



TOWN OF HINGHAM CONSERVATION COMMISSION

APPLICATION CHECKLIST NOTICE OF INTENT (NOI)

The following instructions and submittal requirements should be used when submitting a Notice of Intent to the Conservation Commission under the MA Wetlands Protection Act and Hingham Wetlands Protection By-Law. Please also refer to the DEP [Instructions for Completing WPA Form 3](#). Submit two (2) copies of the following, unless otherwise specified, to the Conservation Office, and one electronic copy of the complete application to conservation@hingham-ma.gov

- WPA Form 3- Notice of Intent: [WPA Form 3: Wetlands Notice of Intent | Mass.gov](#) The application must be signed by the property owner. Submit the original and one copy to the Commission by hand delivery or certified mail.
- WPA Appendix B- *NOI Wetland Fee Transmittal Form* and two (2) separate checks for the following: [Town of Hingham Wetlands Protection Bylaw fee](#) and [State Wetlands Protection Act local filing fee](#)
 - *Payable to Town of Hingham*
 - *Please redact bank account information from photocopies*
 - *Note, a public legal notice is prepared and submitted by staff and the newspaper will invoice the applicant*
- A copy of the Certified Abutters List and the '[Notification to Abutters Form](#)'
 - *To request a Certified Abutters List please submit [Request for Certified Abutters List](#) or contact the Conservation Office*
 - *Abutters must be notified by hand delivery, certified mail-return receipt requested, OR certificates of mailing at least 7 days prior to the hearing date*
 - *Certified mail receipts or certificate of mailing receipts shall be submitted to the Conservation Office with the application or presented to the Commission at the beginning of the public hearing*
- '[Affidavit of Service](#)' Form attesting abutters were notified in accordance with 310 CMR 10.05(4) and the Hingham Wetland Regulations, §7.5
 - *Abutters within 100 feet of a property line where work is proposed for inland projects*
 - *Abutters within 300 feet of a property line where work is proposed for coastal projects*
- Narrative describing the property location, existing conditions, methodology used for wetland delineation including DEP data forms or other delineation method, site photos, proposed work, and performance standards analysis, as applicable, for impacts to resource areas under the Wetlands Protection Act Regulations and/or Hingham Wetland Regulations. The narrative should also include: a report on the on-site wetland resource areas (per the [Resource Area Delineation Policy](#)), existing/proposed impervious and pervious surface calculations and proposed mitigation (per the [Buffer Zone Mitigation Policy](#)), tree removal/replacement requests (per the [Tree Removal and Replacement Policy](#)), and stormwater management.
- Project plan(s): two (2) copies of full size plan set and one (1) copy of reduced 11" x 17" plan(s), signed and stamped by a MA Registered Professional Engineer (PE) or other registered professional including the following information:

- All wetland resource area boundaries including the 50 and 100 foot Buffer Zone (showing sequentially numbered flags as applicable)
- FEMA Floodplain boundaries, as applicable
- A note indicating the date the wetland delineation was completed and who performed the delineation. If the wetland boundaries were previously approved by the Commission a note should be included indicating the date of approval and DEP File Number, if applicable.
- All plans shall be colored coded or highlighted with transparent marker pen as follows: freshwater or coastal wetland boundary in blue; 50 foot buffer zone in green; 100 foot buffer zone in yellow; 200 Foot Riverfront Area in pink; and Bordering Land Subject to Flooding (100 year flood plain where NFIP data available) or Land Subject to Coastal Storm Flowage in orange.
- Location of existing and proposed site amenities above and below the ground
- Topography in 2 foot contour intervals
- Limit of work/erosion and sediment control line
- Stockpile locations and other Stormwater BMPs as applicable
- Edge of lawn/tree line, and trees of 6 inches or greater DBH in the buffer zone
- The drainage basin in which the site is located

Guidelines: sheet sizes not more than 24"x 36"; scale not more than 1"=40'; title block located at the lower right hand corner, preferably.

- For projects subject to the DEP Stormwater Regulations, 310 CMR 10.05(6)(k)-(q), one copy of the Stormwater Report, Stormwater Report Checklist and the Registered Professional Engineer's Certification that the project conforms to the Stormwater Management Regulations and meets acceptable engineering standards
- Proof of mailing the complete NOI to the MA Department of Environmental Protection (DEP), Southeast Regional Office at 20 Riverside Drive, Lakeville MA, 02347 (certified mail receipt from the post office) or proof of electronic filing (eDEP Transaction Number)
- Proof of mailing the complete NOI to the MA Natural Heritage & Endangered Species Program (NHESP) and the MA Division of Marine Fisheries (Gloucester), if applicable (certified mail receipt from the post office)
- The Conservation Commission's [Policy of Receipt of Information](#) signed by the applicant or representative
- Optional - [Voluntary 21 Day Waiver](#)



TOWN OF HINGHAM
CONSERVATION COMMISSION

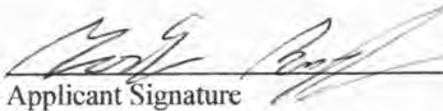
**VOLUNTARY 21 DAY WAIVER
(Public Hearing or Meeting)**

As set forth under the MA Wetlands Protection Act Regulations, 310 CMR 10.05(5), and the Town of Hingham Wetland Regulations, Section 7.6, the Conservation Commission is required to hold a public hearing or public meeting within 21 days of receipt of the minimum submittal requirements for a Notice of Intent, Abbreviated Notice of Resource Area Delineation, or Request for Determination for Applicability.

Due to the Commission's established meeting schedule and increasing number of filings, the Hingham Conservation Commission hereby requests the applicant waive the aforementioned 21 day requirement. This is a voluntary option that will assist the Conservation Commission in scheduling the hearing or meeting and conducting a thorough review of the application. If you choose to waive this deadline, your application will still be heard and decided upon in a timely manner.

The undersigned hereby waives the 21 day time period for the Commission to hold a public hearing or meeting and agrees to a hearing date no later than January 27, 2025 (date) for the following application:

45 Wanders Drive (address).


Applicant Signature

Mark Reilly Mark Reilly
Print

1/2/2025
Date

HINGHAM WETLAND REGULATIONS
APPENDIX C

Policy on Receipt of Information

(Revised March 4, 2024)

1. New applications/filings must be submitted to the Conservation office (by certified mail or hand delivery) in accordance with the [Commission's Meeting Schedule and Deadlines](#) to facilitate the placement of the legal advertisement and to allow timely review by the Conservation Officer. Conservation staff will review the application for administrative completeness. Upon receipt of a complete application, a hearing or meeting will be scheduled in accordance with the 310 CMR 10.05(5) and the Wetland Regulations, Section 7.6.
2. If deemed necessary, based on the Commission's meeting schedule, Conservation staff may request the applicant *voluntarily* waive the 21 day statutory deadline for holding a public hearing or issuing a Determination of Applicability.
3. Requests for additional information may be made by the Commission members or their agent to clarify the scope of the project or determine compliance with the 310 CMR 10.00 and/or the Hingham Wetland Regulations. Such requests, if not made at the public hearing, will be communicated to the applicant or their representative as promptly as possible.
4. Additional information requested by the Commission or their agent in accordance with No.3, must be submitted to the Conservation office (hard copy and electronic copy) a minimum of 7 days prior to the meeting date, on Monday by 4PM. If the office is closed on Monday due to a holiday, the information is due on the preceding Thursday by 4PM. *Revisions submitted after the established deadline may not receive a timely review, thereby resulting in a continuance to the next available meeting.*
5. The Commission may engage the peer review services of an outside consultant as provided by M.G.L. Ch. 44, § 53G, to be paid for by the applicant, for specific expert review deemed necessary to come to a final decision on a submitted application. Specific consultant services may include but are not limited to, review of a Notice of Intent, Wetland Resource Area Delineation, Stormwater/Drainage Reports, etc. The consultant shall be chosen by the Conservation Commission by vote at the public hearing, and report only to the Commission or its agent. *Requested additional information/revisions by the peer reviewer is required a minimum of two weeks prior to the hearing date.*
5. All supplemental documentation and revised plans must include a revision date and must be date stamped by the Conservation office upon receipt. If this information is not present, the documents may be considered incomplete and may not receive a timely review, thereby resulting in a continuance to the next available meeting.
6. Please note that all supplemental documentation and revised plans submitted to the Commission for a pending application, subject to the MA Wetlands Protection Act, must also be sent to the DEP Southeast Regional Office, 20 Riverside Dr., Lakeville, MA 02347

The Hingham Conservation Commission is committed to a thorough and timely review of each application and an efficient hearing process. Cooperation with this policy is appreciated to facilitate these efforts. Exceptions to this policy may be made by the Conservation staff if deemed warranted. Please sign and include with your filing. Thank you.



Applicant or Applicant's Representative Signature

1/8/2025

Date



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Hingham

City/Town

Important:

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:
Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

45 Wanders Drive

a. Street Address

Hingham

b. City/Town

02043

c. Zip Code

Latitude and Longitude:

42.18590

d. Latitude

70.86592

e. Longitude

192

f. Assessors Map/Plat Number

0-23

g. Parcel /Lot Number

2. Applicant:

Mark

a. First Name

Reilly

b. Last Name

c. Organization

45 Wanders Drive

d. Street Address

Hingham

e. City/Town

MA

f. State

02043

g. Zip Code

617 596 0956

h. Phone Number

i. Fax Number

j. Email Address

3. Property owner (required if different from applicant): Check if more than one owner

Same

a. First Name

b. Last Name

c. Organization

d. Street Address

e. City/Town

f. State

g. Zip Code

h. Phone Number

i. Fax Number

j. Email address

4. Representative (if any):

Kenneth

a. First Name

Thomson

b. Last Name

5 Wetlands

c. Company

134 Spring Street

d. Street Address

Rockland

e. City/Town

MA

f. State

02370

g. Zip Code

781 929 1203

h. Phone Number

i. Fax Number

5wetlands@gmail.com

j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

\$110.00

a. Total Fee Paid

\$42.50

b. State Fee Paid

\$67.50

c. City/Town Fee Paid



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Hingham

City/Town

A. General Information (continued)

6. General Project Description:

Construction of single bay garage, 2nd floor bedroom renovation and a covered patio.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1. Single Family Home
- 2. Residential Subdivision
- 3. Commercial/Industrial
- 4. Dock/Pier
- 5. Utilities
- 6. Coastal engineering Structure
- 7. Agriculture (e.g., cranberries, forestry)
- 8. Transportation
- 9. Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

1. Yes No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Plymouth

a. County

51902

c. Book

b. Certificate # (if registered land)

290

d. Page Number

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1. Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2. Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Hingham

City/Town

B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Bank	1. linear feet _____	2. linear feet _____
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet _____	2. square feet _____
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet _____	2. square feet _____
	3. cubic yards dredged _____	

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet _____	2. square feet _____
	3. cubic feet of flood storage lost _____	4. cubic feet replaced _____
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet _____	
	2. cubic feet of flood storage lost _____	3. cubic feet replaced _____

- f. Riverfront Area
1. Name of Waterway (if available) - **specify coastal or inland** _____
2. Width of Riverfront Area (check one):
- 25 ft. - Designated Densely Developed Areas only
 - 100 ft. - New agricultural projects only
 - 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: _____ square feet

4. Proposed alteration of the Riverfront Area:

a. total square feet _____	b. square feet within 100 ft. _____	c. square feet between 100 ft. and 200 ft. _____
----------------------------	-------------------------------------	--

5. Has an alternatives analysis been done and is it attached to this NOI? Yes No
6. Was the lot where the activity is proposed created prior to August 1, 1996? Yes No

3. Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Note: for coastal riverfront areas, please complete **Section B.2.f.** above.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:	
MassDEP File Number	_____
Document Transaction Number	_____
Hingham	_____
City/Town	_____

B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	_____	
	1. square feet	

	2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	_____	_____
	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	_____	_____
	1. square feet	2. cubic yards dune nourishment

	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input type="checkbox"/> Coastal Banks	_____	
	1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	_____	
	1. square feet	
h. <input type="checkbox"/> Salt Marshes	_____	_____
	1. square feet	2. sq ft restoration, rehab., creation
i. <input type="checkbox"/> Land Under Salt Ponds	_____	
	1. square feet	

	2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	_____	
	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	

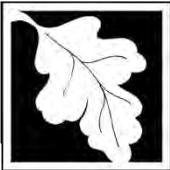
	1. cubic yards dredged	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	_____	
	1. square feet	

4. Restoration/Enhancement
If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.

_____	_____
a. square feet of BVW	b. square feet of Salt Marsh

5. Project Involves Stream Crossings

_____	_____
a. number of new stream crossings	b. number of replacement stream crossings



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Hingham

City/Town

C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

- Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

- a. Yes No **If yes, include proof of mailing or hand delivery of NOI to:**

**Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581**

b. Date of map _____

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review*

- Percentage/acreage of property to be altered:
 - (a) within wetland Resource Area _____ percentage/acreage
 - (b) outside Resource Area _____ percentage/acreage

- Assessor's Map or right-of-way plan of site

- Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **
 - (a) Project description (including description of impacts outside of wetland resource area & buffer zone)
 - (b) Photographs representative of the site

* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <https://www.mass.gov/endangered-species-act-mesa-regulatory-review>).

Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Hingham

City/Town

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

C. Other Applicable Standards and Requirements (cont'd)

- 4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
 a. Yes No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
 b. ACEC
- 5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
 a. Yes No
- 6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
 a. Yes No
- 7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
 a. Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
 - 1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
 - 2. A portion of the site constitutes redevelopment
 - 3. Proprietary BMPs are included in the Stormwater Management System.
 b. No. Check why the project is exempt:
 - 1. Single-family house
 - 2. Emergency road repair
 - 3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

D. Additional Information

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

- 1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
- 2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Hingham

City/Town

D. Additional Information (cont'd)

3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4. List the titles and dates for all plans and other materials submitted with this NOI.

Plot Plan

a. Plan Title

Hoyt Land Survey

Peter Hoyt

b. Prepared By

c. Signed and Stamped by

d. Final Revision Date

e. Scale

f. Additional Plan or Document Title

g. Date

5. If there is more than one property owner, please attach a list of these property owners not listed on this form.

6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.

7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.

8. Attach NOI Wetland Fee Transmittal Form

9. Attach Stormwater Report, if needed.

E. Fees

1. Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

155
2. Municipal Check Number

1/2/2025
3. Check date

efile
4. State Check Number

5. Check date

Mark
6. Payor name on check: First Name

Reilly
7. Payor name on check: Last Name



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

Provided by MassDEP:

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

MassDEP File Number

Document Transaction Number

Hingham

City/Town

F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

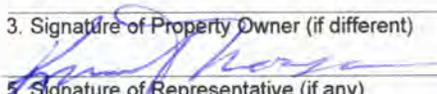


1. Signature of Applicant

1/2/2025

2. Date

3. Signature of Property Owner (if different)



4. Date

1/2/2025

5. Signature of Representative (if any)

6. Date

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A. Applicant Information

1. Location of Project:

43 Wanders Drive

a. Street Address

Hingham

b. City/Town

\$42.50

d. Fee amount

c. Check number

2. Applicant Mailing Address:

Mark

a. First Name

Reilly

b. Last Name

c. Organization

45 Wanders Drive

d. Mailing Address

Hingham

e. City/Town

MA

f. State

02043

g. Zip Code

617 596 0956

h. Phone Number

i. Fax Number

j. Email Address

3. Property Owner (if different):

Same

a. First Name

b. Last Name

c. Organization

d. Mailing Address

e. City/Town

f. State

g. Zip Code

h. Phone Number

i. Fax Number

j. Email Address

B. Fees

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

Step 1/Type of Activity: Describe each type of activity that will occur in wetland resource area and buffer zone.

Step 2/Number of Activities: Identify the number of each type of activity.

Step 3/Individual Activity Fee: Identify each activity fee from the six project categories listed in the instructions.

Step 4/Subtotal Activity Fee: Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

Step 5/Total Project Fee: Determine the total project fee by adding the subtotal amounts from Step 4.

