

PROPOSED SITE PLAN DOCUMENTS



PROPOSED

CHILD CARE FACILITY

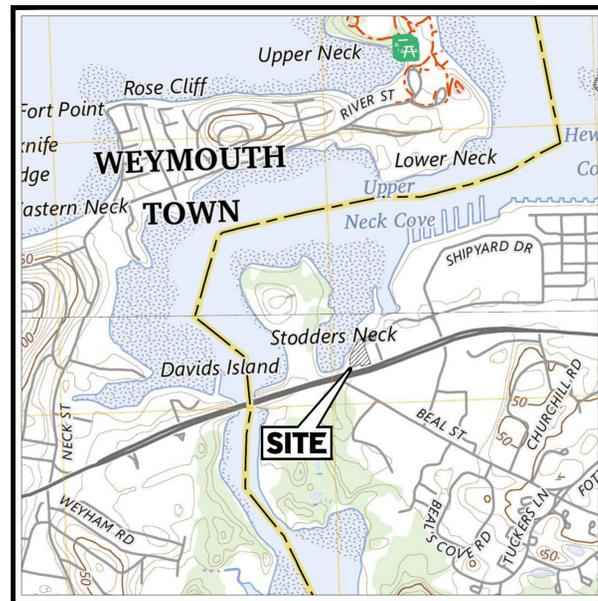
LOCATION OF SITE

425 LINCOLN STREET, TOWN OF HINGHAM
PLYMOUTH COUNTY, MASSACHUSETTS
MAP 46, LOT 1 & MAP 35, LOT 66

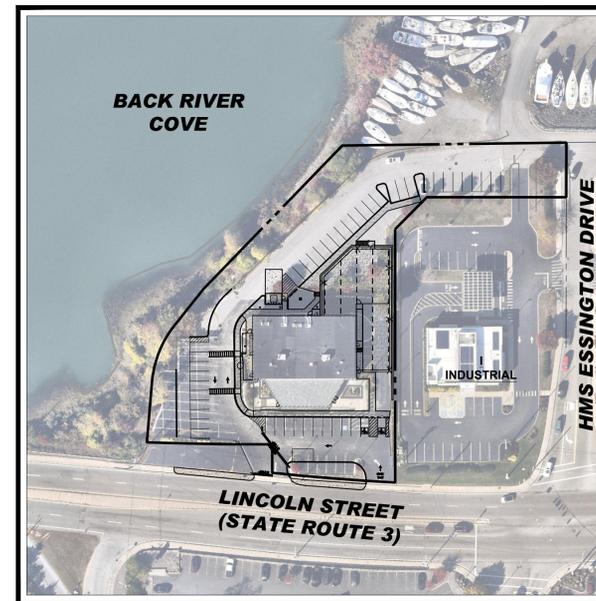
REFERENCES AND CONTACTS

REFERENCES
<ul style="list-style-type: none"> ALTA/NSPS LAND TITLE SURVEY: CONTROL POINT ASSOCIATES, INC. 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 DATED: 01/07/2025 (REV 1) SURVEY JOB #. 03-130228-03 ELEVATIONS: NAVD 1988 SCHEMATIC FLOOR PLANS: NDRR 150 W JEFFERSON AVENUE, SUITE 1300 DETROIT, MI 48226 DATED: 12/06/2024

THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS. HOWEVER, BOHLER ENGINEERING DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.



USGS MAP
SCALE: 1" = 1,000'
SOURCE: USGS MAPS WEYMOUTH, MA 2024 & HULL, MA 2024



AERIAL MAP
SCALE: 1" = 80'
SOURCE: NEARMAP AERIAL IMAGERY

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ALTA SURVEY (BY OTHERS)	2 SHEETS
BUILDING FLOOR PLAN (BY OTHERS)	1 SHEET
BUILDING ELEVATIONS (BY OTHERS)	1 SHEET

PREPARED BY

BOHLER //

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SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	CHECKED BY
1	03/18/2025	PLANNING DEPT. COMMENTS	SBB AWP
2	03/26/2025	TOWN COMMENTS	SBB AWP



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PROJECT No.: MAA240362-00-2A
DRAWN BY: SBB
CHECKED BY: AWP
DATE: 02/03/2025
CAD ID: P-CIVL-CNDS

PROJECT:

SITE DEVELOPMENT PLANS

FOR

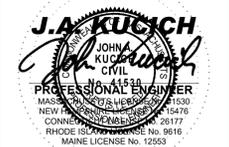


PROPOSED
CHILD CARE FACILITY
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425 LINCOLN STREET
PLYMOUTH COUNTY
HINGHAM, MA

BOHLER //

352 TURNPIKE ROAD, 3RD FLOOR
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900

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SHEET TITLE:

COVER SHEET

SHEET NUMBER:

C-101

REVISION 2 - 03/26/2025

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK. PRIOR TO THE INITIATION OF CONSTRUCTION, THE CONTRACTOR SHALL CONFIRM WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL, STATE AND FEDERAL CODES.

MASSACHUSETTS DEMOLITION NOTES

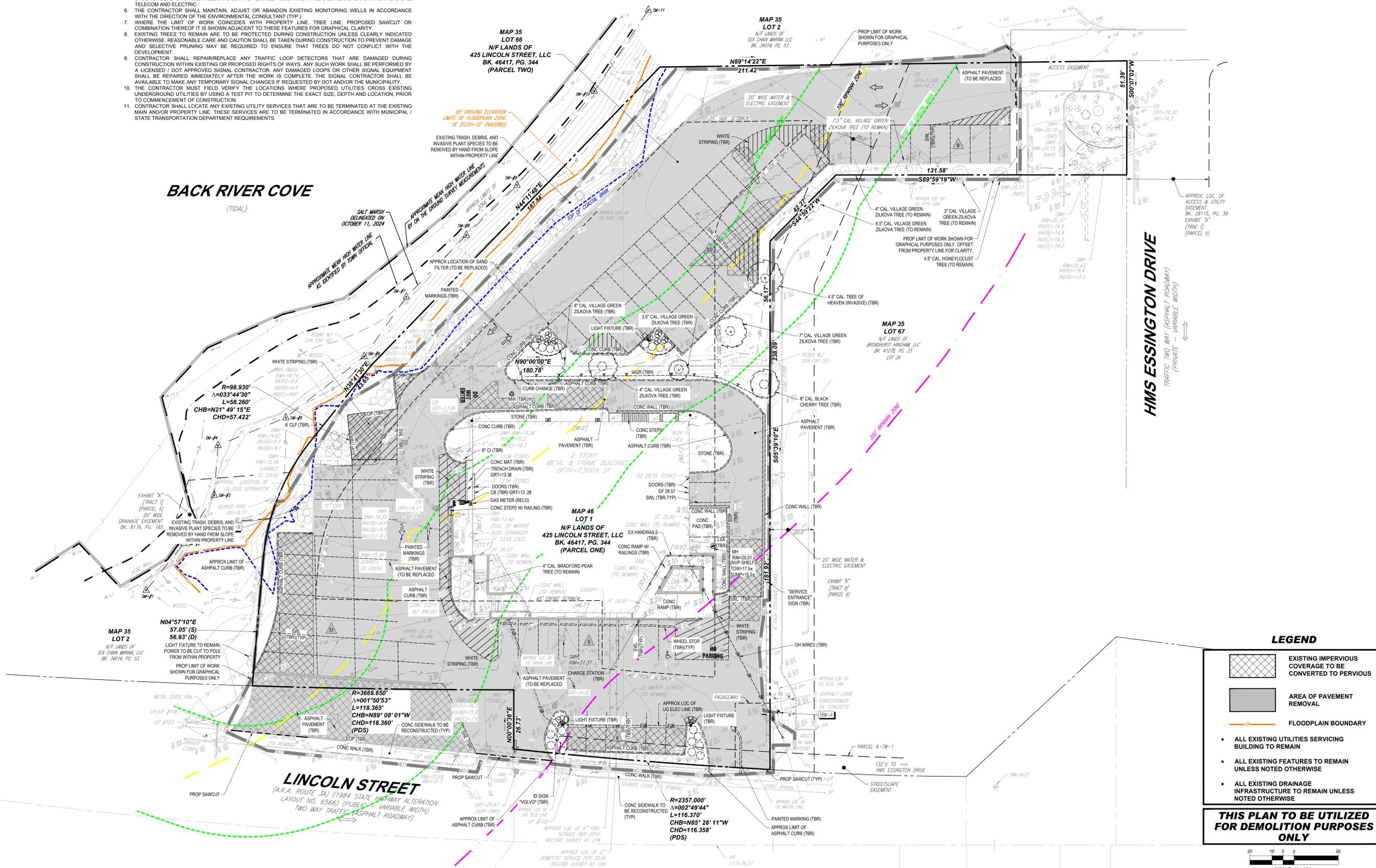
(Rev. 1/2023)

