 188 ATHOL, MA 01331 (508) 277-1161</p>	<p>DATE: 8/2/2022</p> <p>JOB NO:</p> <p>SCALE: 1" = 30'</p> <p>DWG NAME: Hingham-Main St - 107</p> <p>PLAN NO:</p> <p>SHEET: 1 OF 1</p>
<p>AMB PROJECT MGR</p> <p>AMB DRAWN BY</p>	