Step 6/Fee Payments: To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

B. Fees (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
Category 1A	1	\$110.00	\$110.00
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

Step 5/Total Project Fee: _____

Step 6/Fee Payments:

Total Project Fee:	\$110.00
State share of filing Fee:	\$42.50
City/Town share of filing Fee:	\$67.50
	a. Total Fee from Step 5
	b. 1/2 Total Fee less \$12.50
	c. 1/2 Total Fee plus \$12.50

C. Submittal Requirements

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection
 Box 4062
 Boston, MA 02211

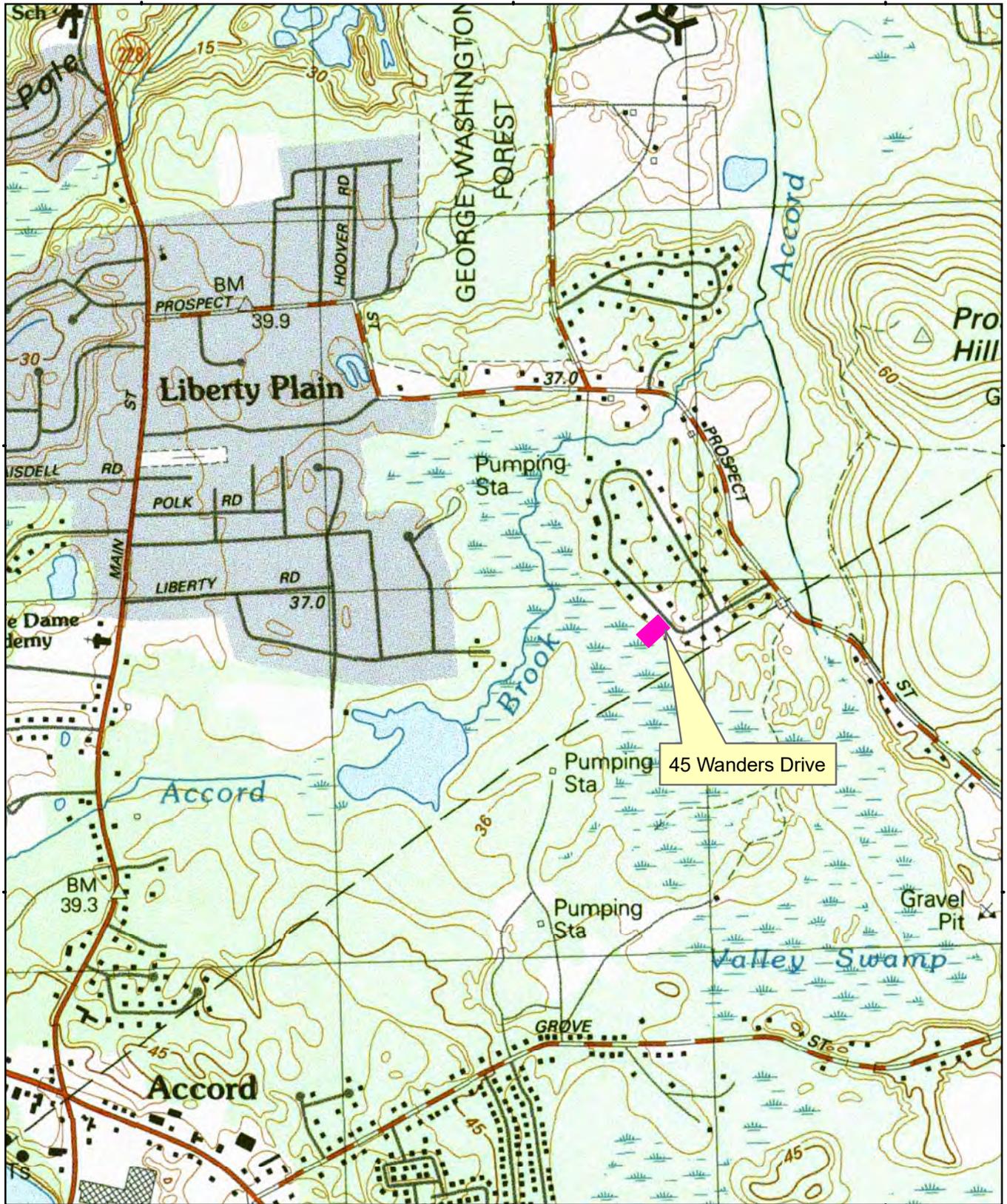
- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and the city/town fee payment.

To MassDEP Regional Office (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)

251000

252000

253000



882400

882400

881200

881200

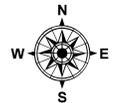
251000

252000

253000



USGS Topographic Map
 45 Wanders Drive
 Hingham, MA



NOTES:



Locus

Plant Schedule

Symbol	Common Name	Latin Name	Size	Quantity
⊗	Arrow-wood	Viburnum dentatum	4-6 ft	6
⊙	Highbush Blueberry	Vaccinium corymbosum	4-6 ft	5

N/F
TOWN OF HINGHAM ET ALS
ASSESSORS MAP 191
LOT 1
DEED BOOK 4602
PAGE 340

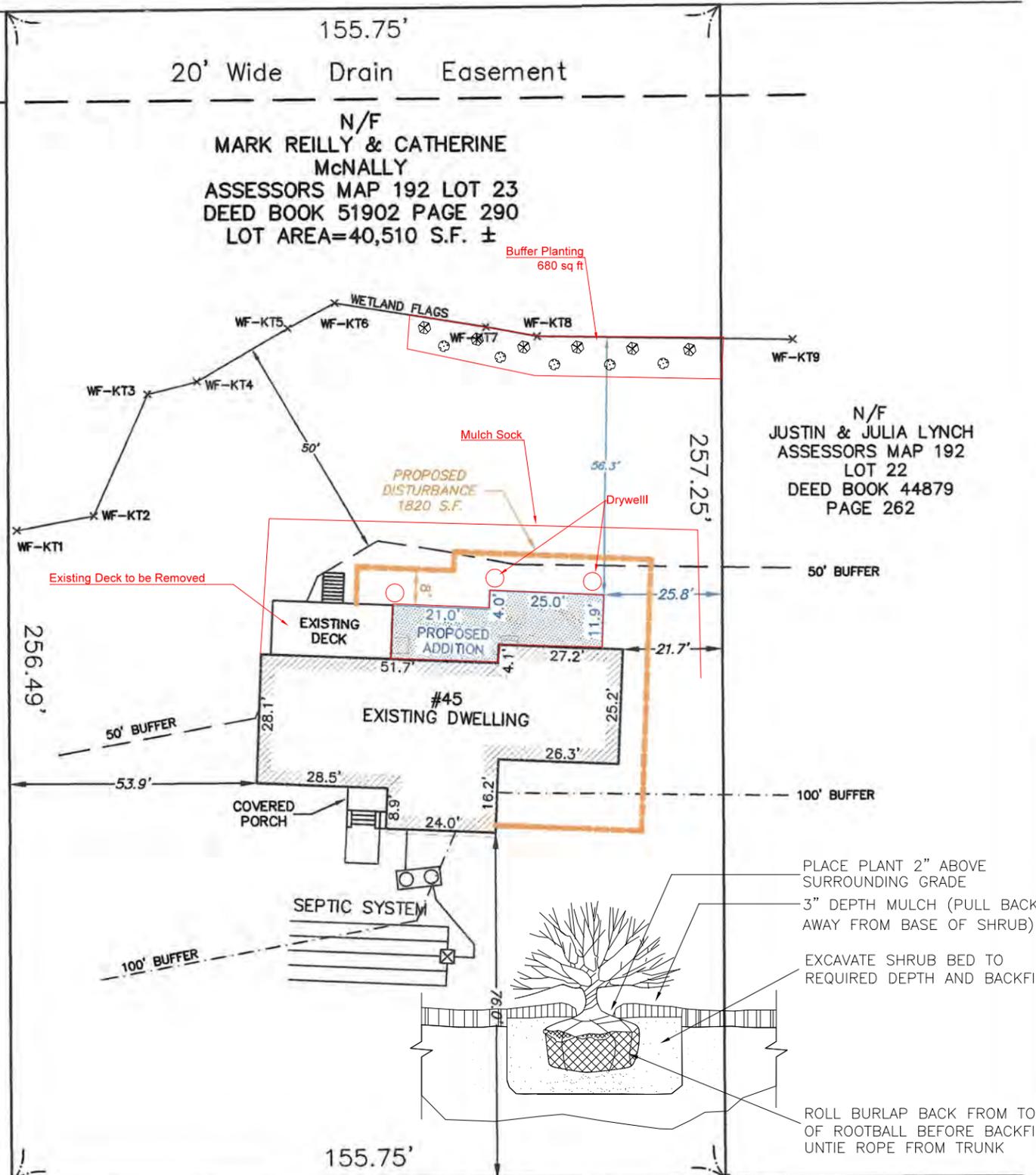
155.75'
20' Wide Drain Easement

N/F
MARK REILLY & CATHERINE
McNALLY
ASSESSORS MAP 192 LOT 23
DEED BOOK 51902 PAGE 290
LOT AREA=40,510 S.F. ±

Buffer Planting
680 sq ft

N/F
JUSTIN & JULIA LYNCH
ASSESSORS MAP 192
LOT 22
DEED BOOK 44879
PAGE 262

N/F
PHILIP C. & ELIZABETH G.
HOWLETT TT
ASSESSORS MAP 192
LOT 17
DEED BOOK 48901
PAGE 197



- PLACE PLANT 2" ABOVE SURROUNDING GRADE
- 3" DEPTH MULCH (PULL BACK AWAY FROM BASE OF SHRUB)
- EXCAVATE SHRUB BED TO REQUIRED DEPTH AND BACKFILL
- ROLL BURLAP BACK FROM TOP 1/3 OF ROOTBALL BEFORE BACKFILLING. UNTIE ROPE FROM TRUNK

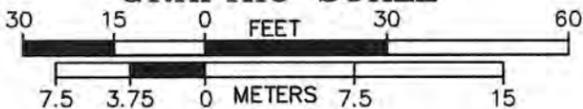
CB DISK FOUND

CB DISK FOUND

WANDERS DRIVE



GRAPHIC SCALE



NOTES:
SEPTIC SYSTEM AS SHOWN PLOTTED FROM AS-BUILT ON RECORD WITH HINGHAM BOARD OF HEALTH.

WETLAND DELINIATION BY KEN THOMPSON, JULY 2023.

DIMENSIONAL REQUIREMENTS	
ZONING DISTRICT: RESIDENCE C	
SECTION VII, TABLE II	REQUIRED
AREA	40,000 S.F.
FRONTAGE	150 FEET
MAX. HEIGHT	2.5 STORIES / 35 FEET
FRONT SETBACK	50 FEET
SIDE SETBACK	20 FEET
REAR SETBACK	20 FEET

Sheet Title PROPOSED ADDITION	Project Name 45 WANDERS DRIVE, HINGHAM, MA.	Prepared for MARK REILLY & CATHERINE McNALLY
HOYT LAND SURVEYING, INC. 1287 WASHINGTON STREET WEYMOUTH, MASSACHUSETTS 02189 TEL:781-682-9192	Scale 1"=30'	Date 07/10/2023
	File No.	Fig. No. 1



Existing Conditions

On June 28, 2024, Kenneth Thomson (Botanist/Wetland Scientist) reviewed wetland resources at 45 Wanders Drive, Hingham MA. The property consists of single-family house and developed landscape. Land slopes to the west to the wetlands, which are part of the Mckenna Marsh Conservation Area. The Wetlands consist of a deep muck pit & mound forested wetlands dominated by red maple, black tupelo, hemlock, winterberry, sweet pepperbush, cinnamon fern and sweet reed-grass. Soils are mapped as Freetown muck.

The Freetown series consists of very deep, very poorly drained organic soils formed in more than 50 inches of highly decomposed organic material. Freetown soils are bogs that range from small, enclosed depressions to bogs of several hundred acres in size. These bogs are on lake plains, outwash plains, till plains and moraines and alluvial plains.

A review of MassGIS databases found that the property has a FEMA 100 Year flood plain along Accord Brook designated as Zone AE with an elevation of 113.2 feet NAVD88. Zone A of surface water supply extends onto the property. Zone A is a 400-foot protection zone (No wetland Impacts) for tributaries of a surface water supply. This designation is based on the proposed tributary, i.e. stream location along the rear of the property which was not found. The property is also located within the Interim Well Protection Area (IWPA) of and ZoneII of the Scotland Well system.

Massachusetts Wetland Resource Areas

Massachusetts wetland resources found during the delineation include:

- *Bordering Vegetated Wetlands (BVW)*
- *Land Subject to Flooding*

PROPOSED CONDITION

The project proposes extending the existing back wall of the living space 4 feet 2.5 inches aligning with the back wall of the existing garage. Remove the existing deck. Added a

add a one-story garage attached to the rear of the existing garage. A second story will be added above to the 4-foot extension of the back wall and the proposed garage to allow modification of the bedroom living space on the second floor. Finally, a covered patio is proposed attached to the proposed garage and the house. The footprint of the proposed construction is located outside the fifty-foot buffer zone. To protect wetland resources an 8-inch mulch sock will be placed to encompass the construction. Drywells will be installed to infiltrate the roof runoff. To address buffer zone impacts, 650 square feet, the project will restore 680 square feet along the rear of the property.

The Reilly Residence

Addition & Interior Alterations

PROJECT ADDRESS:
45 Wanders Drive
Hingham, MA

ISSUE DATE:
Tuesday, May 28, 2024

PERMIT DRAWINGS



KEARNEY | PIERCE
ARCHITECTS, INC.
222 North Street, Hingham, MA 02043
(781) 710-3956
info@kearneyperce.com

OWNERSHIP & USE OF DOCUMENTS
Drawings, specifications and other documents, prepared by Kearney | Pierce Architects (KPA) and KPA's consultants are the property of KPA and shall remain the property of KPA. The drawings are to be used only for the project for which they were prepared. KPA and consultants shall be deemed the authors and shall retain all rights in and to the drawings, including copyright. The instruments of service shall not be used by the owner for future additions or alterations to the project without the written consent of KPA and its consultants. Any use of the instruments of service shall be at the Owner's sole risk and without liability to KPA and consultants.

Copyright © 2023
Kearney | Pierce Architects Inc.
All rights reserved.