1. THE CONTRACTOR MUST LOCATE AND CLEARLY DEFINE VERTICALLY AND HORIZONTALLY ALL ACTIVE AND INACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.
2. CONTRACTOR SHALL FIELD LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION AND IF REQUIRED, DIG EXPLORATORY TEST PITS TO CONFIRM EXACT LOCATION AND DEPTH OF UTILITIES. CONTRACTOR SHALL NOTIFY DESIGN ENGINEER WITH ANY CONFLICTS AS NEEDED TO COORDINATE FINAL LOCATION OF ALL PROPOSED IMPROVEMENTS.
3. CONTRACTOR SHALL INSPECT ALL EXISTING UTILITY STRUCTURES THAT ARE TO REMAIN FOR THE PROJECTS RE-USE TO VERIFY SUITABILITY FOR SAME. IF STRUCTURES CAN NOT BE REUSED THEN THE CONTRACTOR SHALL PROVIDE A NEW STRUCTURE. THE CONTRACTOR SHALL COORDINATE SUCH WORK WITH THE APPLICABLE UTILITY PROVIDER.
4. CONTRACTOR TO REMOVE ANY BUILDING FOUNDATION REMAINS OR ASSOCIATED IMPROVEMENTS, DELETERIOUS MATERIALS, AND/OR DEBRIS THAT IMPEDE THE WORK SHOWN ON THESE PLANS.
5. THE CONTRACTOR SHALL REVIEW THE PLANS VERSUS THE LOCATION OF EXISTING STRUCTURES, UTILITIES AND APPURTENANCES IN THE FIELD TO CONFIRM ACCURACY OF SAME AND VERIFY ITEMS TO BE REMOVED. THE CONTRACTOR SHALL CARRY COSTS FOR REMOVAL OF ANY EXISTING STRUCTURES, APPURTENANCES, AND UNDERGROUND UTILITIES, INCLUDING BUT NOT LIMITED TO, DRAIN, WATER, SEWER, STEAM, IRRIGATION, GAS, TELECOM AND ELECTRIC.
6. THE CONTRACTOR SHALL MAINTAIN, ADJUST OR ABANDON EXISTING MONITORING WELLS IN ACCORDANCE WITH THE DIRECTION OF THE ENVIRONMENTAL CONSULTANT (TYP.)
7. WHERE THE LIMIT OF WORK COINCIDES WITH PROPERTY LINE, TREE LINE, PROPOSED SAWCUT OR COMBINATION THEREOF IT IS SHOWN ADJACENT TO THESE FEATURES FOR GRAPHICAL CLARITY.
8. EXISTING TREES TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION UNLESS CLEARLY INDICATED OTHERWISE. REASONABLE CARE AND CAUTION SHALL BE TAKEN DURING CONSTRUCTION TO PREVENT DAMAGE AND SELECTIVE PRUNING MAY BE REQUIRED TO ENSURE THAT TREES DO NOT CONFLICT WITH THE DEVELOPMENT.
9. CONTRACTOR SHALL REPAIR/REPLACE ANY TRAFFIC LOOP DETECTORS THAT ARE DAMAGED DURING CONSTRUCTION WITHIN EXISTING OR PROPOSED RIGHTS OF WAYS. ANY SUCH WORK SHALL BE PERFORMED BY A LICENSED / DOT APPROVED SIGNAL CONTRACTOR. ANY DAMAGED LOOPS OR OTHER SIGNAL EQUIPMENT SHALL BE REPAIRED IMMEDIATELY AFTER THE WORK IS COMPLETE. THE SIGNAL CONTRACTOR SHALL BE AVAILABLE TO MAKE ANY TEMPORARY SIGNAL CHANGES IF REQUESTED BY DOT AND/OR THE MUNICIPALITY.
10. THE CONTRACTOR MUST FIELD VERIFY THE LOCATIONS WHERE PROPOSED UTILITIES CROSS EXISTING UNDERGROUND UTILITIES BY USING A TEST PIT TO DETERMINE THE EXACT SIZE, DEPTH AND LOCATION, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
11. CONTRACTOR SHALL LOCATE ANY EXISTING UTILITY SERVICES THAT ARE TO BE TERMINATED AT THE EXISTING MAIN AND/OR PROPERTY LINE. THESE SERVICES ARE TO BE TERMINATED IN ACCORDANCE WITH MUNICIPAL / STATE TRANSPORTATION DEPARTMENT REQUIREMENTS.



BACK RIVER COVE

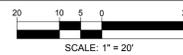
(TIDAL)



LEGEND

- EXISTING IMPERVIOUS COVERAGE TO BE CONVERTED TO PERVIOUS
- AREA OF PAVEMENT REMOVAL
- FLOODPLAIN BOUNDARY
- ALL EXISTING UTILITIES SERVICING BUILDING TO REMAIN
- ALL EXISTING FEATURES TO REMAIN UNLESS NOTED OTHERWISE
- ALL EXISTING DRAINAGE INFRASTRUCTURE TO REMAIN UNLESS NOTED OTHERWISE

THIS PLAN TO BE UTILIZED FOR DEMOLITION PURPOSES ONLY



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REVISIONS

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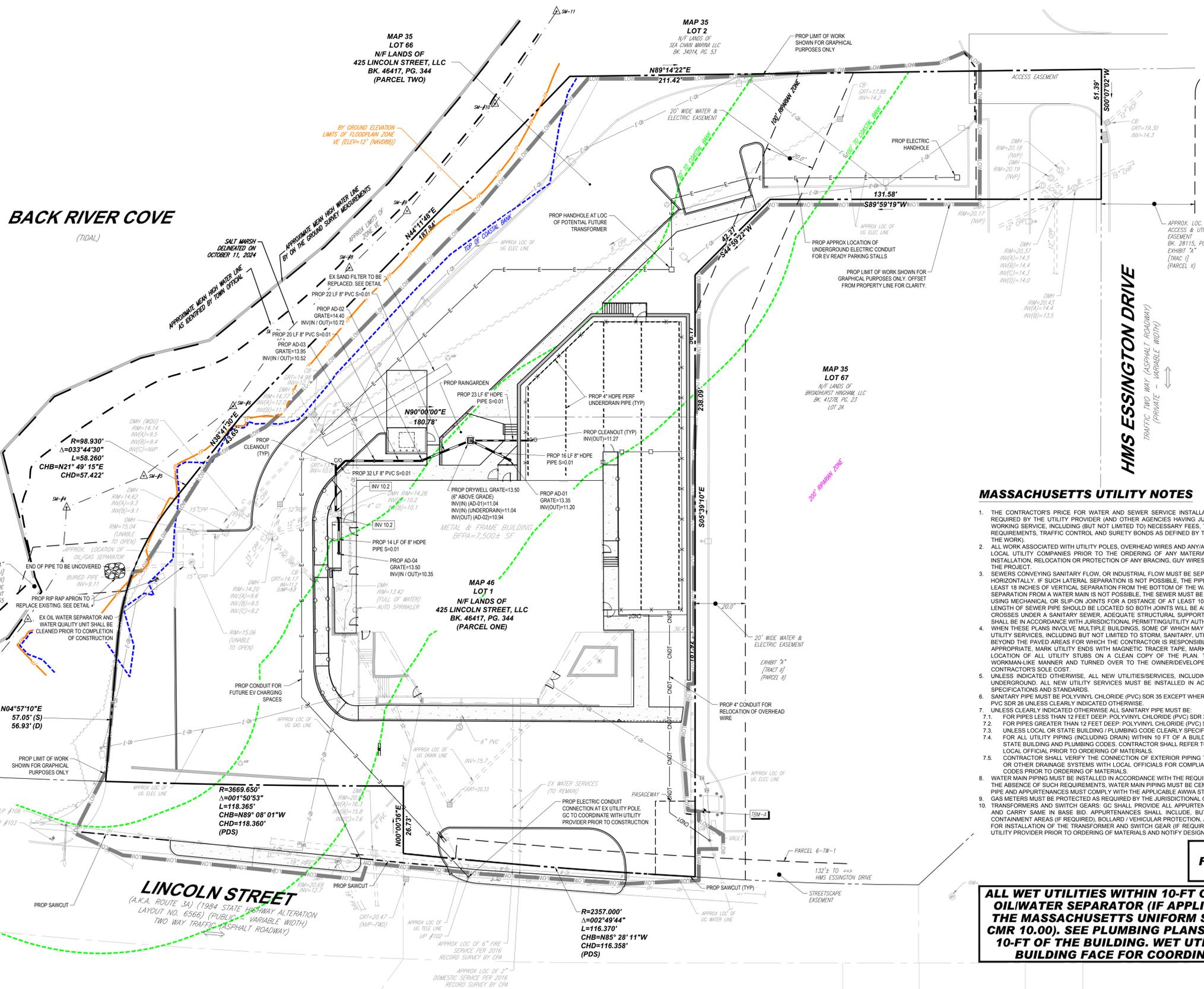
J.A. KUCICH
 JOHN A. KUCICH
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 PROFESSIONAL ENGINEER
 MASS. REG. NO. 15430
 NEW YORK REG. NO. 15476
 CONN. REG. NO. 15477
 RHODE ISLAND REG. NO. 0616
 MAINE LICENSE NO. 12553

SHEET TITLE:
EXISTING CONDITIONS/ DEMOLITION PLAN
 SHEET NUMBER:
C-201
 REVISION 2 - 03/26/2025

P:\2025\MAA240362.00\DRAWINGS\PLAN SET\CIVIL SITE PLAN\SP-CIVL-PROP-MAA240362.00-2A-LAYOUT1-C-201-EXDM



BACK RIVER COVE (TIDAL)

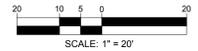


MASSACHUSETTS UTILITY NOTES

1. THE CONTRACTOR'S PRICE FOR WATER AND SEWER SERVICE INSTALLATIONS MUST INCLUDE ALL FEES, COSTS, AND APPURTENANCES REQUIRED BY THE UTILITY PROVIDER (AND OTHER AGENCIES HAVING JURISDICTION OVER THE WORK) TO PROVIDE FULL AND COMPLETE WORKING SERVICE, INCLUDING (BUT NOT LIMITED TO) NECESSARY FEES, TESTING, DISINFECTING, INSPECTIONS, ROAD OPENINGS & BACKFILL REQUIREMENTS, TRAFFIC CONTROL AND SURETY BONDS AS DEFINED BY THE PROVIDER (AND OTHER AGENCIES HAVING JURISDICTION OVER THE WORK).
2. ALL WORK ASSOCIATED WITH UTILITY POLES, OVERHEAD WIRES AND ANY/ALL APPURTENANCES SHALL BE COORDINATED BY THE GC WITH THE LOCAL UTILITY COMPANIES PRIOR TO THE ORDERING OF ANY MATERIALS. THIS MAY INCLUDE BUT IS NOT LIMITED TO THE REMOVAL, INSTALLATION, RELOCATION OR PROTECTION OF ANY BRACING, GUY WIRES, OVERHEAD WIRES, ETC. AS MAY BE REQUIRED TO ACCOMMODATE THE PROJECT.
3. SEWERS CONVEYING SANITARY FLOW OR INDUSTRIAL FLOW MUST BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE PIPES MUST, AT A MINIMUM, BE IN SEPARATE TRENCHES WITH AT LEAST 18 INCHES OF VERTICAL SEPARATION FROM THE BOTTOM OF THE WATER MAIN TO THE TOP OF THE SEWER LINE. WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER MUST BE ENCASED IN CONCRETE OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER LINE AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SANITARY SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SANITARY SEWER MUST BE PROVIDED. ALL CROSSINGS SHALL BE IN ACCORDANCE WITH JURISDICTIONAL PERMITTING/UTILITY AUTHORITIES REGULATIONS.
4. WHEN THESE PLANS INVOLVE MULTIPLE BUILDINGS, SOME OF WHICH MAY BE BUILT AT A LATER DATE, THE CONTRACTOR MUST EXTEND ALL UTILITY SERVICES, INCLUDING BUT NOT LIMITED TO STORM, SANITARY, UTILITIES, AND IRRIGATION LINES, TO A POINT AT LEAST FIVE (5) FEET BEYOND THE PAVED AREAS FOR WHICH THE CONTRACTOR IS RESPONSIBLE. THE CONTRACTOR MUST CAP ENDS OF INSTALLED UTILITIES AS APPROPRIATE. MARK UTILITY ENDS WITH MAGNETIC TRACER TAPE. MARK TERMINUS LOCATIONS WITH A 2X4 STAKE, AND MUST NOTE THE LOCATION OF ALL UTILITY STUBS ON A CLEAN COPY OF THE PLAN. THIS RECORD DOCUMENT MUST BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK, ALL OF WHICH IS AT THE CONTRACTOR'S SOLE COST.
5. UNLESS INDICATED OTHERWISE, ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. MUST BE INSTALLED UNDERGROUND. ALL NEW UTILITY SERVICES MUST BE INSTALLED IN ACCORDANCE WITH THE UTILITY SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.
6. SANITARY PIPE MUST BE POLYVINYL CHLORIDE (PVC) SDR 35 EXCEPT WHERE CLEARLY INDICATED OTHERWISE. SANITARY LATERAL(S) MUST BE PVC SDR 26 UNLESS CLEARLY INDICATED OTHERWISE.
7. UNLESS CLEARLY INDICATED OTHERWISE ALL SANITARY PIPE MUST BE:
 - 7.1. FOR PIPES LESS THAN 12 FEET DEEP: POLYVINYL CHLORIDE (PVC) SDR 35 PER ASTM D3034.
 - 7.2. FOR PIPES GREATER THAN 12 FEET DEEP: POLYVINYL CHLORIDE (PVC) SDR 26 PER ASTM D3034.
 - 7.3. UNLESS LOCAL OR STATE BUILDING / PLUMBING CODE CLEARLY SPECIFIES DIFFERENTLY, SANITARY LATERALS MUST BE PVC SDR 26.
 - 7.4. FOR ALL UTILITY PIPING (INCLUDING DRAIN) WITHIN 10 FT OF A BUILDING, PIPE MATERIAL SHALL COMPLY WITH APPLICABLE LOCAL OR STATE BUILDING AND PLUMBING CODES. CONTRACTOR SHALL REFER TO PLUMBING ENGINEERING PLANS AND VERIFY PIPE MATERIAL WITH LOCAL OFFICIAL PRIOR TO ORDERING OF MATERIALS.
 - 7.5. CONTRACTOR SHALL VERIFY THE CONNECTION OF EXTERIOR PIPING TO ANY FIXTURES (SUCH AS AN EXTERIOR GREASE INTERCEPTOR) OR OTHER DRAINAGE SYSTEMS WITH LOCAL OFFICIALS FOR COMPLIANCE WITH APPLICABLE LOCAL OR STATE BUILDING AND PLUMBING CODES PRIOR TO ORDERING OF MATERIALS.
8. WATER MAIN PIPING MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL WATER COMPANY. IN THE ABSENCE OF SUCH REQUIREMENTS, WATER MAIN PIPING MUST BE CEMENT-LINED DUCTILE IRON (DIP) MINIMUM CLASS 52 THICKNESS. ALL PIPE AND APPURTENANCES MUST COMPLY WITH THE APPLICABLE AWWA STANDARDS IN EFFECT AT THE TIME OF APPLICATION.
9. GAS METERS MUST BE PROTECTED AS REQUIRED BY THE JURISDICTIONAL GAS PROVIDER.
10. TRANSFORMERS AND SWITCH GEARS: GC SHALL PROVIDE ALL APPURTENANCES IN ACCORDANCE WITH UTILITY COMPANY SPECIFICATIONS AND CARRY SAME IN BASE BID. APPURTENANCES SHALL INCLUDE, BUT NOT BE LIMITED TO: THE CONCRETE PAD, SECONDARY SPILL CONTAINMENT AREAS (IF REQUIRED), BOLLARD / VEHICULAR PROTECTION, AND OTHER ITEMS AS MAY BE REQUIRED BY THE UTILITY PROVIDER FOR INSTALLATION OF THE TRANSFORMER AND SWITCH GEAR (IF REQUIRED). GC SHALL COORDINATE ALL ASPECTS OF INSTALLATION WITH UTILITY PROVIDER PRIOR TO ORDERING OF MATERIALS AND NOTIFY DESIGN ENGINEER OF ANY CONFLICTS IN WRITING.

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY

ALL WET UTILITIES WITHIN 10-FT OF THE BUILDING, INCLUDING OILWATER SEPARATOR (IF APPLICABLE), ARE GOVERNED BY THE MASSACHUSETTS UNIFORM STATE PLUMBING CODE (248 CMR 10.00). SEE PLUMBING PLANS FOR PIPE MATERIAL WITHIN 10-FT OF THE BUILDING. WET UTILITIES ARE DRAWN TO THE BUILDING FACE FOR COORDINATION PURPOSES ONLY.