PROJECT NAME: The Reilly Residence	SITE ADDRESS: Addition & Interior Alterations	45 Wanders Drive Hingham, MA
--	---	--

DESCRIPTION: PERMIT DRAWINGS	
DRAWING TITLE: Cover Page	
Scale as Noted	
PAGE: G-1	1 of 11
ISSUE DATE: Tuesday, May 28, 2024	
Drawn by: BP	Checked by: AK

CONTACT INFO:
SITE ADDRESS: 45 Wanders Drive Hingham, MA
OWNER: MARK & CATHERINE REILLY 45 Wanders Drive Hingham, MA 02043
ARCHITECT: KEARNEY PIERCE ARCHITECTS 222 North Street Hingham, MA 02043 info@kearneyperce.com (781) 710-3956

NOTES:

PAGE INDEX:																								
<table border="1"> <thead> <tr> <th>Page</th> <th>Name</th> </tr> </thead> <tbody> <tr> <td>G-1</td> <td>Cover Page</td> </tr> <tr> <td>D-1</td> <td>1st & 2nd Floor Demolition Plans</td> </tr> <tr> <td>A-0</td> <td>Proposed Foundation Plan</td> </tr> <tr> <td>A-1</td> <td>Proposed First Floor Plan</td> </tr> <tr> <td>A-2</td> <td>Proposed Second Floor Plan</td> </tr> <tr> <td>A-3</td> <td>Proposed Roof Plan</td> </tr> <tr> <td>A-4</td> <td>Front & Rear Elevations</td> </tr> <tr> <td>A-5</td> <td>Right & Left Elevations</td> </tr> <tr> <td>A-6</td> <td>Sections</td> </tr> <tr> <td>A-7</td> <td>Arch. Specifications</td> </tr> <tr> <td>A-8</td> <td>Renderings</td> </tr> </tbody> </table>	Page	Name	G-1	Cover Page	D-1	1st & 2nd Floor Demolition Plans	A-0	Proposed Foundation Plan	A-1	Proposed First Floor Plan	A-2	Proposed Second Floor Plan	A-3	Proposed Roof Plan	A-4	Front & Rear Elevations	A-5	Right & Left Elevations	A-6	Sections	A-7	Arch. Specifications	A-8	Renderings
Page	Name																							
G-1	Cover Page																							
D-1	1st & 2nd Floor Demolition Plans																							
A-0	Proposed Foundation Plan																							
A-1	Proposed First Floor Plan																							
A-2	Proposed Second Floor Plan																							
A-3	Proposed Roof Plan																							
A-4	Front & Rear Elevations																							
A-5	Right & Left Elevations																							
A-6	Sections																							
A-7	Arch. Specifications																							
A-8	Renderings																							

GENERAL NOTES:
<ol style="list-style-type: none"> THESE DRAWINGS AND ALL ASPECTS OF THE PROJECT SHALL COMPLY WITH IRC 2018 AND MASSACHUSETTS AMENDMENTS AS WELL AS ANY TOWN AMENDMENTS OR BYLAWS, LIFE SAFETY PLUMBING AND ELECTRICAL CODES. IF ANY CONFLICT IS FOUND, NOTIFY THE ARCHITECT IMMEDIATELY. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL PERMITS NECESSARY FOR THE COMPLETION OF WORK. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF DIMENSIONAL REQUIREMENTS BETWEEN THE WORK OF REQUIRED TRADES / SUBCONTRACTORS. THE GENERAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO STARTING WORK INCLUDING ALL DIMENSIONS, GRADES, PROPERTY LINES, EXISTING BUILDINGS, AND NEW WORK. THE CONTRACTOR SHALL LAYOUT IN THE FIELD THE DIMENSIONS AND LOCATIONS OF ALL NEW WORK. THE ARCHITECT SHALL BE NOTIFIED OF ANY VARIATIONS FROM INFORMATION PROVIDED IN THE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY VARIATIONS OR DEVIATIONS FROM THE PLANS WITHOUT WRITTEN CONFIRMATION FROM THE ARCHITECT. CONTRACTOR MUST SUBMIT ANY PROPOSED CHANGES IN WRITING AND PROVIDE ADEQUATE TIME FOR REVIEW BY THE ARCHITECT FOR PROPOSED CHANGES OR REQUESTS FOR ADDITIONAL INFORMATION. CONTRACTOR SHALL PROVIDE ANY ITEMS REQUIRED BY CODE OR FOR THE PROPER INSTALLATION, FUNCTION, OR COMPLETION OF AN ASSEMBLY REGARDLESS IF SAID ITEMS ARE SHOWN OR NOT. SUB CONTRACTORS SHALL INFORM THE GENERAL CONTRACTOR OF THEIR REQUIREMENTS FOR THE WORK REQUIRED BY OTHER TRADES PRIOR TO SUBMITTAL OF FINAL BIDS. THE ARCHITECT CANNOT ACCEPT RESPONSIBILITY FOR SPECIFIC QUANTITIES OR QUALITIES LISTED HEREIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW THESE CONSTRUCTION DOCUMENTS AND CONFIRM THE SUITABILITY OF THIS STRUCTURE AND/OR PARTICULAR BUILDING SITE. IN ADDITION TO THE ITEMS LISTED THE OWNER SHOULD SELECT FINISH MATERIALS SUCH AS COLORS AND TYPES OF PAINTS, STAINS, TILE, CARPET, CABINETS, COUNTER TOPS AND, LIGHT AND PLUMBING FIXTURES. ALSO TO BE CONSIDERED ARE THE HEATING/COOLING SYSTEM, WIRING, PLUMBING AND EXTERIOR SITE WORK. CONTRACTOR SHALL PROVIDE ADEQUATE BRACING OR OTHERWISE SUPPORT ALL PORTIONS OF THE STRUCTURE UNTIL ALL MEMBERS HAVE BEEN PERMANENTLY CONNECTED TOGETHER. PLUMBING DIAGRAMS OR DRAWINGS SHALL BE PROVIDED TO THE CONTRACTOR FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HEATING/COOLING CONTRACTOR, HEAT LOSS OR ENERGY CALCULATIONS SHALL BE PROVIDED BY THE HEATING/COOLING CONTRACTOR OR OTHER PROFESSIONAL AS REQUIRED BY THE BUILDING OFFICIAL. TRUSS DESIGN, ENGINEERING AND PLANS SHALL BE PROVIDED BY THE TRUSS MANUFACTURER. IF APPLICABLE TO THIS PROJECT, ANY SPECIFIED CONNECTORS OR STRUCTURAL ELEMENTS MAY ONLY BE SUBSTITUTED WITH WRITTEN PERMISSION BY THE STRUCTURAL ENGINEER.



1 2
G-1 Front Rendering



1 1
G-1 Axon view of Additions

Interior Door Schedule - DOOR STYLES BY OWNER					
Door #	Position	Panel W x H	Layout (NTS)	Plan View (NTS)	Notes
105	Interior	2'-6" x 6'-8"	[Icon]	[Icon]	
106	Interior	3'-0" x 6'-8"	[Icon]	[Icon]	
201	Interior	2'-6" x 6'-8"	[Icon]	[Icon]	
202	Interior	2'-4" x 6'-8"	[Icon]	[Icon]	
203	Interior	2'-6" x 6'-8"	[Icon]	[Icon]	
204	Interior	2'-4" x 6'-8"	[Icon]	[Icon]	
205	Interior	2'-5" x 6'-8"	[Icon]	[Icon]	
206	Interior	2'-4" x 6'-8"	[Icon]	[Icon]	
207	Interior	2'-4" x 6'-8"	[Icon]	[Icon]	
208	Interior	2'-0" x 6'-8"	[Icon]	[Icon]	
209	Interior	5'-0" x 6'-8"	[Icon]	[Icon]	
210	Interior	4'-0" x 6'-8"	[Icon]	[Icon]	
211	Interior	5'-0" x 6'-8"	[Icon]	[Icon]	
212	Interior	2'-4" x 6'-8"	[Icon]	[Icon]	Pocket Door
213	Interior	2'-4" x 6'-8"	[Icon]	[Icon]	Pocket Door
214	Interior	2'-4" x 6'-8"	[Icon]	[Icon]	Pocket Door
16					

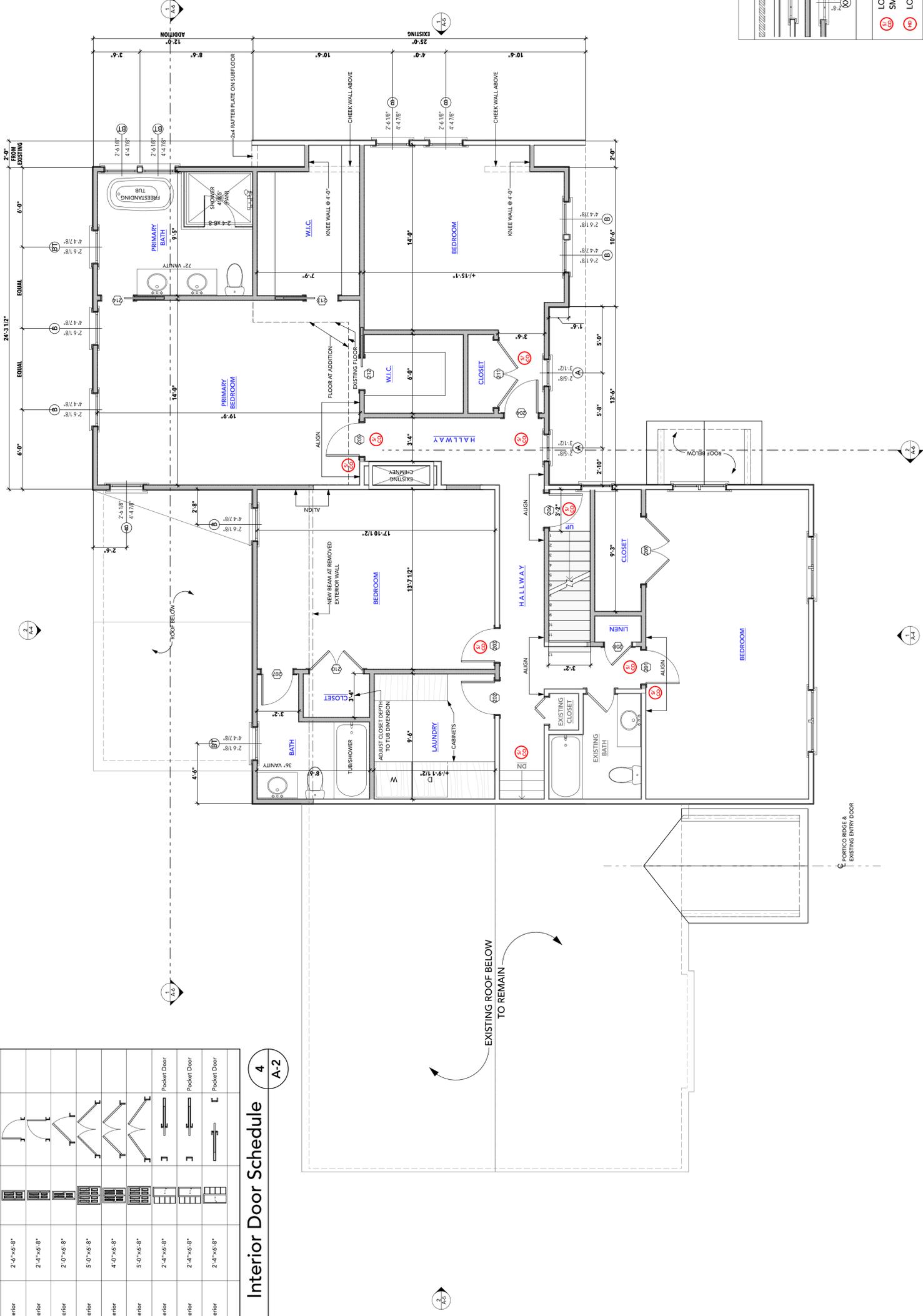
Interior Door Schedule 4 A-2

Exterior Door Schedule - DOOR STYLES BY OWNER						
Door #	Position	Panel W x H	Layout (NTS)	Plan View (NTS)	Unit Area	Notes
101	Exterior	9'-0" x 7'-4"	[Icon]	[Icon]	67.50	New overhead door at side garage bay
102	Exterior	3'-0" x 6'-8"	[Icon]	[Icon]	20.00	New Entry Door with Sidelights
103	Exterior	3'-0" x 6'-8"	[Icon]	[Icon]	20.00	Rear Entry door at garage
104	Exterior	11'-10" x 6'-8"	[Icon]	[Icon]	78.89	4 Panel Patio Sliding Glass Door- Black Exterior
4						

Exterior Door Schedule 3 A-2

Andersen 400 Series Window Schedule- OWNER TO VERIFY SELECTIONS								
ID	Qty.	R.O. W x H Size	Call #	Grill	EXTER. VIEW	U-value	Area per Unit	Note/Remarks
A	3	2'-0.58" x 3'-0.12"	CT3	4 LITE	[Icon]	.28	6.24	Casement Left Hinge, Simulated Divided Grills, LOW-E, Black Exterior, White Interior, Full Screen
B	9	2'-4.18" x 4'-4.78"	TY2442	4/1	[Icon]	.28	11.06	Double Hung Window, Simulated Divided Grills, LOW-E, Black Exterior, White Interior, Full Screen
BT	4	2'-4.18" x 4'-4.78"	TY2442	4/1	[Icon]	.28	11.06	TEMPERED, Double Hung Window, Simulated Divided Grills, LOW-E, Black Exterior, White Interior, Full Screen
16								

Window Schedule 2 A-2



RENOVATION LEGEND	
[Symbol]	STUD WALL TO BE DEMOLISHED
[Symbol]	EXISTING STUD WALL
[Symbol]	EXISTING WINDOWS & DOORS (NO MARKER)
[Symbol]	PROPOSED STUD WALL
[Symbol]	PROPOSED WINDOWS & DOORS (WITH MARKER)
LIFE SAFETY LEGEND	
[Symbol]	LOW VOLTAGE COMBINATION PHOTOELECTRIC SMOKE AND CARBON MONOXIDE DETECTOR
[Symbol]	LOW VOLTAGE HEAT DETECTOR

Proposed Second Floor Plan 1 A-2
Scale: 1/4" = 1'-0"

KEARNEY | PIERCE
ARCHITECTS, INC.
222 North Street, Suite 200
Boston, MA 02111
(781) 710-3955
info@kearney-pierce.com

OWNERSHIP & USE OF DOCUMENTS
Drawings, specifications and other documents, prepared by Kearney | Pierce Architects (KPA) and KPA's consultants are the property of KPA and its consultants. They are to be used only for the project and site identified on these drawings. KPA and its consultants shall be deemed the authors and owners of their respective instruments of service and shall retain all rights therein, including copyright. The instruments of service shall not be used by the owner for future additions or alterations to the project without the written consent of KPA and its consultants. Any unauthorized use of the instruments of service shall be at the owner's sole risk and without liability to KPA and its consultants.

Copyright © 2023
Kearney | Pierce Architects Inc.
All rights reserved.

PROJECT NAME:
The Reilly Residence
SITE ADDRESS:
45 Wanders Drive
Hingham, MA

DESCRIPTION:
PERMIT DRAWINGS



DRAWING TITLE:
Proposed Second Floor Plan

Scale as Noted
PAGE:
A-2

ISSUE DATE:
5 of 11
Tuesday, May 28, 2024

Drawn by: BP
Checked by: AK



KEARNEY | PIERCE
ARCHITECTS, INC.
222 North Street, Hingham, MA 02043
(781) 710-3955
info@kearneyperce.com

OWNERSHIP & USE OF DOCUMENTS

Drawings, specifications and other documents, prepared by Kearney/Pierce Architects (KPA) and KPA's consultants are the property of KPA and its consultants and shall remain confidential. The drawings are prepared for the Project. The drawings are not to be used for any other project. KPA and consultants shall be deemed the authors and shall own all rights in the drawings, including copyright. The instruments of service shall not be used by the owner for future additions or alterations to the project without the written consent of KPA and its consultants. Any unauthorized use of the instruments of service shall be at the Owner's sole risk and without liability to KPA and its consultants.

Copyright © 2023
Kearney | Pierce Architects Inc.
All rights reserved.