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PROJECT No.: MAA240362-00-2A
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CAD ID.: P-CIVIL-PROP

SITE DEVELOPMENT PLANS
FOR

PROPOSED
CHILD CARE FACILITY

MAP: 46 | LOT: 1 & MAP: 35 | LOT: 66
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BOHLER

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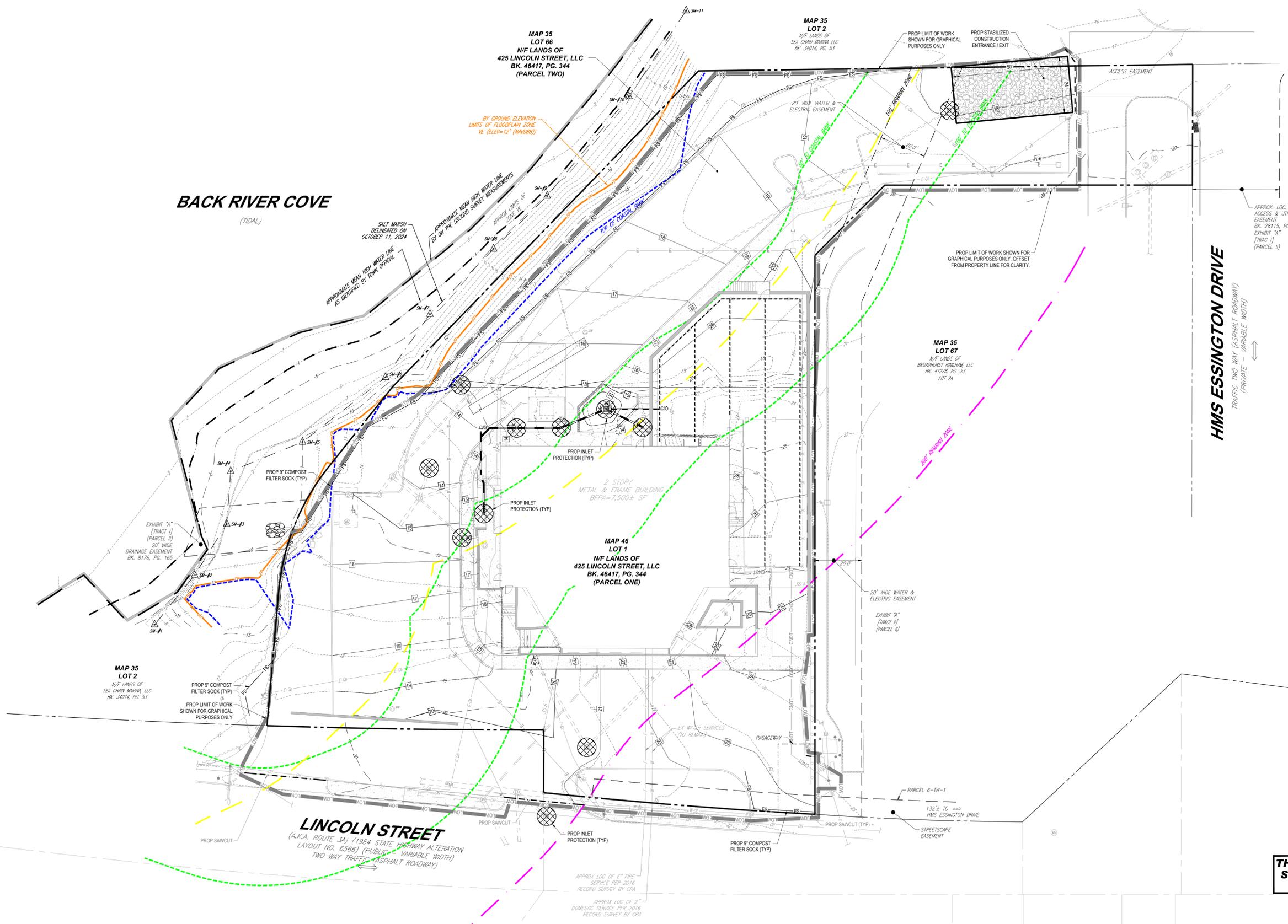
J.A. KUCICH
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CIVIL
PROFESSIONAL ENGINEER
MASSACHUSETTS
NEW FRESHFIELD, MA 01947
COMM. EXPIRES 12/31/2025
RHODE ISLAND LICENSE No. 0616
MAINE LICENSE No. 12553

SHEET TITLE:
UTILITY AND DRAINAGE PLAN

SHEET NUMBER:
C-501

REVISION 2 - 03/26/2025

P:\2024\MAA240362-00-2A\DRAWINGS\PLAN SET\CIVIL SITE PLAN\SP-CIVIL-PROP-MAA240362-00-2A-LAYOUT1-C-501.UPLD



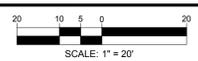
BACK RIVER COVE
(TIDAL)

HMS ESSINGTON DRIVE
TRAFFIC TWO WAY (ASPHALT ROADWAY)
(PRIVATE - VARIABLE WIDTH)

LINCOLN STREET
(A.K.A. ROUTE 3A) (1984 STATE HIGHWAY ALTERATION
LAYOUT NO. 6566) (PUBLIC VARIABLE WIDTH)
TWO WAY TRAFFIC (ASPHALT ROADWAY)

APPROX. LOC. OF 6" FIRE SERVICE PER 2016 RECORD SURVEY BY CPA
APPROX. LOC. OF 2" DOMESTIC SERVICE PER 2016 RECORD SURVEY BY CPA

THIS PLAN TO BE UTILIZED FOR SOIL EROSION AND SEDIMENT CONTROL PURPOSES ONLY



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NEW HAMPSHIRE REG. NO. 15476
CONNECTICUT REG. NO. 91177
RHODE ISLAND REG. NO. 0616
MAINE LICENSE NO. 12553

SHEET TITLE:
SOIL EROSION AND SEDIMENT CONTROL PLAN
SHEET NUMBER:
C-801
REVISION 2 - 03/26/2025

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MASSACHUSETTS EROSION AND SEDIMENT CONTROL NOTES

1. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
2. THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. AT A MINIMUM, AREAS SHALL BE PERMANENTLY STABILIZED ACCORDING TO THE CURRENT EDITION OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), OR IN THE ABSENCE OF A SWPPP, THEY SHALL BE PERMANENTLY STABILIZED WITHIN 14 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
3. SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 8%.
4. INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #5.
5. ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE PERMANENTLY STABILIZED. FOR SEDIMENT CONTROL DEVICES THAT ARE WITHIN AREAS SUBJECT TO CONSERVATION COMMISSION JURISDICTION, THE DEVICES SHALL REMAIN IN PLACE AND BE REMOVED IN ACCORDANCE WITH THE ORDER OF CONDITIONS.
6. NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1) UNLESS OTHERWISE INDICATED ON THE PLANS. SLOPE PROTECTION FOR SLOPES GREATER THAN 2:1 SHALL BE DESIGNED BY A GEOTECHNICAL ENGINEER.
7. IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ADOPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
8. TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING EROSION.
9. DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL STANDARDS.
10. REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:
 - a) SIX INCHES, OR DEPTH SPECIFIED ON THE LANDSCAPE PLAN, OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
 - b) APPLY LIME/STONING FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18.4 LB PER 1,000 SF USING 10-20-20 OR EQUIVALENT. APPLY GROUND LIME/STONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB PER 1,000 SF).
 - c) FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEED TO A MIXTURE OF 47% CREEPING RED FESCUE, 5% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUEGRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS. SEEDING RATE IS 1.03 LBS PER 1,000 SF LAWN. QUALITY SOO MAY BE SUBSTITUTED FOR SEED WHERE SLOPES DO NOT EXCEED 2:1. SOO ON SLOPES STEEPER THAN 3:1 SHOULD BE PEGGED.
 - d) STRAW MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE NON-TOXIC BINDER WILL BE USED ON STRAW MULCH FOR WIND CONTROL.
11. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS 70% STABILIZED. FOR EROSION CONTROL MEASURES THAT ARE WITHIN AREAS SUBJECT TO CONSERVATION COMMISSION JURISDICTION, THE MEASURES SHALL REMAIN IN PLACE AND BE REMOVED IN ACCORDANCE WITH THE ORDER OF CONDITIONS.
12. WETLANDS WILL BE PROTECTED WITH BARRIERS CONSISTING OF STRAW BALES, COMPOST TUBES, SILT FENCE OR A COMBINATION THEREOF.
13. ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS.
14. ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED.

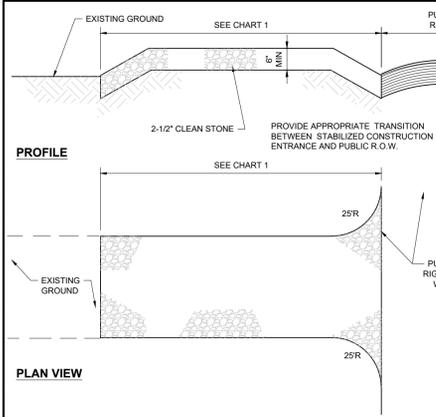
LOCATION PROTECTED AREA	MULCH STRAW	MULCH RATE (1000 SF) 100 POUNDS
WINDY AREA	SHREDDED OR CHOPPED CORNSTALKS STRAW (ANCHORED)*	185-275 POUNDS 100 POUNDS
MODERATE TO HIGH VELOCITY AREAS OR STEEP SLOPES GREATER THAN 3:1	JUTE MESH OR EXCELSIOR MAT	AS REQUIRED
GREATER THAN 3:1	(REFER TO GEOTECHNICAL REPORT FOR FINAL DESIGN REQUIREMENT)	

- * A HYDRO-APPLICATION OF WOOD OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE NON-TOXIC BINDER SHALL BE USED TO ADDITIONAL WIND CONTROL.
- * MULCH ANCHORING: ANCHOR MULCH WITH PEG AND TWINE (1 SO, YDIBLOCK); MULCH NETTING (AS PER MANUFACTURER); WOOD CELLULOSE FIBER (750 LBS/ACRE); CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS); USE OF A SERRATED STRAIGHT DISK WETTING FOR SMALL AREAS AND ROAD DITCHES MAY BE PERMITTED.
15. PROPOSED LOCATIONS OF SURFACE STORMWATER MANAGEMENT BASINS CAN BE UTILIZED AS A TEMPORARY SEDIMENT TRAP DURING CONSTRUCTION. SEDIMENT TRAPS SHALL BE SIZED AND CONSTRUCTED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.
 16. TEMPORARY SEDIMENT TRAPS SHALL BE SIZED PER THE CURRENT EDITION OF THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS AND PROVIDE A MINIMUM OF 1,000 CU YD OF TRIBUTARY AREA WITH A MAXIMUM TRIBUTARY AREA OF 5 ACRES, MAINTAIN A 2:1 LENGTH TO WIDTH RATIO, AND NOT EXCEED 5 FT IN HEIGHT. UPON SITE STABILIZATION, ACCUMULATED SEDIMENT SHALL BE REMOVED AND THE TEMPORARY SEDIMENT TRAP EXCAVATED TO 1 FOOT BELOW THE TRAP. THE AREA SHALL THEN BE SCARIFIED TO PREVENT COMPACTION AND PROMOTE INFILTRATION, AND GRADED AND STABILIZED IN ACCORDANCE WITH THE GRADING AND LANDSCAPE PLANS.
 17. STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF.
 18. EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.
 19. THE CONTRACTOR MUST PERFORM DEWATERING (IF REQUIRED), IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND PAY FOR THE COSTS ASSOCIATED WITH ANY AND ALL NECESSARY DISCHARGE PERMITS ASSOCIATED WITH SAME.
 20. THE CONTRACTOR MUST LOCATE CONSTRUCTION WASTE MATERIAL STORAGE AREAS TO MINIMIZE EXPOSURE TO STORMWATER. THE CONTRACTOR MUST IMMEDIATELY PLACE CONSTRUCTION WASTE IN ON-SITE STORAGE CONTAINERS UNTIL THAT CONSTRUCTION WASTE IS READY FOR OFF-SITE DISPOSAL. THE CONTRACTOR MUST MAINTAIN SPILL PREVENTION AND RESPONSE EQUIPMENT AND MAKE SAME CONTINUOUSLY AVAILABLE ON-SITE FOR USE BY THE CONTRACTOR'S EMPLOYEES WHO MUST BE PROPERLY TRAINED IN THE APPLICATION OF SPILL PREVENTION AND RESPONSE PROCEDURES.
 21. EROSION CONTROL NOTES DURING WINTER CONSTRUCTION
 22. WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15
 23. WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT THE AMOUNT OF AREA OPEN AT ONE TIME IS MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE AND IN CONFORMANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN SUCH THAT ADEQUATE PROVISIONS ARE EMPLOYED TO CONTROL STORMWATER RUNOFF.
 24. CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
 25. AN AREA SHALL BE CONSIDERED TO HAVE BEEN TEMPORARILY STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR STRAW AT A RATE OF 100 LB PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEED, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE.
 26. FOR AREAS WHERE CONSTRUCTION ACTIVITIES HAVE CEASED FOR A PERIOD EXCEEDING 14 DAYS BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH, LOAM OR SEED WILL NOT BE REQUIRED. THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEED. IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEED. AT A RATE OF 200-300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED AS APPLICABLE. SLOPES SHALL NOT BE LEFT UNSTABILIZED OVER THE WINTER OR IN AREAS WHERE WORK HAS CEASED FOR MORE THAN 14 DAYS UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF SEDIMENT BARRIERS OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.
 27. MULCHING REQUIREMENTS:
 - a) BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER.
 - b) MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.
 - c) MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15%. AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
 28. ALL DISTURBED AREAS SHALL BE STABILIZED IN ACCORDANCE WITH THE STORMWATER PREVENTION PLAN.
 29. DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.