PROJECT NAME:
The Reilly Residence
SITE ADDRESS:
Addition & Interior Alterations
45 Wanders Drive
Hingham, MA

DESCRIPTION:
PERMIT DRAWINGS



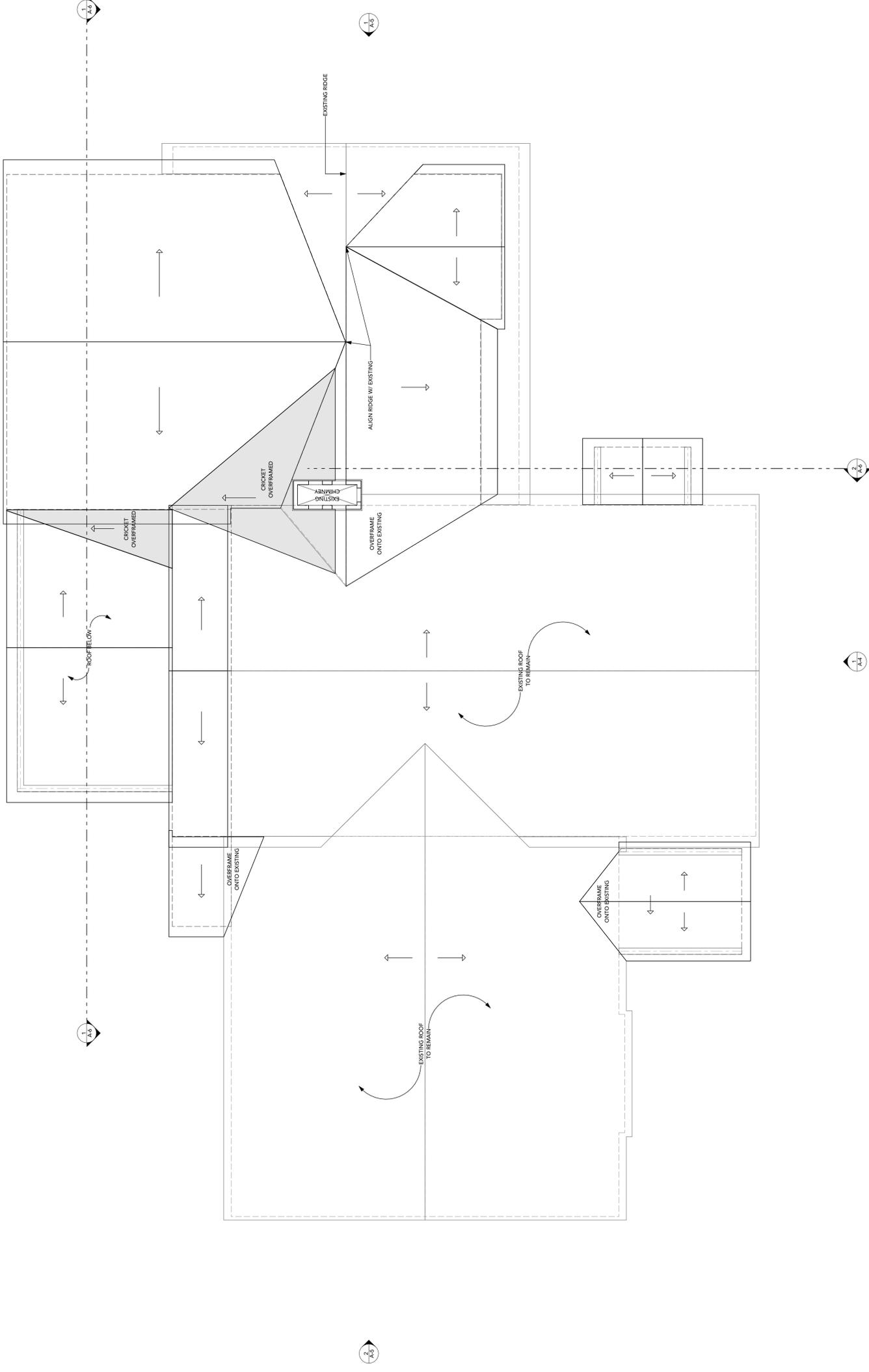
DRAWING TITLE:
Proposed Roof Plan
Plan

Scale as Noted
PAGE:

A-3
6 of 11

ISSUE DATE:
Tuesday, May 28, 2024

Drawn by: BP
Checked by: AK



Proposed Roof Plan 1
Scale: 1/4" = 1'-0" A-3



KEARNEY | PIERCE
ARCHITECTS, INC.
222 North Street, Hingham, MA 02043
(781) 710-3955
info@kearneyperce.com

OWNERSHIP & USE OF DOCUMENTS

Drawings, specifications and other documents, prepared by Kearney | Pierce Architects (KPA) and KPA's consultants are the property of KPA and its consultants. They are to be used only for the project and site identified on these drawings. Any other use, reproduction, distribution, or alteration of these drawings without the written consent of KPA and its consultants shall be deemed the authors and owners of their respective instruments of service and shall constitute a breach of the instruments of service, including copyrights. The instruments of service shall not be used by the owner for future additions or alterations to the project without the written consent of KPA and its consultants. The use of the instruments of service shall be at the Owner's sole risk and without liability to KPA and its consultants.

Copyright © 2023
Kearney | Pierce Architects Inc.
All rights reserved.

PROJECT NAME:
The Reilly Residence
SITE ADDRESS:
45 Wanders Drive
Hingham, MA

DESCRIPTION:
PERMIT
DRAWINGS



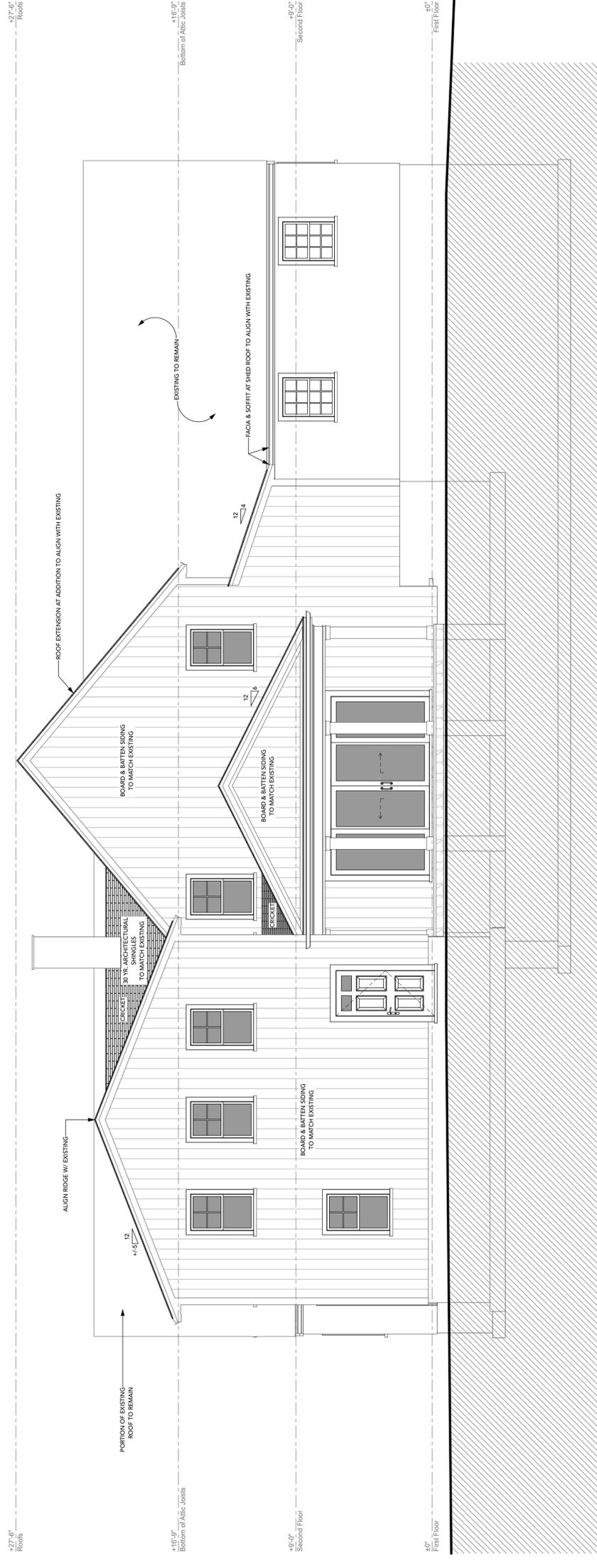
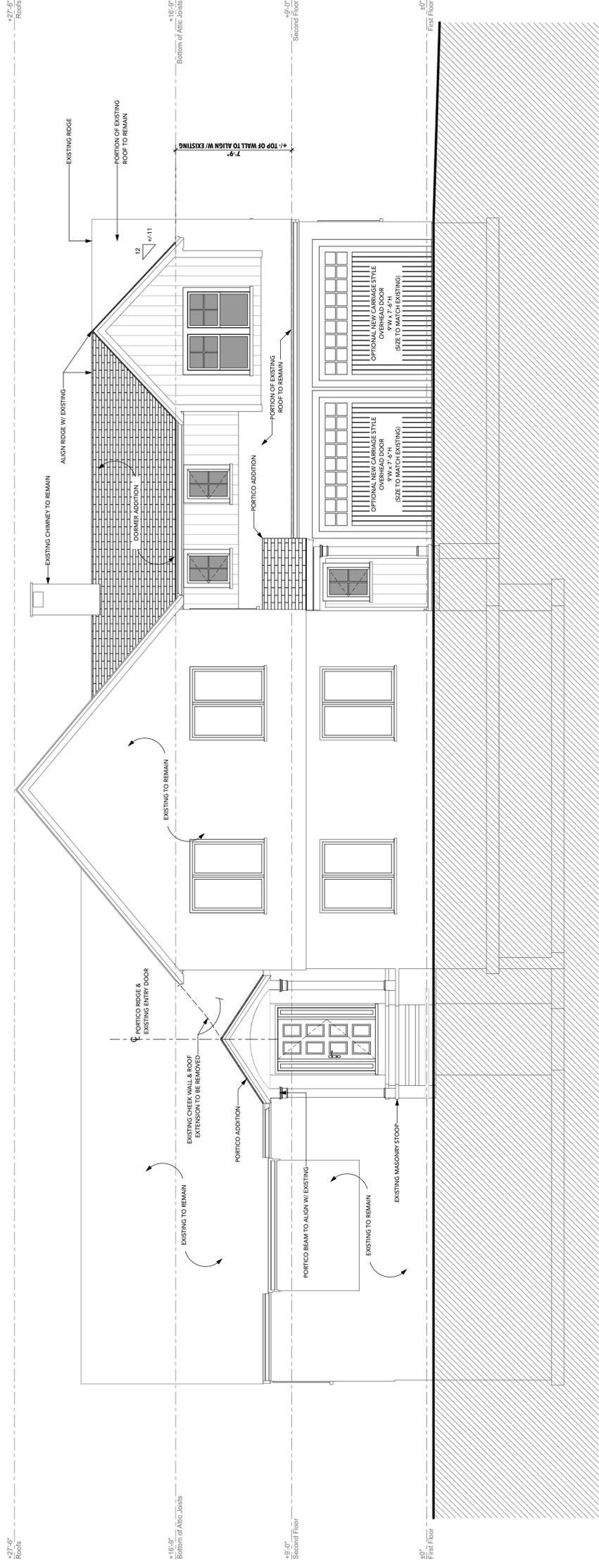
DRAWING TITLE:
Front & Rear Elevations

Scale as Noted
PAGE:

A-4
7 of 11

ISSUE DATE:
Tuesday, May 28, 2024

Drawn by: BP
Checked by: AK





KEARNEY | PIERCE
ARCHITECTS, INC.
 222 North Street, Hingham, MA 02043
 (781) 710-3955
 info@kearneyperce.com

OWNERSHIP & USE OF DOCUMENTS

Drawings, specifications and other documents, prepared by Kearney | Pierce Architects (KPA) and KPA's consultants are the property of KPA and its consultants. They are to be used only for the project and site specifically identified in this Project. The drawings are not to be reproduced, copied, or used for any other project without the written consent of KPA and its consultants. The authors and shall own of their respective instruments of service and shall retain all rights in and to the drawings, including copyright. The instruments of service shall not be used by the owner for future additions or alterations to the project without the written consent of KPA and its consultants. The instruments of service shall be at the Owner's sole risk and without liability to KPA and its consultants.

Copyright © 2023
 Kearney | Pierce Architects Inc.
 All rights reserved.

PROJECT NAME:
 The Reilly Residence
ADDITON & INTERIOR ALTERATIONS
SITE ADDRESS:
 45 Wanders Drive
 Hingham, MA

DESCRIPTION:
PERMIT DRAWINGS



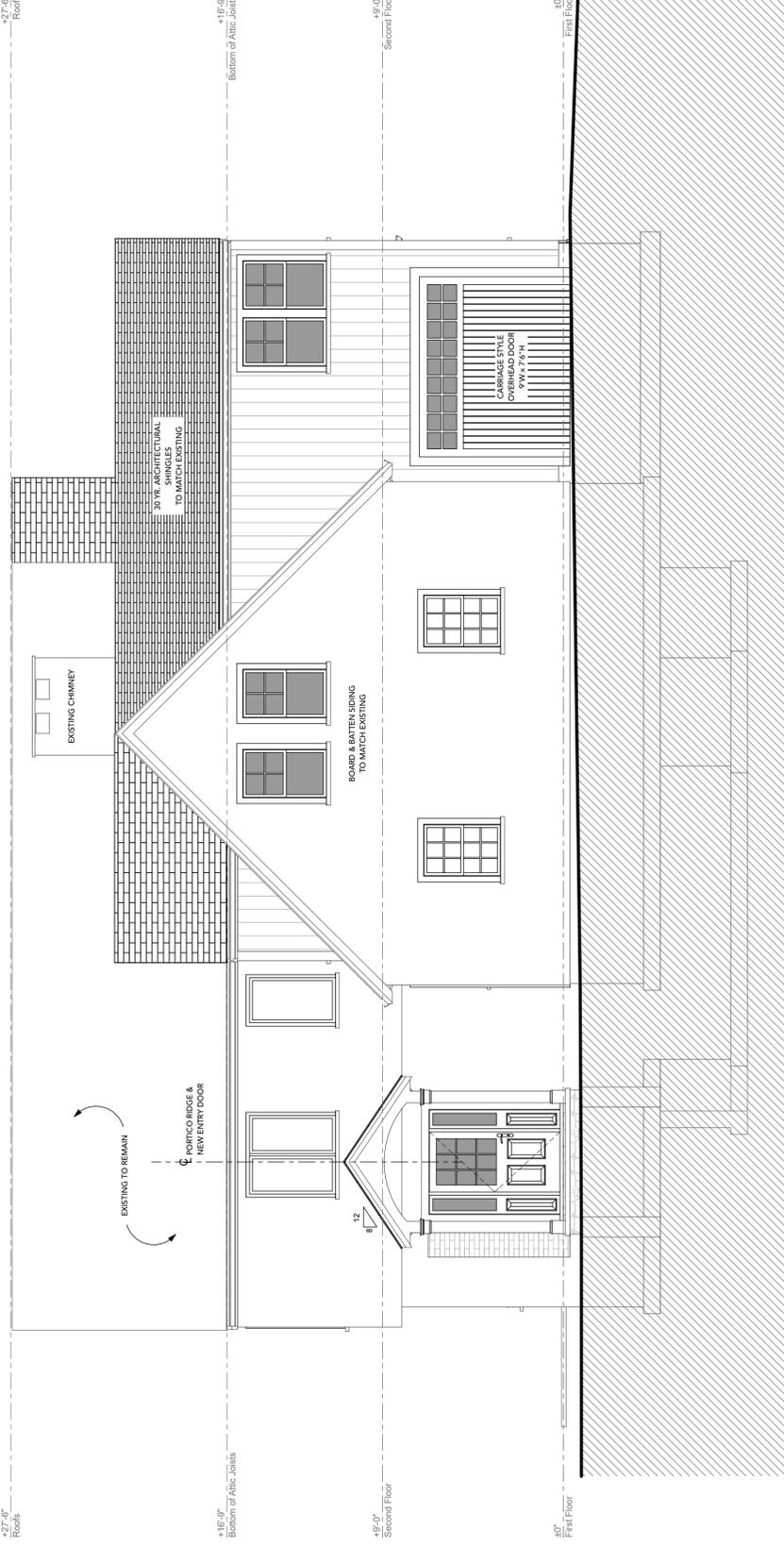
DRAWING TITLE:
 Right & Left Elevations

Scale as Noted
PAGE:

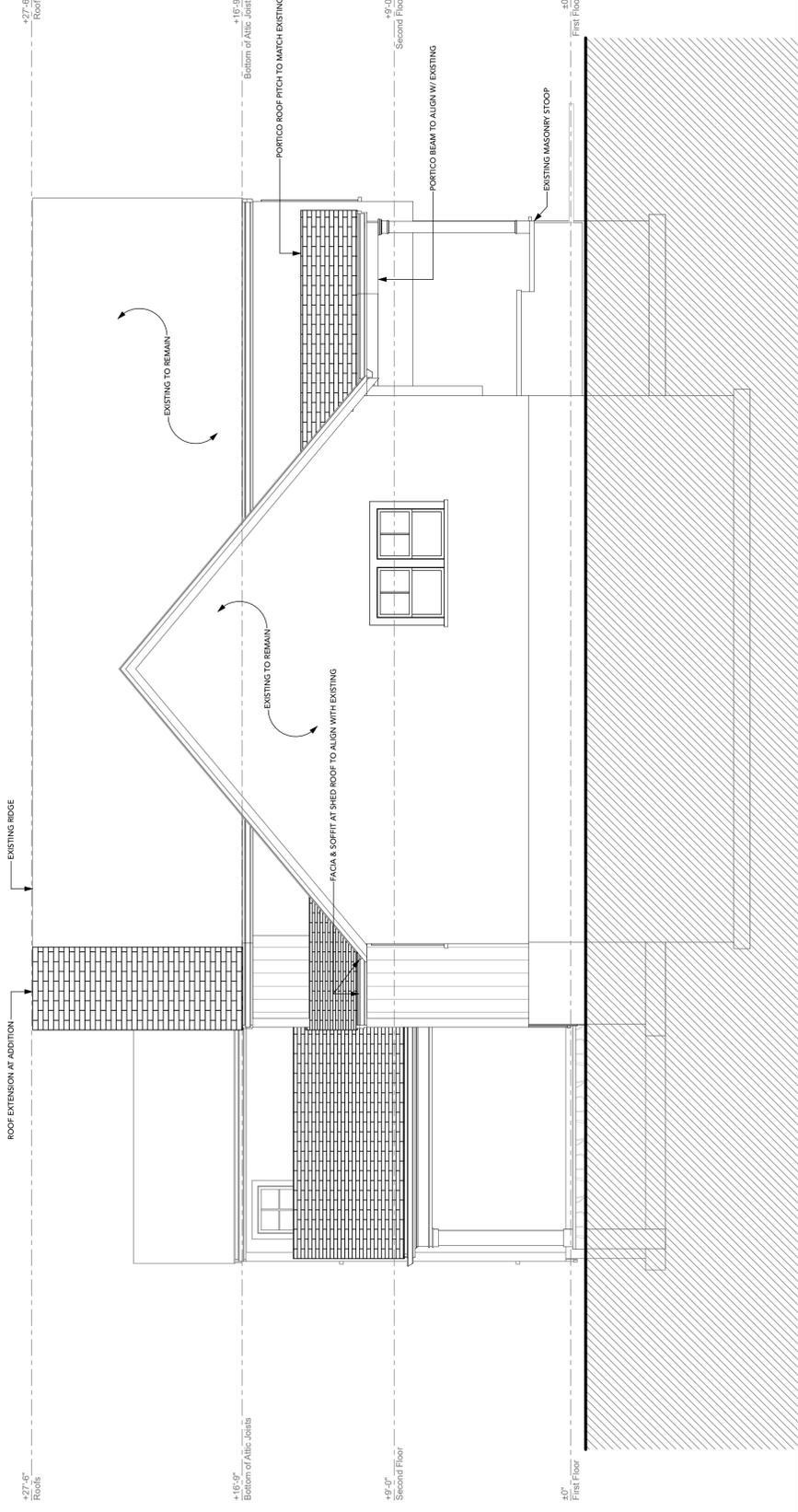
A-5
 8 of 11

ISSUE DATE:
 Tuesday, May 28, 2024

Drawn by: BP
 Checked by: AK



1
 Right Elevation
 Scale: 1/4" = 1'-0" A-5



2
 Left Elevation
 Scale: 1/4" = 1'-0" A-5

OWNERSHIP & USE OF DOCUMENTS
 Drawings, specifications and other documents, prepared by Kearney Pierce Architects (KPA) and KPA's consultants are the property of KPA and shall remain the property of KPA. The drawings, specifications and other documents are to be used only for the project and site identified on this drawing. The drawings, specifications and other documents are not to be used for any other project, site or purpose without the written consent of KPA. KPA and consultants shall be deemed the authors and shall retain all rights in and to the drawings, specifications and other documents, including copyrights. The Instruments of Service shall not be used by the owner for future additions or alterations to the project without the written consent of KPA. Any unauthorized use of the Instruments of Service shall be at the Owner's sole risk and without liability to KPA and consultants.

Copyright © 2023
 Kearney Pierce Architects Inc.
 All rights reserved.

PROJECT NAME:
The Reilly Residence
ADDITION & INTERIOR ALTERATIONS
SITE ADDRESS:
 45 Wanders Drive
 Hingham, MA

DESCRIPTION:
PERMIT DRAWINGS



DRAWING TITLE:

Sections

Scale as Noted

PAGE:

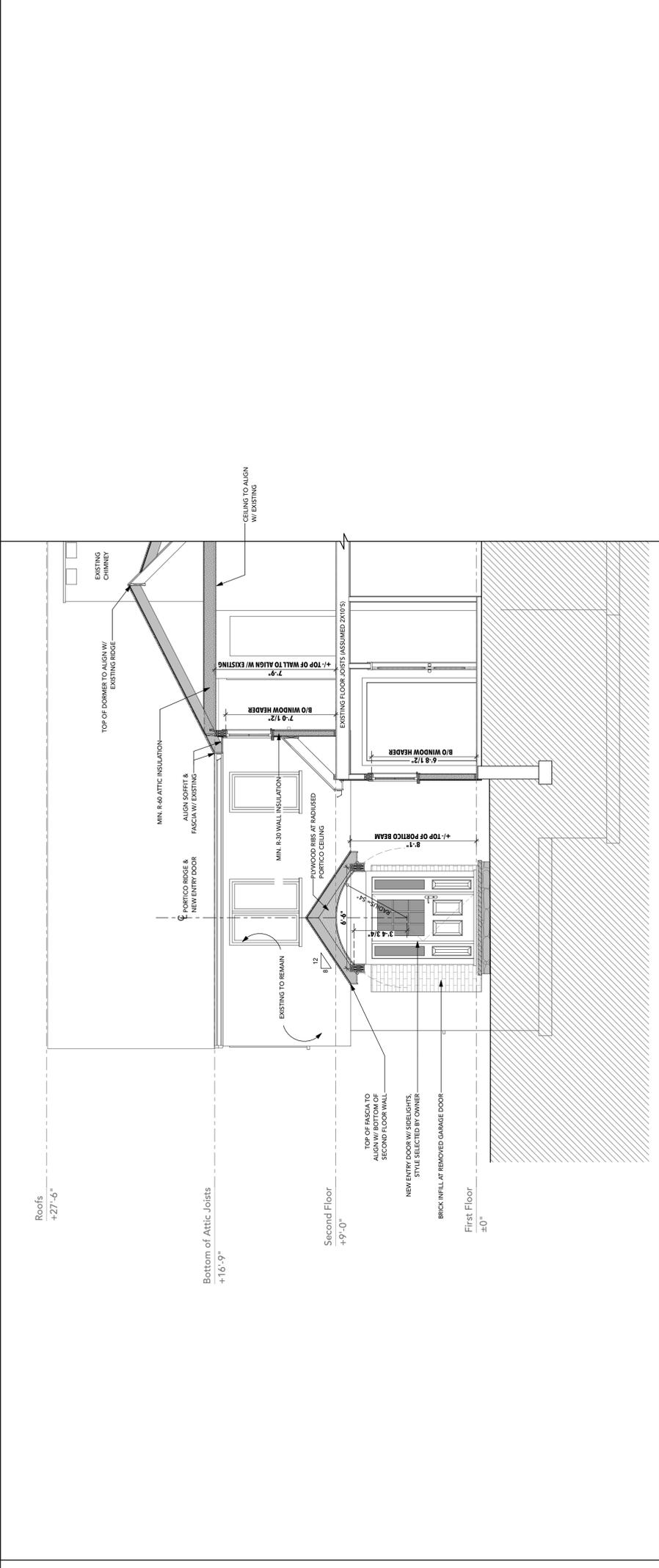
A-6

9 of 11

ISSUE DATE:

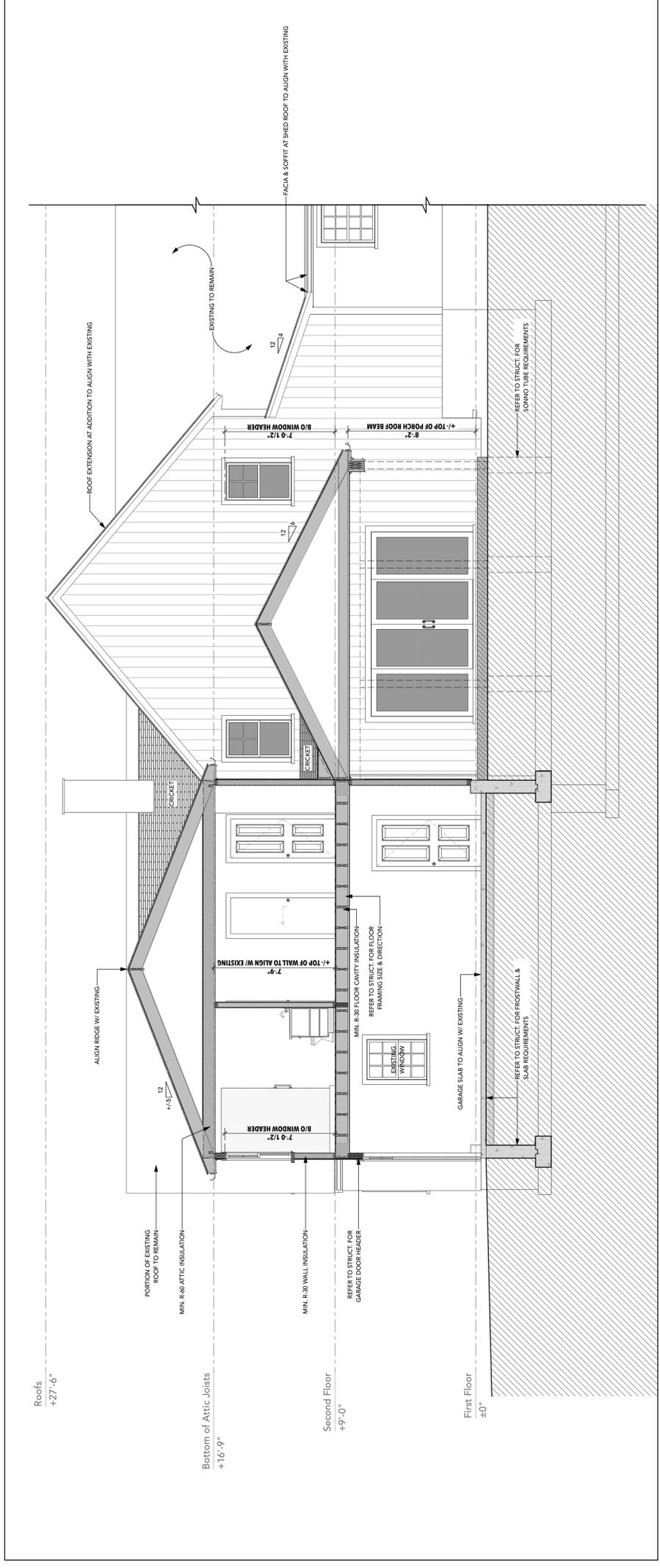
Tuesday, May 28, 2024

Drawn by: BP
 Checked by: AK



Portico & Dormer Section
 Scale: 1/4" = 1'-0"

2
 A-6



Rear Addition Section
 Scale: 1/4" = 1'-0"

1
 A-6

STRUCTURAL

REFER TO STRUCTURAL SPECIFICATIONS FOR ALL STRUCTURAL LOADING REQUIREMENTS.

NOTE: STRUCTURAL PACKAGE BY OTHERS SUPERCEDES THE SPECIFICATIONS NOTED BELOW.

1. THE SOIL BEARING VALUE HAS BEEN ASSUMED AT 1.5 TONS P.S.F. THE CONTRACTOR SHALL VERIFY THIS VALUE AT THE TIME OF EXCAVATION AND SHALL NOTIFY THE DESIGNER THAT IT IS READY FOR INSPECTION OR FOR REVISION IF UNCERTAIN CONDITIONS ARE FOUND TO EXIST.

2. ALL CONCRETE WORK SHALL CONFORM TO THE AMERICAN CONCRETE INSTITUTE'S "GUIDE TO RESIDENTIAL CAST-IN PLACE CONCRETE CONSTRUCTION" REPORT OF COMMITTEE 332.

3. OTHER CONCRETE STANDARDS AS REQUIRED BY THE BUILDING CODE SUCH AS ACI 318-95, 318.1-89 SHALL APPLY THE CONSTRUCTION OF THIS RESIDENCE FOUNDATION.

4. REINFORCING STEEL SHALL CONFORM TO ASTM A616, GRADE 60, AND WELDED WIRE FABRIC SHALL MEET ASTM A185 SPECIFICATIONS

5. DETAILING, FABRICATION AND PLACEMENT OF ALL REBAR SHALL CONFORM TO ACI 315-80, SP66 MANUAL

6. IF WATER OCCURS WITHIN THE EXCAVATION, IT SHALL BE DEWATERED BEFORE PLACING OF CONCRETE. DEWATERING WILL BE DONE IN A MANNER THAT WILL PREVENT THE FLOW OF FINE GRAIN SOIL.

7. THE BOTTOM OF ALL EXCAVATIONS FOR FOOTINGS SHALL BE TAMPED TO DISPOSE OF ALL LOOSE MATERIAL BEFORE THE CONCRETE IS PLACED. COMPACTION SHOULD NOT EXCEED THE NATURAL DENSITY OF THE SOIL.

8. ALL CONCRETE FORM WORK SHALL BE PROPERLY CONSTRUCTED AND WELL BRACED TO PRODUCE PLUMB, STRAIGHT LEVEL AND TRUE SURFACES; BOWED PILLOWED AND IRREGULAR WALL SURFACES WILL NOT BE ACCEPTED AND MAY REQUIRE REMOVAL AND RECONSTRUCTION BY THE FORM CONTRACTOR AT HIS EXPENSE IF DIRECTED BY THE DESIGNER AND OWNER.

9. THE FOUNDATION WALLS SHALL NOT BE BACKFILLED UNTIL THE FIRST FLOOR DECK IS IN PLACE TO BRACE WALL. DAMAGED WALLS WILL BE REPLACED AT THE CONTRACTORS EXPENSE IF BACKFILLING IS DONE WITHOUT BACKFILLING IN PLACE.

10. STRUCTURAL STEEL SHALL BE ASTM A36 OR ASTM A592 AND SHALL BE PAINTED ONE SHOP COAT OF METAL PRIMER. BOLTS SHALL BE ASTM A325, ANCHOR BOLTS SHALL BE ASTM F1554.

FOOTINGS - AS NOTED ON THE STRUCTURAL DRAWINGS

FOUNDATION WALLS - MINIMUM 8" BETWEEN FINISH GRADE AND TOP OF FOUNDATION WALL.

- FINISH GRADE TO SLOPE AWAY FROM FOUNDATION.
- 10" THICK CONCRETE.
- 3000 P.S.I. (28 DAY STRENGTH) W/ 3/4" AGGREGATE.

DAMP-PROOFING - TWO COATS ASPHALTIC COATING COMPOUND MINIMUM, UNLESS OTHERWISE NOTED.

WATERPROOFING - TWO PLY HOT MOPED FELT MEMBRANE

FOUNDATION DRAIN - INSTALL A 6" PERFORATED DRAIN TILE AT THE PERIMETER OF BASEMENT. TOPS OF JOINTS TO BE COVERED W/ 15# FELT AND A MINIMUM OF 18" STONE OR GRAVEL SLOPE TILE 3/16" PER FT. TO POINT OF DISCHARGE.