GENERAL EROSION AND SEDIMENT CONTROL NOTES

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.
2. EROSION CONTROL MEASURES MUST CONFORM TO THE STATE, LOCAL, AND FEDERAL GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL, UNLESS OTHERWISE NOTED, OR UNLESS THE PROFESSIONAL OF RECORD CLEARLY AND SPECIFICALLY, IN WRITING, DIRECTS OTHERWISE. INSTALLATION OF EROSION CONTROL, CLEARING, AND SITE WORK MUST BE PERFORMED EXACTLY AS INDICATED IN THE EROSION CONTROL CONSTRUCTION NOTES.
3. THE DISTURBED LAND AREA OF THIS SITE IS APPROXIMATELY 1,240 ACRES.
4. THE FOLLOWING EROSION CONTROL MEASURES ARE PROPOSED FOR THIS SITE:
 - a) STABILIZED CONSTRUCTION ENTRANCE/EXIT - A TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT IS TO BE INSTALLED AT THE DESIGNATED LOCATION SHOWN ON THE PLAN. THIS AREA MUST BE GRADED SO THAT RUNOFF WATER WILL BE RETAINED ON-SITE.
 - b) SEDIMENT FENCE - INSTALL SILT FENCE(S) AND/OR SILT SOCK AROUND ALL OF THE DOWNSLOPE PERIMETERS OF THE SITE. TEMPORARY FILL AND SOIL STOCKPILES.
 - c) INSTALL FILTER FABRIC DROP INLET PROTECTION AROUND EACH DRAINAGE INLET AS DRAINAGE STRUCTURES ARE INSTALLED TO REDUCE THE QUANTITY OF SEDIMENT. INSTALL TEMPORARY INLET PROTECTION ON INLETS DOWNSLOPE FROM DISTURBANCE, WHICH MAY BE BEYOND THE LIMITS OF DISTURBED AREA.
 - d) INSTALLATION OF EROSION CONTROL DEVICES MUST BE IN ACCORDANCE WITH ALL OF THE MANUFACTURER'S RECOMMENDATIONS.
 - e) THE CONTRACTOR MUST INSPECT EROSION CONTROL MEASURES WEEKLY. THE CONTRACTOR MUST REMOVE ANY SILT DEPOSITS GREATER THAN 6 INCHES OR HALF THE EROSION CONTROL BARRIER'S HEIGHT COLLECTED ON THE FILTER FABRIC AND/OR SILT SOCK BARRIERS AND EXCAVATE AND REMOVE ANY SILT FROM DROP INLET PROTECTION.
 - f) THE CONTRACTOR MUST APPLY TEMPORARY SEED AND MULCH TO ALL DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINISHED GRADE AND VEGETATED WITHIN 7 DAYS, WHEN AREAS ARE DISTURBED AFTER THE GROWING SEASON, THE CONTRACTOR MUST STABILIZE SAME WITH GEOTEXTILE FABRIC AND MAINTAIN SAME IN STRICT ACCORDANCE WITH BEST MANAGEMENT PRACTICES.
 - g) THE CONTRACTOR MUST INSTALL ADDITIONAL EROSION CONTROL MEASURES IF THE PROFESSIONAL OF RECORD SO REQUIRES, TO PREVENT ANY, INCLUDING THE INCIDENTAL, DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE.
 - h) THE CONTRACTOR MUST BE RESPONSIBLE FOR INSPECTING AND MAINTAINING ALL EROSION CONTROL MEASURES ON THE SITE UNTIL PERMANENT PAVING AND TURF/LANDSCAPING IS ESTABLISHED. THE COSTS OF INSTALLING AND MAINTAINING THE EROSION CONTROL MEASURES MUST BE INCLUDED IN THE BID PRICE FOR THE SITE WORK AND THE CONTRACTOR IS RESPONSIBLE FOR A SUCH COSTS.
 - i) THE CONTRACTOR MUST CONTINUE TO MAINTAIN ALL EROSION CONTROL MEASURES UNTIL THE COMPLETION OF CONSTRUCTION AND THE ESTABLISHMENT OF VEGETATION.
 - j) THE CONTRACTOR MUST REMOVE EROSION CONTROL MEASURES, SILT AND DEBRIS AFTER ESTABLISHING PERMANENT VEGETATION COVER OR OTHER INSTALLING A DIFFERENT, SPECIFIED METHOD OF STABILIZATION.
 - k) THIS PLAN REPRESENTS THE MINIMUM LEVEL OF IMPLEMENTATION OF TEMPORARY EROSION AND SEDIMENTATION CONTROL FACILITIES, MEASURES AND STRUCTURES. ADDITIONAL FACILITIES, MEASURES AND STRUCTURES MUST BE INSTALLED WHERE NECESSARY TO COMPLY WITH ALL APPLICABLE CODES AND STANDARDS AND/OR TO PREVENT ANY, INCLUDING THE INCIDENTAL DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE.
 - l) THE CONTRACTOR MUST PROTECT ALL EXISTING TREES AND SHRUBS. THE CONTRACTOR MUST REFER TO THE LANDSCAPE AND/OR DEMOLITION PLAN(S) FOR TREE PROTECTION, FENCE LOCATIONS AND DETAILS.
 - m) THE CONTRACTOR MUST REFER TO GRADING PLANS FOR ADDITIONAL INFORMATION.
 - n) THE CONTRACTOR MUST CLEAN EXISTING AND PROPOSED DRAINAGE STRUCTURES AND INTERCONNECTING PIPES ON OR OFF-SITE AS THE JURISDICTIONAL AGENCY REQUIRES, BOTH AT THE TIME OF SITE STABILIZATION AND AT END OF PROJECT.
 - o) SOIL EROSION CONTROL MEASURES MUST BE ADJUSTED OR RELOCATED BY THE CONTRACTOR AS IDENTIFIED DURING SITE OBSERVATION IN ORDER TO MAINTAIN THE COMPLETE EFFECTIVENESS OF ALL CONTROL MEASURES.
 - p) THE CONTRACTOR MUST IDENTIFY, ON THE PLAN, THE LOCATION OF WASTE CONTAINERS, FUEL STORAGE TANKS, CONCRETE WASHOUT AREAS AND ANY OTHER LOCATIONS WHERE HAZARDOUS MATERIALS ARE STORED.
5. THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:
 - INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCE/EXIT (AS SHOWN)
 - INSTALLATION OF EROSION CONTROL BARRIER (STRAW BALES AND SILT FENCE) (AS SHOWN)
 - INSTALLATION OF INLET PROTECTION IN STREET (AS SHOWN)
 - DEMOLITION OF EXISTING SITE STRUCTURES (SEE DEMOLITION PLAN)
 - CLEARING AND GRUBBING
 - INSTALLATION OF TEMPORARY SWALES AND SEDIMENT BASINS
 - EARTHWORK AND EXCAVATION/FILLING AS NECESSARY
 - CONSTRUCTION OF UTILITIES
 - STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH TEMPORARY SEEDING
 - INSTALLATION OF INLET PROTECTION OF ON-SITE UTILITIES (AS SHOWN)
 - CONSTRUCTION OF BUILDINGS
 - CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS
 - SPREAD TOPSOIL ON SLOPED AREAS AND SEED AND MULCH
 - FINAL GRADING OF ALL SLOPED AREAS
 - PLACE 6" TOPSOIL ON SLOPES AFTER FINAL GRADING COMPLETED. FERTILIZE, SEED, AND MULCH SEED MIXTURE TO BE INSTALLED AS REQUIRED.
 - REMOVAL OF THE TEMPORARY SEDIMENT BASINS
 - PAVE PARKING LOT
 - LANDSCAPING PER LANDSCAPING PLAN
 - REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 70% STABILIZATION OR GREATER

- INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCE/EXIT (AS SHOWN)
- INSTALLATION OF EROSION CONTROL BARRIER (STRAW BALES AND SILT FENCE) (AS SHOWN)
- INSTALLATION OF INLET PROTECTION IN STREET (AS SHOWN)
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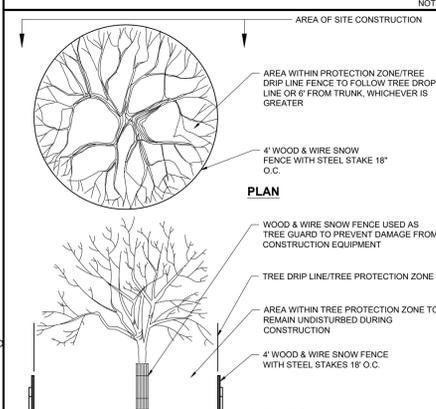


PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED
0 TO 2%	50 FT
2% TO 5%	100 FT
>5%	200 FT

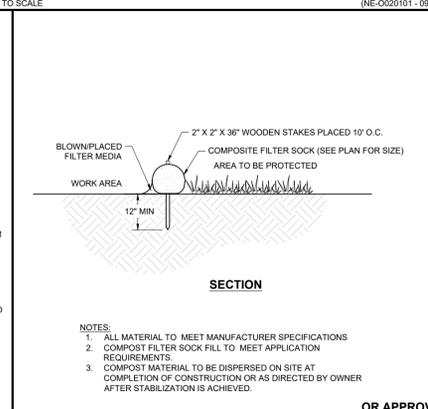
ENTIRE ENTRANCE STABILIZED WITH FABRIC BASE COURSE (1)
(1) AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY.

CHART 1

STABILIZED CONSTRUCTION ENTRANCE



TREE PROTECTION DURING SITE CONSTRUCTION



COMPOST FILTER SOCK

LOW TO MODERATE FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE

PROPERTY	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20%
PUNCTURE	ASTM D-4533	100 LBS
MILLEN BURST	ASTM D-3796	800 PSI
TRAPEZOID TEAR	ASTM D-4533	100 LBS
UV RESISTANCE	ASTM D-2535	90%
APPARENT OPENING SIZE	ASTM D-4751	40 US SEIVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	0.55 SEC

MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE

PROPERTY	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	200 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20%
PUNCTURE	ASTM D-4533	150 LBS
MILLEN BURST	ASTM D-3796	425 PSI
TRAPEZOID TEAR	ASTM D-4533	60 LBS
UV RESISTANCE	ASTM D-2535	90%
APPARENT OPENING SIZE	ASTM D-4751	20 US SEIVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	1.5 SEC

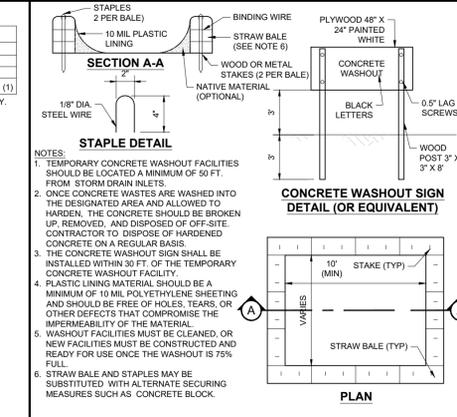
NOTES:

1. REMOVE TRAPPED SEDIMENT WHEN BRIGHTLY COLORED EXPANSION RESTRAINT CAN NO LONGER BE SEEN.
2. GEOTEXTILE SHALL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATIONS TABLE.
3. PLACE AN OIL ADSORBENT PAD OR PILLOW OVER INLET GRATE WHEN OIL SPILLS ARE A CONCERN.
4. INSPECT PER REGULATORY REQUIREMENTS.
5. THE WIDTH, "W", OF THE FILTER SACK SHALL MATCH THE INSIDE WIDTH OF THE GRATED INLET BOX.
6. THE DEPTH, "D", OF THE FILTER SACK SHALL BE BETWEEN 18 INCHES AND 36 INCHES.
7. THE LENGTH, "L", OF THE FILTER SACK SHALL MATCH THE INSIDE LENGTH OF THE GRATED INLET BOX.

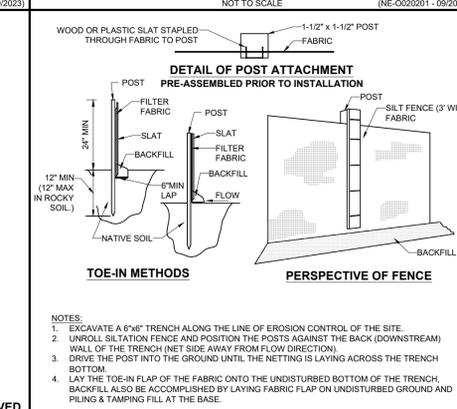
INLET PROTECTION WITH MANUFACTURED INSERT



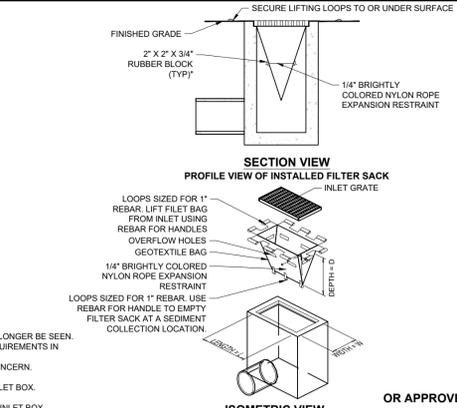
TEMPORARY STOCK PILE WITH SILT FENCE AND FILTER SOCK



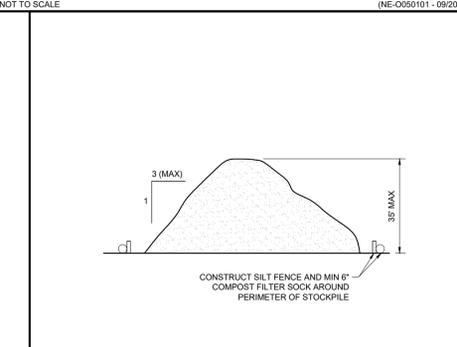
CONCRETE WASTE MANAGEMENT AREA



DETAIL OF POST ATTACHMENT



INLET PROTECTION WITH MANUFACTURED INSERT



TEMPORARY STOCK PILE WITH SILT FENCE AND FILTER SOCK



BOHLER

SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	CHECKED BY	DRAWN BY
1	03/18/2025	PLANNING DEPT. COMMENTS	SBB	AWP
2	03/26/2025	TOWN COMMENTS	SBB	AWP

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PROJECT No.: MA240362-00-2A
DRAWN BY: AWP
CHECKED BY: 02/01/2025
DATE: P-CIVIL-CNDS
CAD LID:

SITE DEVELOPMENT PLANS

FOR
THE GARDNER SCHOOL
PROPOSED
CHILD CARE FACILITY
MAP: 46 | LOT: 1 & MAP: 35 | LOT: 66
425 LINGCOLN STREET
PLYMOUTH COUNTY
HINGHAM, MA