ALL SONOTUBE PIERS TO SHALL COMPLY WITH THE STRUCTURAL DRAWINGS

ALL SONOTUBES SET 48" MIN DEPTH BELOW GRADE SET ON UNDISTURBED SOIL.

ALL POST CONNECTIONS TO SONOTUBES USING SIMPSON EPB BRACKET OR EQUIVALENT.

WHERE CONTINUOUS BARS ARE CALLED FOR THEY SHALL BE RUN CONTINUOUSLY AROUND CORNERS AND LAPPED AT NECESSARY SPLICES OR HOOKED AT DISCONTINUOUS ENDS. LAPS SHALL BE 40 BAR DIAMETERS, UNLESS OTHERWISE SHOWN.

CARPENTRY

FRAMING LUMBER

STUDS - NO. 3 OR STANDARD "STUD" GRADE.

JOISTS AND RAFTERS - E = 1,400,000 P.S.I. / FB = 875 P.S.I.

BEAMS AND GIRTS - E = 1,200,000 P.S.I. / FB = 850 P.S.I.

STAIR STRINGERS NO. 1 GRADE.

UNLESS OTHERWISE NOTED PROVIDE:

A) DOUBLE HEADER JOISTS & TRIMMERS @ ALL FLOOR OPENINGS.

B) DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS.

C) FULL BLOCKING IN EACH JOIST BAY AT MID-SPAN FOR SPANS EXCEEDING 10'-0".

FLOOR FRAMING

GENERAL FLOORS - 5/8" T&G PLYWOOD GLUED TO JOISTS (C-D INT. APA W/ EXT. GLUE) OR APPROVED EQUAL BATH & TOILET AREAS - USE WATER RESISTANT PLYWOOD (UNDERLAYMENT C-C PLUGGED EXT. APA OR 'CEMENT BOARD' OVER SUBFLOOR.

EXTERIOR SHEATHING

WALLS - 1/2" EXT. PLYWOOD (C-D 24/0 INT. APA W/ EXT. GLUE)

ROOF - 5/8" EXT. PLYWOOD (C-D 24/0 INT. APA W/ EXT. GLUE)

INTERIOR FINISH

INTERIOR FINISHES SHALL BE IN ACCORDANCE WITH THE FLAME SPREAD AND SMOKE DEVELOPMENT REQUIREMENTS OF THE 2018 IRC AND MASS. STATE BUILDING CODE

GENERAL - UNLESS OTHERWISE INDICATED, ALL INTERIOR WALLS AND CEILINGS TO BE COVERED WITH 1/2" BLUE BOARD WITH A SMOOTH FINISH VENEER PLASTER SYSTEM.

TERMITE PROTECTION - AS PER LOCAL CODES

FLOOR ASSEMBLIES NOT USING DIMENSIONAL LUMBER TO HAVE 1/2" GYPSUM WALLBOARD OR OTHER APPROVED ASSEMBLIES

MINIMUM STAIR TREAD IS 9", MAXIMUM RISER IS 8 1/4"

MINIMUM STAIR WIDTH IS 36" CLEAR

ALL HAND RAILS AND GUARD RAILS SHALL CONFORM TO 2018 IRC & MASS STATE BUILDING CODE

MAIN ENTRANCE DOOR SHALL BE A MINIMUM 36" WIDE

ALL EGRESS DOORS SHALL BE A MINIMUM 6'-8" HIGH

FIRE PROTECTION SYSTEMS SHALL BE IN ACCORDANCE WITH THE 2018 IRC & MASS STATE BUILDING CODE .

PROVIDE MIN 48" WIDE BY 42" DEEP LEVEL PLATFORM (LANDING) AT THE EXTERIOR OF

ALL EXIT DOORS. IN ADDITION TO DOORS AND ACCESS PANELS SHOWN ON DRAWINGS PROVIDE ATTIC ACCESS PANELS TO ALL ATTIC AREAS WITH GREATER THAN 36" CLEAR HEIGHT. (MIN. ACCESS PANEL 22" X 30")

GARAGE AND BOILER AREAS - ONE LAYER 5/8" FIRE CODE G.W.B. @ FURNACE LOCATION AND CEILING AND

WALLS BETWEEN GARAGE AND LIVING AREAS

MISCELLANEOUS

UNLESS NOTED OTHERWISE [U.N.O.], PROVIDE:

INSULATION TO COMPLY WITH 2021 IECC PERSCRPTIVE REQUIREMENTS OR AS SPECIFIED BY ENERGY RATING

R-30 IN ALL EXTERIOR WALLS

R-30 IN FLOORS OVER UNHEATED SPACES

R-60 IN ALL CEILINGS

R-10 UNDER SLABS ON GRADE, 48" IN FROM OR 48" DOWN FROM INSIDE FACE OF FROST

WALL TO ISOLATE SLAB FROM EXTERIOR AND CONCRETE WALL

R-13 + 5ci BASEMENT WALLS INTERIOR CAVITY INSULATION WITH CONTINUOUS INSULATION EXT. FACE OF FOUNDATION WALL

VAPOR BARRIER - INSTALL A 4 MIL. POLYETHYLENE VAPOR BARRIER ON THE WARM SIDE OF ALL INSULATION.

DOUBLE INSULATING GLASS AT ALL GLASS AREAS AND TEMPERED GLASS AT ALL OPERABLE GLASS DOORS AND

ALL WINDOWS WITH GLASS AREAS LESS THAN 18" ABOVE FIN. FLOOR OR ANY PLATFORM. AND ANY TUB OR SHOWER AREAS. (SEE 2015 IRC & MASS STATE BUILDING CODE FOR SAFETY GLAZING)

U.N.O. BAFFLE VENTS SHALL BE INSTALLED IN ALL RAFTER BAYS AS PER MANUFACTURER'S DETAIL

TO PROVIDE FREE AIR FLOW FOR ATTIC VENTILATION. IT SHALL BE CONTINUOUS IN ALL SLOPING CEILINGS AND A MIN. OF ONE LENGTH (48") AT ALL SOFFIT VENTS.

INSULATION SUB-CONTRACTOR TO VERIFY USE AND LOCATION OF BAFFLE VENTS

ALL BATHROOMS SHALL BE PROVIDED WITH MECHANICAL VENTILATION IN ACCORDANCE WITH 2018 IRC & MASS STATE BUILDING CODE

EXTERIOR GRADE SHALL SLOPE 1/2" PER FOOT FROM BUILDING FOR A MINIMUM OF 6'-0" AWAY

ALL EXPOSED INSULATION MATERIALS INCLUDING FACINGS, VAPOR BARRIERS OR BREATHER PAPERS SHALL CONFORM TO THE FLAME SPREAD, SMOKE DEVELOPMENT AND CRITICAL RADIANT FLUX REQUIREMENTS OF THE 2018 IRC & MASS. STATE BUILDING CODE

FLASHING

GENERAL FLASHING SHALL BE LEAD OR LEAD COATED COPPER, UNLESS OTHERWISE NOTED.

ROOF FLASHING SHALL LEAD OR LEAD COATED COPPER AND USED WHEREVER FLASHING WILL

BE EXPOSED SUCH AS AT VALLEYS, SIDEWALLS, CAP AND BASE ETC. CHIMNEY CAP AND BASE FLASHING SHALL BE 3 LBS.

HARD LEAD. VENT AND PIPE FLASHINGS SHALL BE PERFORMED NEOPRENE AS MANUFACTURED BY

DUPONT, DOW CHEMICAL OR EQUAL. FLASHING SHALL CONSIST OF FABRICATED FLANGE AND CAP

FLASHING. STEP FLASHING: BASE FLASHING SHALL EXTEND ONTO ROOF AND UP THE SURFACE OF THE

ADJOINING CONSTRUCTION A MINIMUM OF 4". THE UPPER EDGE OF THE BASE FLASHING SHALL EXTEND A

MINIMUM OF 2" ABOVE THE NEXT COURSE OF SHINGLES AND THE LOWER EDGE SHALL BE 1/2" ABOVE THE

BUTTS OF THE SHINGLE COVERING IT, PROVIDING A MINIMUM OF 1 1/2" OVERLAP OF FLASHING COURSES.

CAP FLASHING SHALL EXTEND DOWN OVER BASE FLASHING A MINIMUM OF 4".

THE STEPS IN THE FLASHING SHALL NOT EXCEED 8" AND LAPS SHALL BE A MINIMUM OF 3". ALL SEAMS SHALL

OVERLAP IN DIRECTION OF FLOW.

PROVIDE ICE AND WATER SHIELD (W.R. GRACE "BITUTHENE" OR EQUAL) MINIMUM OF 48" UP FROM DRIP

EDGE OF ALL ROOFS. 36" UP EACH SIDE OF ALL VALLEYS, AND AT ALL ROOF/WALL

INTERSECTIONS AND ROOFS LESS THAN 4 IN 12 PITCH.



KEARNEY | PIERCE
ARCHITECTS, INC.
222 North Street, Suite 1000
(781) 710-3955
info@kearneyperce.com

OWNERSHIP & USE OF DOCUMENTS

Drawings, specifications and other documents, prepared by Kearney/Pierce Architects (KPA) and KPA's consultants are the property of KPA and KPA's consultants. They are loaned to the Project. The instruments of service shall not be used for any other project without the written consent of KPA and consultants shall be deemed the authors and shall retain all rights in and to the instruments of service, including copyrights. The instruments of service shall not be used by the owner for future additions or alterations to the project without the written consent of KPA and consultants. Any unauthorized use of the instruments of service shall be at the Owner's sole risk and without liability to KPA and consultants.

Copyright © 2023
Kearney/Pierce Architects Inc.
All rights reserved.

PROJECT NAME: The Reilly Residence	SITE ADDRESS: 45 Wanders Drive Hingham, MA
--	---

DESCRIPTION:

PERMIT DRAWINGS



DRAWING TITLE:

Arch.
Specifications

Scale as Noted

PAGE:

A-7
10 of 11

ISSUE DATE:

Tuesday, May 28, 2024

Drawn by:
BP

Checked by:
AK



KEARNEY | PIERCE
ARCHITECTS, INC.
222 North Street, Hingham, MA 02043
(781) 710-3955
info@kearneyperce.com

OWNERSHIP & USE OF DOCUMENTS
Drawings, specifications and other documents, prepared by Kearney Pierce Architects (KPA) and KPA's consultants shall be the property of KPA and shall be used only for the Project. The drawings, specifications and other documents of KPA and consultants shall be deemed the authors and shall remain the property of KPA and consultants. The instruments of service shall not be used for future additions or alterations to the Project without the written consent of KPA and consultants. Any unauthorized use of the instruments of service shall be at the Owner's risk and without liability to KPA and consultants.

Copyright © 2023
Kearney Pierce Architects Inc.
All rights reserved.

PROJECT NAME:
The Reilly Residence
ADDITION & INTERIOR ALTERATIONS
SITE ADDRESS:
45 Wanders Drive
Hingham, MA

DESCRIPTION:

PERMIT DRAWINGS



DRAWING TITLE:

Renderings

Scale as Noted

PAGE:

A-8

11 of 11

ISSUE DATE:

Tuesday, May 28, 2024

Drawn by: BP
Checked by: AK



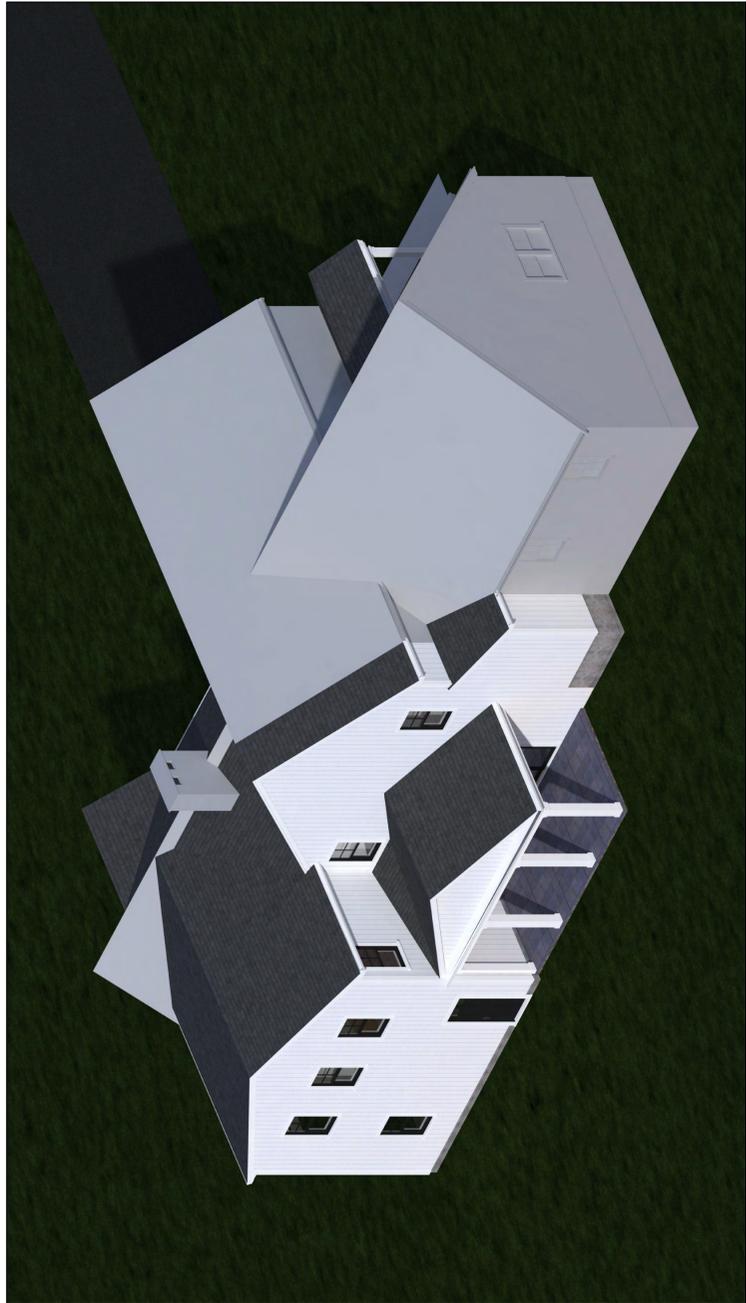
Right Side Rendering 3
A-8



Front Rendering 5
A-8



Rear Rendering 2
A-8



Axon view of rear Additions 1
A-8

NDS Flo-Well Calculator

Step 1:

Enter the Square Feet of Drainage Area 1: (Ex. Roof)

Enter the Square Feet of Drainage Area 2: (Ex. Grass)

Step 2:

Choose the Coefficient of Runoff for Area 1: 1.0 (Concrete/Aspha ▾)

Choose the Coefficient of Runoff for Area 2: 0.35 (Grass ▾)

Step 3:

Choose the 25 Year Rainfall: (see rainfall map) 1 ▾ in/hr

Step 4:

Enter the depth of the gravel backfill beneath the Flo-Well:
(Dimension A) 2 ft

Step 5:

Enter the thickness of the gravel backfill around the Flo-Well:
(Dimension B) 1 ft

Step 7: View results:

Runoff	3.13 GPM 0.01 CFS
Volume of water to be stored	93.90 Gallons 12.55 Cubic feet

of Flo-Well's Needed 1

Amount of Gravel Needed	1.77 Cubic yards 47.79 Cubic feet
--------------------------------	--

Download Installation Details

- Stacked Flo-Well(TM) Installation Detail
- Side-by-Side Flo-Well(TM) Installation Detail

North Side Drywell

NDS Flo-Well Calculator

Step 1:

Enter the Square Feet of Drainage Area 1: (Ex. Roof)

Enter the Square Feet of Drainage Area 2: (Ex. Grass)

Step 2:

Choose the Coefficient of Runoff for Area 1: 1.0 (Concrete/Aspha ▾)

Choose the Coefficient of Runoff for Area 2: 0.35 (Grass ▾)

Step 3:

Choose the 25 Year Rainfall: (see rainfall map), 1 ▾ in/hr

Step 4:

Enter the depth of the gravel backfill beneath the Flo-Well:

(Dimension A) ft

Step 5:

Enter the thickness of the gravel backfill around the Flo-Well:

(Dimension B) ft

Step 7: View results:

Runoff	4.4 GPM 0.01 CFS
Volume of water to be stored	132.00 Gallons 17.65 Cubic feet

of Flo-Well(s) Needed 1

Amount of Gravel Needed	1.77 Cubic yards 47.79 Cubic feet
--------------------------------	--

Download Installation Details

[Stacked Flo-Well\(TM\) Installation Detail](#)

[Side-by-Side Flo-Well\(TM\) Installation Detail](#)

Center Drywell

NDS Flo-Well Calculator

Step 1:

Enter the Square Feet of Drainage Area 1: (Ex. Roof)

156

Enter the Square Feet of Drainage Area 2: (Ex. Grass)

0

Step 2:

Choose the Coefficient of Runoff for Area 1: 1.0 (Concrete/Aspha ▾)

Choose the Coefficient of Runoff for Area 2: 0.35 (Grass ▾)

Step 3:

Choose the 25 Year Rainfall: (see rainfall map). 1 ▾ in/hr

Step 4:

Enter the depth of the gravel backfill beneath the Flo-Well:

(Dimension A) 2 ft

Step 5:

Enter the thickness of the gravel backfill around the Flo-Well:

(Dimension B) 1 ft

Step 7: view results:

Runoff	1.63 GPM 0.01 CFS
Volume of water to be stored	48.90 Gallons 6.54 Cubic feet

of Flo-Well(s) Needed 1

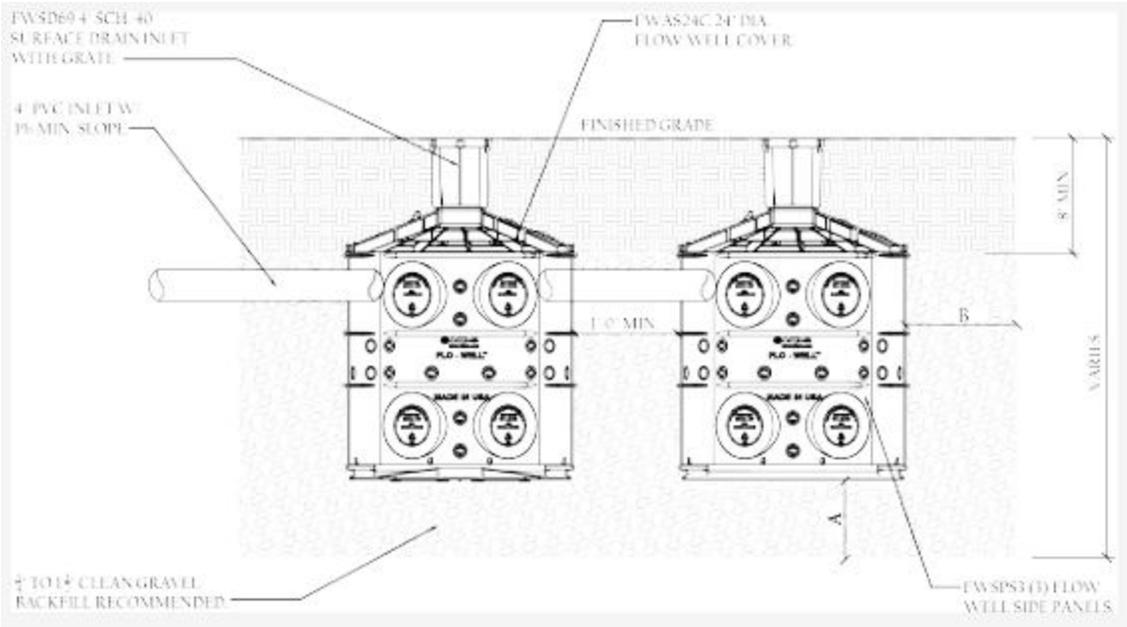
Amount of Gravel Needed	1.77 Cubic yards 47.79 Cubic feet
--------------------------------	--

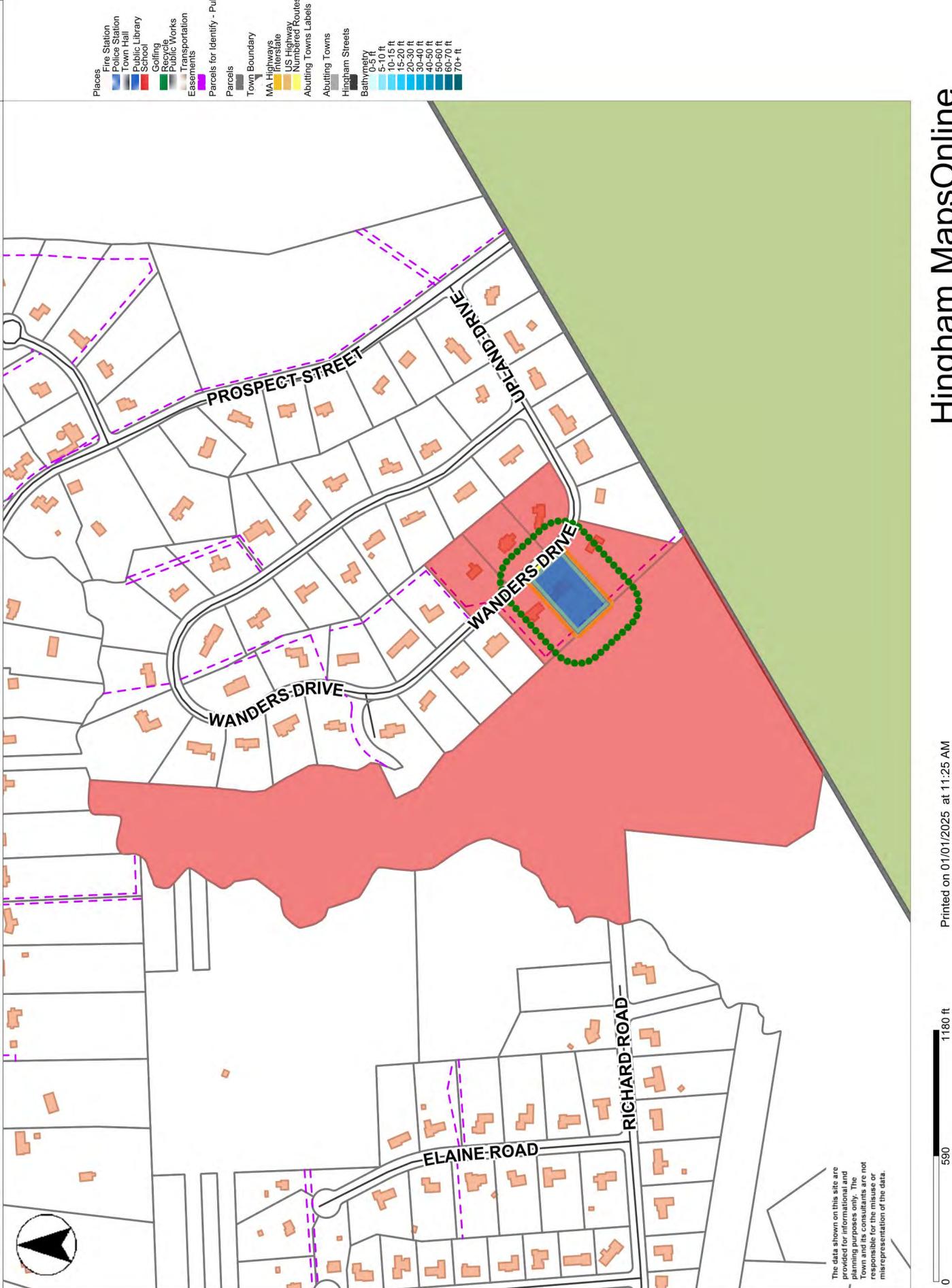
Download Installation Details

[Stacked Flo-Well\(TM\) Installation Detail](#)

[Side-by-Side Flo-Well\(TM\) Installation Detail](#)

South Side Drywell





- Places
 - Fire Station
 - Police Station
 - Town Hall
 - Public Library
 - School
 - Golfing
 - Recycle Works
 - Transportation
 - Easements
 - Parcels for Identify - Public
- Parcels
- Town Boundary
- MA Highways
 - Interstate
 - US Highway
 - Numbered Routes
- Abutting Towns
- Hingham Streets
 - Bathymetry
 - 0-5 ft
 - 5-10 ft
 - 10-15 ft
 - 15-20 ft
 - 20-30 ft
 - 30-40 ft
 - 40-50 ft
 - 50-60 ft
 - 60-70 ft
 - 70+ ft

The data shown on this site are provided for informational and planning purposes only. Hingham Town and its consultants are not responsible for the misuse or misrepresentation of the data.



Printed on 01/01/2025 at 11:25 AM

Abutters List[print this list](#)

Date: January 01, 2025

Subject Property Address: 45 WANDERS DRIVE Hingham, MA

Subject Property ID: 192-0-23

Search Distance: 100 Feet

Owner: TOWN OF HINGHAM ET ALS

Co-Owner: CONSERVATION

Prop ID: 191-0-1

Prop Location: 0 OFF PROSPECT STREET Hingham, MA

Owner: HOWLETT PHILIP C & ELIZABETH G TT

Co-Owner: PHILIP C HOWLETT 2017 REVOCABLE TRUST

Prop ID: 192-0-17

Prop Location: 47 WANDERS DRIVE Hingham, MA

Owner: BURKE MICHAEL & ALICIA

Prop ID: 192-0-18

Prop Location: 44 WANDERS DRIVE Hingham, MA

Owner: KHAYAT SAMER & BECERRA LAURA

Prop ID: 192-0-19

Prop Location: 42 WANDERS DRIVE Hingham, MA

Owner: HARRIS HEATHER & STEVEN

Prop ID: 192-0-20

Prop Location: 40 WANDERS DRIVE Hingham, MA

Owner: LYNCH JULIA TT

Co-Owner: JULIA LYNCH 2024 REVOCABLE TRUST

Prop ID: 192-0-22

Prop Location: 43 WANDERS DRIVE Hingham, MA

NOTIFICATION TO ABUTTERS

Under the MA Wetlands Protection Act and
Hingham Wetlands Protection By-Law

In accordance with the second paragraph of the Massachusetts General Laws Chapter 131 §40, and Section 7.5 of the Hingham Wetland Regulations, you are hereby notified of the following:

Mark Reilly has filed a Notice of Intent
Applicant Name *Application Type*

with the Town of Hingham Conservation Commission seeking permission to remove, fill, dredge, or alter an Area Subject to Protection under the Wetlands Protection Act, M.G.L. 131 §40, and/or the Town of Hingham Wetlands Protection By-Law [Article 22].

The address of the property where work is proposed: 45 Wanders Drive _____

The proposed work includes:

___ Construction of a single car garage, 2nd floor bedroom renovation and a covered patio

Copies of the application may be examined at the Conservation Office located at Hingham Town Hall, 210 Central Street, Hingham, MA during the following business hours:

Monday, Wednesday, Thursday: 7:30AM- 4:30PM
Tuesday: 7:30AM - 7:00PM
Fridays: closed

For more information, to request copies of the application, or obtain information about the public hearing please contact the Conservation Office at (781)741-1445 or by emailing Conservation@hingham-ma.gov

You may also request copies of the application from the applicant or applicant's representative by contacting Kenneth Thomson at ^(781 929 1203) 781 929 1203 between the hours of 8am and 5pm on the following days: M-F (No administrative fees).

An Administrative fee may be applied for providing copies of the application or plans.

Notice of the public hearing, including the date, time, and place will be published at least five (5) business days in advance of the hearing in the Patriot Ledger. Notice will also be posted on the town website at least forty-eight (48) hours in advance of the public hearing. To view the agenda, go to [Agenda Center • Hingham, MA • CivicEngage \(hingham-ma.gov\)](#)

The Department of Environmental Protection (DEP) Southeast Regional Office can also provide information about this application or the MA Wetlands Protection Act. DEP is located at 20 Riverside Drive, Lakeville, MA 02347 and can be reached by telephone at (508) 946-2700.

AFFADAVIT OF SERVICE

Under the MA Wetlands Protection Act and
Hingham Wetlands Protection By-Law

(To be submitted to the Hingham Conservation Commission and the MA Department of Environmental
Protection when filing an application requiring abutter notification)

I, Kenneth Thomson, hereby certify under the pains and penalties of perjury
Name of person making Affidavit

that on 1/8/2025 I gave notification to abutters in compliance with the second paragraph of
Date

the Massachusetts General Laws Chapter 131, Section 40, and the Hingham Wetlands Protection By-Law and
Wetland Regulations, by Construction of an addition in connection with the following matter:
Type of Service

A Notice of Intent was filed under the MA Wetlands Protection Act and Hingham Wetlands Protection By-
Law with the Hingham Conservation Commission on:

1/9/2025 for property located at 45 Wanders Drive.
Date *Property Address*

The form of the notification and a list of abutters to whom notice was given and their addresses are attached to
this Affidavit of Service.

Kenneth Thomson
Signature

1/8/2025
Date



Certificate of Mailing — Firm

Name and Address of Sender

5 Wetlands
134 Spring Street
Rockland, MA 02370

Jan 6 2025

USPS® Tracking Number
Firm-specific Identifier

1.

TOTAL NO.
of Pieces Listed by Sender

Postmaster, per (name of receiving employee)

TOTAL NO.
of Pieces Received at Post Office™

Affix Stamp Here
Postmark with Date of Receipt.

U.S. POSTAGE PAID
ABINGTON, MA
02351
JAN 08 25
AMOUNT
\$2.20
R2305K134600-14



0000

U.S. POSTAGE PAID
ABINGTON, MA
02351
JAN 08 25
AMOUNT
\$2.20
R2305K134600-14



0000

U.S. POSTAGE PAID
ABINGTON, MA
02351
JAN 08 25
AMOUNT
\$2.20
R2305K134600-14



0000

U.S. POSTAGE PAID
ABINGTON, MA
02351
JAN 08 25
AMOUNT
\$2.20
R2305K134600-14



0000

Address
(Name, Street, City, State, and ZIP Code™)

TOWN OF HINGHAM ET ALS
CONSERVATION
210 CENTER STREET
HINGHAM, MA 02043

HOWLETT PHILIP C & ELIZABETH G TT
PHILIP C HOWLETT 2017 REVOCABLE TRUST
47 WANDERS DRIVE
HINGHAM, MA 02043

BURKE MICHAEL & ALICIA
44 WANDERS DRIVE
HINGHAM, MA 02043

KHAYAT SAMER & BECERRA LAURA
42 WANDERS DRIVE
HINGHAM, MA 02043

HARRIS HEATHER & STEVEN
40 WANDERS DRIVE
HINGHAM, MA 02043

LYNCH JULIA TT
JULIA LYNCH 2024 REVOCABLE TRUST
43 WANDERS DRIVE
HINGHAM, MA 02043

U.S. POSTAGE PAID
ABINGTON, MA
02351
JAN 08 25
AMOUNT
\$2.20
R2305K134600-14



0000

U.S. POSTAGE PAID
ABINGTON, MA
02351
JAN 08 25
AMOUNT
\$2.20
R2305K134600-14



0000

Catherine Reilly
45 Wanders Drive
Hingham, MA 02034

INTRODUCTION

Kenneth Thomson (Botanist/Wetland Scientist) reviewed and delineated the site on June 29, 2023. The property is 1.0 acre in size with a single family home. The property abuts the McKenna Marsh Conservation Area. The develop backyard extends to the wetland line and is elevated 2 feet above the wetland. McKenna Marsh Conservation Area is a large red maple swamp that drains north. The red maple swamp was dominated by red maple, yellow birch, winterberry, arrow-wood, highbush blueberry, sensitive fern, and cinnamon fern. The soils are mapped as Freetown muck. Freetown series consists of very deep, very poorly drained organic soils formed in more than 51 inches of highly decomposed organic material. They are commonly in depressions or on level uplands and alluvial plains.

A review of MassGIS datasets revealed the property is located within the Accord Brook public water supply and regulated as an Outstanding Resource Water (ORW). The majority of the property is located within Zone C of a public water supply. Zone A of a public water supply extends into the northwest corner of the property, but it is contain within the wetlands. FEMA National flood Hazard has the 1% AE Zone (100 Year Flood) extending on the property to the extent of the wetlands, see attached Firmette.

WETLAND DELINEATION

Kenneth Thomson (Botanist/Wetland Scientist) identified and delineated wetlands subject to regulatory jurisdiction under Section 404 of the Clean Water Act (33 U.S.C. 1344) or the Massachusetts Wetlands Protection Act, M.G.L., Chapter 131, Section 40. Fieldwork was conducted on June 29, 2023. The predominance of hydrophytic vegetation, evidence of hydric soils, and wetland hydrology were used to define the boundary of vegetated wetlands following the Interim Regional Supplement to the 1987 Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region, January 2012, and the 2022 MA DEP Delineation Manual Guidelines. The wetlands were flagged 1 to 9. MassDEP datasheets were developed for wetland flag #4

MassGIS OLIVER REVIEW

The following data layers are associated with the site under review.

Present	Absent	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Natural Heritage
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Certified Vernal Pools
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Potential Vernal Pools
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Estimated Habitat
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Priority Habitat
		Ground Water Protection
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Interim Well Head Protection
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Zone 2
		Surface Water Protection
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Zone A
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Zone B
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Zone C
		Wetlands
<input checked="" type="checkbox"/>	<input type="checkbox"/>	DEP Wetland Layer
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Perennial Stream
<input type="checkbox"/>	<input checked="" type="checkbox"/>	2005 Human Altered Area
		Floodplain
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	FEMA Flood Hazard Data
		Out Standing Resource Waters (ORW)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	ORW -- <i>Accord Brook Public Water Supply</i>
		Area of Environmental Concern (ACEC)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ACEC

WETLAND REGULATORY REVIEW

Massachusetts Wetland Resource Areas Performance Standards

Wetland resource areas on the site regulated under the Massachusetts Wetlands Protection Act (MGL Chapter 131, Section 40) and its Regulations (310 CMR 10.00) include:

- *Bordering Vegetated Wetlands*
- *Bordering Land Subject to Flooding*

If you have any question please contact the office.

Sincerely,

5 Wetlands

Kenneth Thomson
Botanist

BORDERING VEGETATED WETLAND DETERMINATION FORM

Project/Site: 45 Wanders Drive City/Town: Hingham Sampling Date: 6/29/2023
 Applicant/Owner: Catherine Reilly Sampling Point or Zone: 4 Wetland
 Investigator(s): Ken Thomson Latitude / Longitude: 42.18565 - 70.86604
 Soil Map Unit Name: Freetown Muck NWI or DEP Classification: WS1

Are climatic/hydrologic conditions on the site typical for this time of year? Yes No (If no, explain in Remarks)
 Are Vegetation , Soil , or Hydrology significantly disturbed? (If yes, explain in Remarks)
 Are Vegetation , Soil , or Hydrology naturally problematic? (If yes, explain in Remarks)

SUMMARY OF FINDINGS – Attach site map and photograph log showing sampling locations, transects, etc.

Wetland vegetation criterion met?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Is the Sampled Area within a Wetland? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Hydic Soils criterion met?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	
Wetlands hydrology present?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	
Remarks, Photo Details, Flagging, etc.:			

HYDROLOGY

Field Observations:		
Surface Water Present?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/> Depth (inches) _____
Water Table Present?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/> Depth (inches) <u>5.00</u>
Saturation Present (including capillary fringe)?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/> Depth (inches) <u>0.00</u>
Wetland Hydrology Indicators		
Reliable Indicators of Wetlands Hydrology <input checked="" type="checkbox"/> Water-stained leaves <input type="checkbox"/> Evidence of aquatic fauna <input type="checkbox"/> Iron deposits <input type="checkbox"/> Algal mats or crusts <input type="checkbox"/> Oxidized rhizospheres/pore linings <input type="checkbox"/> Thin muck surfaces <input type="checkbox"/> Plants with air-filled tissue (aerenchyma) <input type="checkbox"/> Plants with polymorphic leaves <input type="checkbox"/> Plants with floating leaves <input checked="" type="checkbox"/> Hydrogen sulfide odor	Indicators that can be Reliable with Proper Interpretation <input type="checkbox"/> Hydrological records <input checked="" type="checkbox"/> Free water in a soil test hole <input checked="" type="checkbox"/> Saturated soil <input checked="" type="checkbox"/> Water marks <input type="checkbox"/> Moss trim lines <input type="checkbox"/> Presence of reduced iron <input type="checkbox"/> Woody plants with adventitious roots <input checked="" type="checkbox"/> Trees with shallow root systems <input type="checkbox"/> Woody plants with enlarged lenticels	Indicators of the Influence of Water <input type="checkbox"/> Direct observation of inundation <input checked="" type="checkbox"/> Drainage patterns <input type="checkbox"/> Drift lines <input type="checkbox"/> Scoured areas <input type="checkbox"/> Sediment deposits <input type="checkbox"/> Surface soil cracks <input type="checkbox"/> Sparsely vegetated concave surface <input type="checkbox"/> Microtopographic relief <input type="checkbox"/> Geographic position (depression, toe of slope, fringing lowland)
Remarks (describe recorded data from stream gauge, monitoring well, aerial photos, previous inspections, if available):		

This form is only for BVW delineations. Other wetland resource areas may be present and should be delineated according to the applicable regulatory provisions.

VEGETATION – Use both common and scientific names of plants.

<u>Tree Stratum</u>		Plot size <u>30</u>			
Common name	Scientific name	Indicator Status	Absolute % Cover	Dominant? (yes/no)	Wetland Indicator? (yes/no)
1. Red Maple	Acer rubrum	FAC	63.0	Yes	Yes
2. Yellow Birch	Betula alleghaniensis	FAC	3.0	No	
3.					
4.					
5.					
6.					
7.					
8.					
9.					
<u>66.0</u> = Total Cover					
<u>Shrub/Sapling Stratum</u>		Plot size <u>15</u>			
Common name	Scientific name	Indicator Status	Absolute % Cover	Dominant? (yes/no)	Wetland Indicator? (yes/no)
1. Winterberry	Ilex verticillata	FACW	38.0	Yes	Yes
2. Sweet Pepperbush	Clethra alnifolia	FAC	10.5	Yes	Yes
3. Arrow-wood	Viburnum dentatum	FAC	10.5	Yes	Yes
4. Glossy Flase Buckthorn	Frangula alnus	FAC	3.0		
5. Green Ash	Fraxinus pennsylvanica	FACW	3.0		
6.					
7.					
8.					
9.					
<u>65.0</u> = Total Cover					
<u>Herb Stratum</u>		Plot size <u>5</u>			
Common name	Scientific name	Indicator Status	Absolute % Cover	Dominant? (yes/no)	Wetland Indicator? (yes/no)
1. Spotted Jewelweed	Impatiens capensis	FACW	20.5	Yes	Yes
2. Sensitive Fern	Onoclea sensibilis	FACW	3.0	No	
3. Small Enchanter's-Nightshade	Circaea alpina	FACW	3.0	No	
4.					
5.					
6.					
7.					
8.					
9.					
10.					
11.					
12.					
<u>26.5</u> = Total Cover					

VEGETATION – continued.

<u>Woody Vine Stratum</u>		Plot size <u>30</u>		Indicator	Absolute	Dominant?	Wetland
Common name		Scientific name		Status	% Cover	(yes/no)	Indicator?
							(yes/no)
1.	N/A						
2.							
3.							
4.							
				<u>0.0</u> = Total Cover			

Rapid Test: Do all dominant species have an indicator status of OBL or FACW?			Yes <input type="checkbox"/>	No <input type="checkbox"/>
Dominance Test:	Number of dominant species	Number of dominant species that are wetland indicator plants	Do wetland indicator plants make up ≥ 50% of dominant plant species? Yes <input type="checkbox"/> No <input type="checkbox"/>	
Prevalence Index:		Total % Cover (all strata)	Multiply by:	Result
	OBL species		X 1	= 0.00
	FACW species		X 2	= 0.00
	FAC species		X 3	= 0.00
	FACU species		X 4	= 0.00
	UPL species		X 5	= 0.00
	Column Totals	(A) 0		(B) 0
Prevalence Index		B/A = 0.00		Is the Prevalence Index ≤ 3.0? Yes <input type="checkbox"/> No <input type="checkbox"/>
Wetland vegetation criterion met?			Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>

Definitions of Vegetation Strata

- Tree - Woody plants 3 in. (7.62 cm) or more in diameter at breast height (DBH), regardless of height
- Shrub / Sapling - Woody plants less than 3 in. (7.62 cm) DBH and greater than or equal to 3.3 ft. (1 m) tall
- Herb - All herbaceous (non-woody plants, regardless of size, and woody plants less than 3.3 ft. (1 m) tall
- Woody vines - All woody vines greater than 3.3 ft. (1 m) in height

Cover Ranges	
Range	Midpoint
1-5 %	3.0 %
6-15 %	10.5 %
15-25 %	20.5 %
26-50 %	38.0 %
51-75 %	63.0 %
76-95 %	85.5 %
96-100 %	98.0 %

BORDERING VEGETATED WETLAND DETERMINATION FORM

Project/Site: 45 Wanders Drive City/Town: Hingham Sampling Date: 6/29/2023
 Applicant/Owner: Catherine Reilly Sampling Point or Zone: 4 Upland
 Investigator(s): Ken Thomson Latitude / Longitude: 42.18572 - 70.86596
 Soil Map Unit Name: Deerfield NWI or DEP Classification: Upland

Are climatic/hydrologic conditions on the site typical for this time of year? Yes No (If no, explain in Remarks)
 Are Vegetation , Soil , or Hydrology significantly disturbed? (If yes, explain in Remarks)
 Are Vegetation , Soil , or Hydrology naturally problematic? (If yes, explain in Remarks)

SUMMARY OF FINDINGS – Attach site map and photograph log showing sampling locations, transects, etc.

Wetland vegetation criterion met?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Is the Sampled Area within a Wetland? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Hydic Soils criterion met?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	
Wetlands hydrology present?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	
Remarks, Photo Details, Flagging, etc.:			

HYDROLOGY

Field Observations:		
Surface Water Present?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/> Depth (inches) _____
Water Table Present?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/> Depth (inches) _____
Saturation Present (including capillary fringe)?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/> Depth (inches) _____
Wetland Hydrology Indicators		
Reliable Indicators of Wetlands Hydrology <input type="checkbox"/> Water-stained leaves <input type="checkbox"/> Evidence of aquatic fauna <input type="checkbox"/> Iron deposits <input type="checkbox"/> Algal mats or crusts <input type="checkbox"/> Oxidized rhizospheres/pore linings <input type="checkbox"/> Thin muck surfaces <input type="checkbox"/> Plants with air-filled tissue (aerenchyma) <input type="checkbox"/> Plants with polymorphic leaves <input type="checkbox"/> Plants with floating leaves <input type="checkbox"/> Hydrogen sulfide odor	Indicators that can be Reliable with Proper Interpretation <input type="checkbox"/> Hydrological records <input type="checkbox"/> Free water in a soil test hole <input type="checkbox"/> Saturated soil <input type="checkbox"/> Water marks <input type="checkbox"/> Moss trim lines <input type="checkbox"/> Presence of reduced iron <input type="checkbox"/> Woody plants with adventitious roots <input type="checkbox"/> Trees with shallow root systems <input type="checkbox"/> Woody plants with enlarged lenticels	Indicators of the Influence of Water <input type="checkbox"/> Direct observation of inundation <input type="checkbox"/> Drainage patterns <input type="checkbox"/> Drift lines <input type="checkbox"/> Scoured areas <input type="checkbox"/> Sediment deposits <input type="checkbox"/> Surface soil cracks <input type="checkbox"/> Sparsely vegetated concave surface <input type="checkbox"/> Microtopographic relief <input type="checkbox"/> Geographic position (depression, toe of slope, fringing lowland)
Remarks (describe recorded data from stream gauge, monitoring well, aerial photos, previous inspections, if available):		

This form is only for BVW delineations. Other wetland resource areas may be present and should be delineated according to the applicable regulatory provisions.

VEGETATION – Use both common and scientific names of plants.

<u>Tree Stratum</u>		Plot size <u>30</u>			
		Indicator Status	Absolute % Cover	Dominant? (yes/no)	Wetland Indicator? (yes/no)
Common name		Scientific name			
1.	White Pine	Pinus strobes	FACU	20.5	Yes No
2.	Siberian Apple	Malus baccata	UPL	10.5	Yes No
3.					
4.					
5.					
6.					
7.					
8.					
9.					
			<u>31.0</u> = Total Cover		
<u>Shrub/Sapling Stratum</u>		Plot size <u>15</u>			
		Indicator Status	Absolute % Cover	Dominant? (yes/no)	Wetland Indicator? (yes/no)
Common name		Scientific name			
1.	Morrow's Honeysuckle	Lonicera morrowii	FACU	3.0	Yes No
2.	Forsythia	Forsythia suspensa	UPL	3.0	Yes No
3.					
4.					
5.					
6.					
7.					
8.					
9.					
			<u>6.0</u> = Total Cover		
<u>Herb Stratum</u>		Plot size <u>5</u>			
		Indicator Status	Absolute % Cover	Dominant? (yes/no)	Wetland Indicator? (yes/no)
Common name		Scientific name			
1.	Japanese Barberry	Berberis thunbergii	FACU	3.0	Yes No
2.	Spinulose Wood Fern	Dryopteris carthusiana	FACW	3.0	Yes Yes
3.					
4.					
5.					
6.					
7.					
8.					
9.					
10.					
11.					
12.					
			<u>6.0</u> = Total Cover		

VEGETATION – continued.

<u>Woody Vine Stratum</u>	Plot size <u>30</u>				
Common name	Scientific name	Indicator Status	Absolute % Cover	Dominant? (yes/no)	Wetland Indicator? (yes/no)
1. N/A					
2.					
3.					
4.					
<u>0.0</u> = Total Cover					

Rapid Test: Do all dominant species have an indicator status of OBL or FACW? Yes <input type="checkbox"/> No <input type="checkbox"/>			
Dominance Test:	Number of dominant species	Number of dominant species that are wetland indicator plants	Do wetland indicator plants make up ≥ 50% of dominant plant species? Yes <input type="checkbox"/> No <input type="checkbox"/>
Prevalence Index:		Total % Cover (all strata)	Multiply by: Result
	OBL species		X 1 = 0.00
	FACW species		X 2 = 0.00
	FAC species		X 3 = 0.00
	FACU species		X 4 = 0.00
	UPL species		X 5 = 0.00
	Column Totals	(A) 0	(B) 0
Prevalence Index		B/A = 0.00	Is the Prevalence Index ≤ 3.0? Yes <input type="checkbox"/> No <input type="checkbox"/>
Wetland vegetation criterion met? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>			

Definitions of Vegetation Strata

- Tree - Woody plants 3 in. (7.62 cm) or more in diameter at breast height (DBH), regardless of height
- Shrub / Sapling - Woody plants less than 3 in. (7.62 cm) DBH and greater than or equal to 3.3 ft. (1 m) tall
- Herb - All herbaceous (non-woody plants, regardless of size, and woody plants less than 3.3 ft. (1 m) tall
- Woody vines - All woody vines greater than 3.3 ft. (1 m) in height

Cover Ranges	
Range	Midpoint
1-5 %	3.0 %
6-15 %	10.5 %
15-25 %	20.5 %
26-50 %	38.0 %
51-75 %	63.0 %
76-95 %	85.5 %
96-100 %	98.0 %