BOHLER

352 TURNPIKE ROAD, 3rd FLOOR
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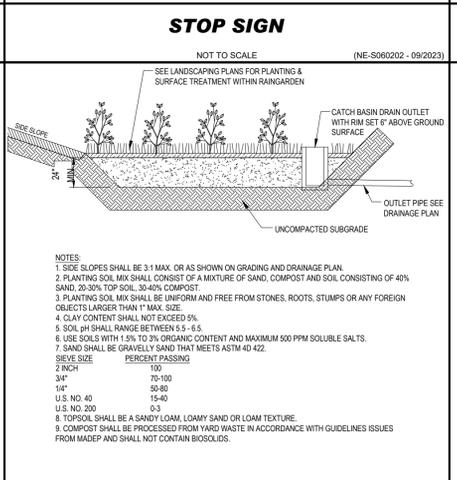
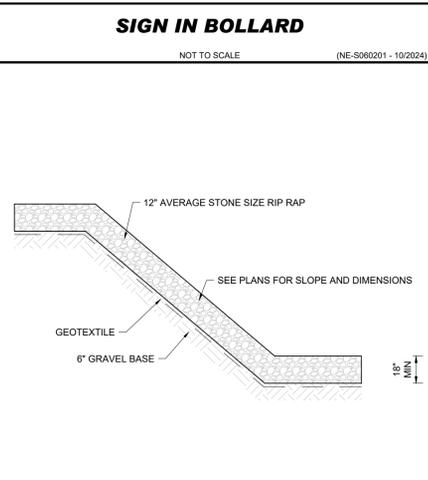
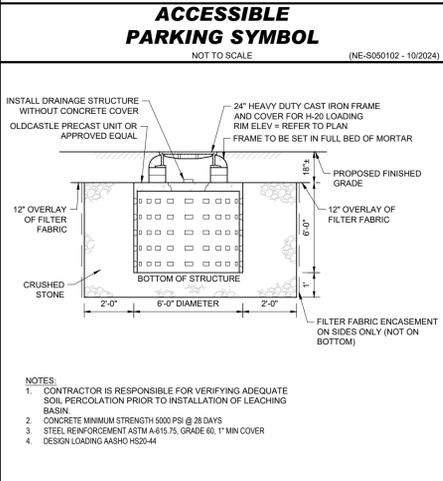
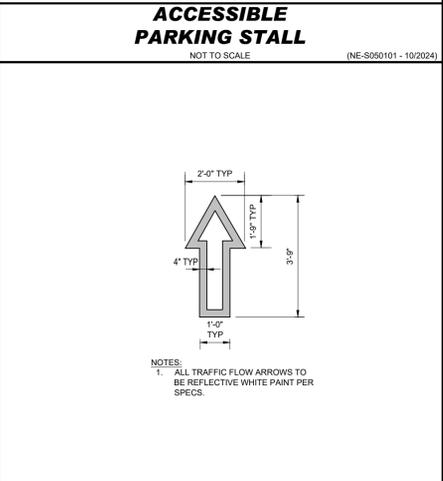
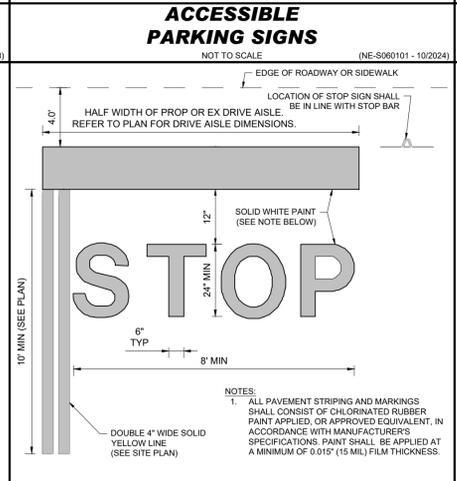
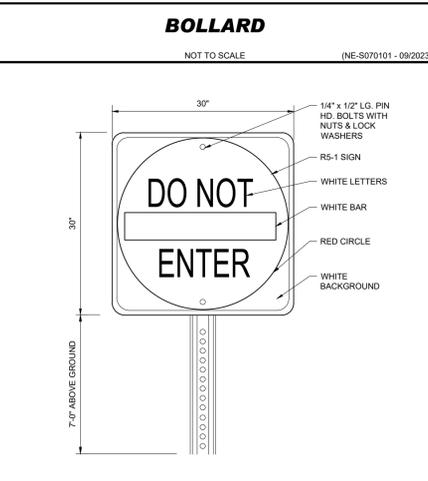
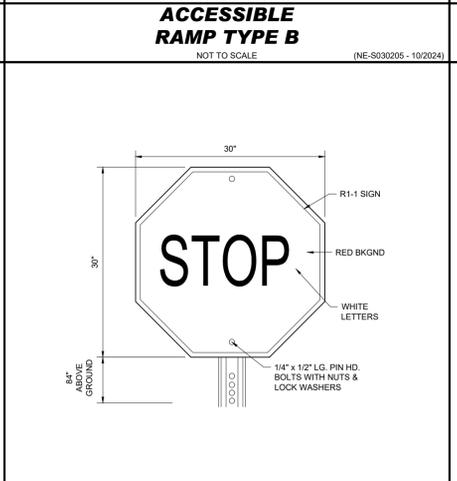
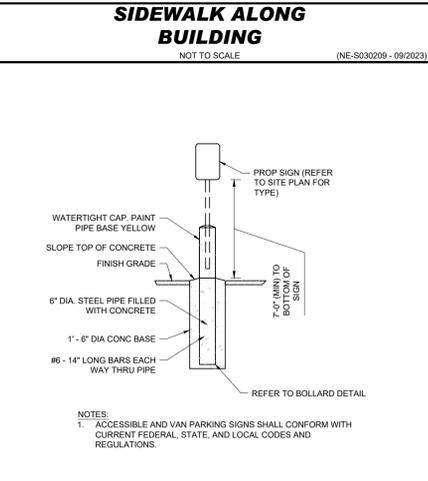
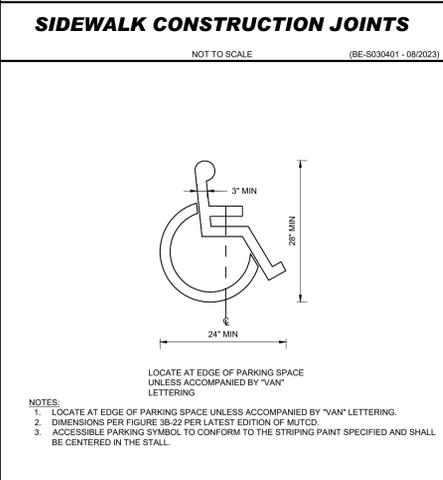
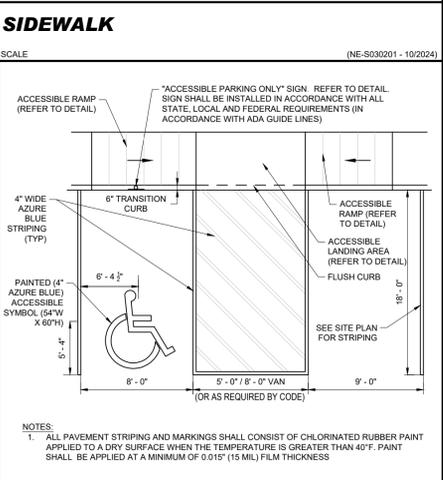
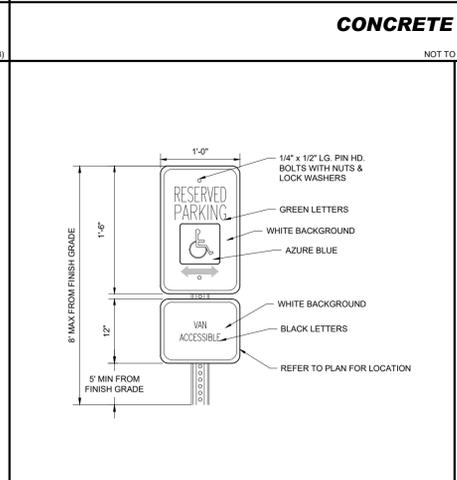
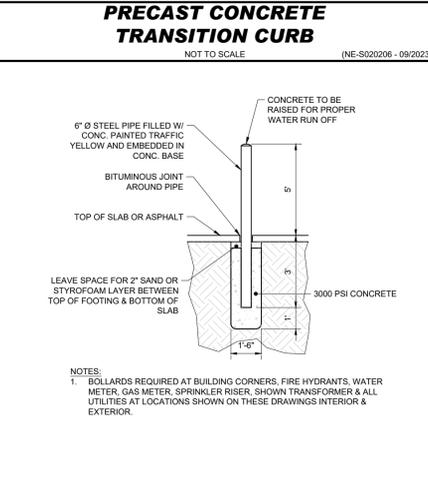
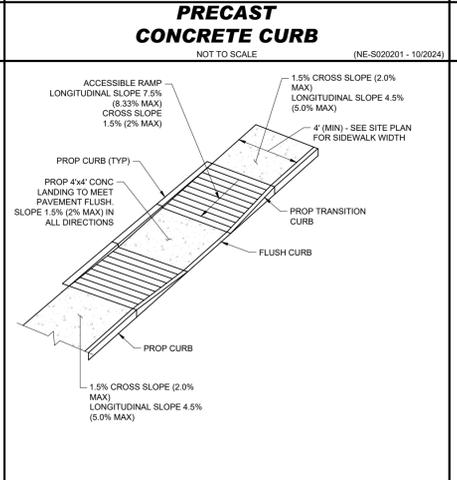
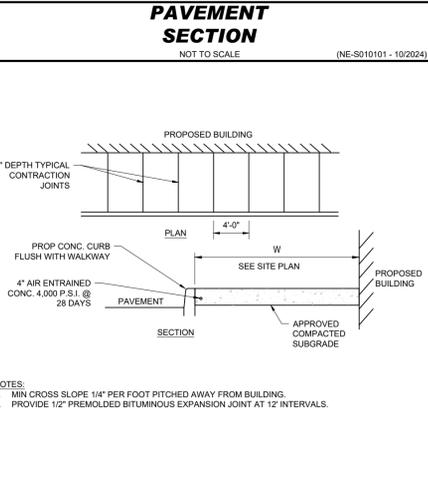
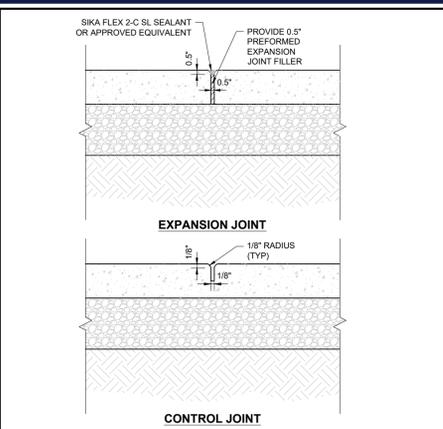
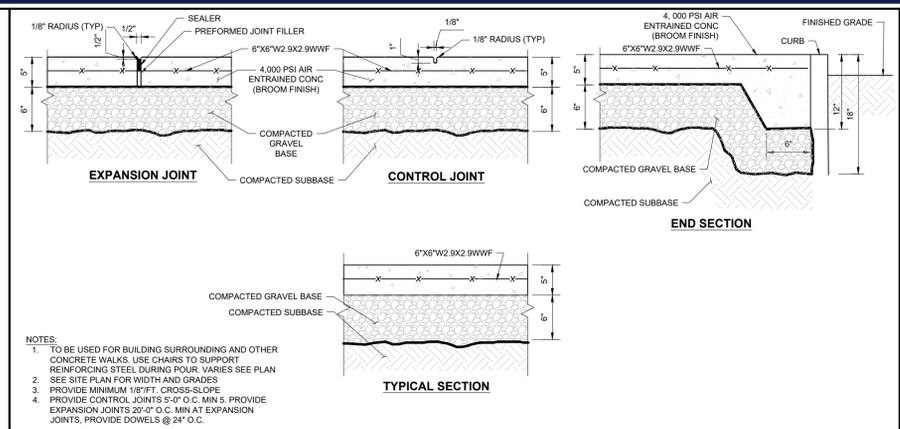
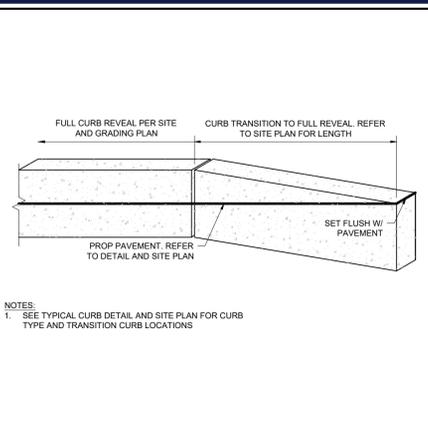
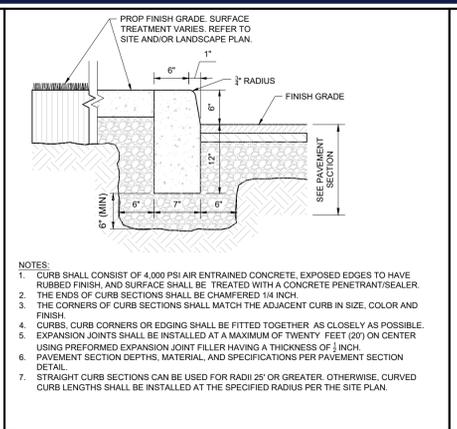
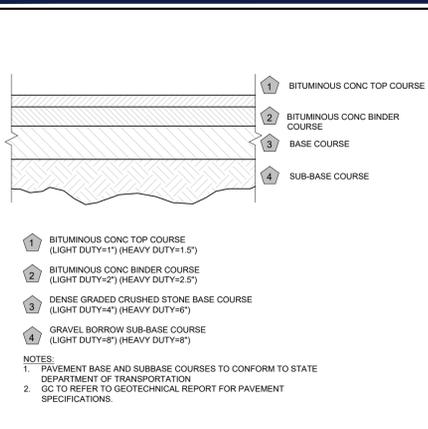
J.A. KUCICH
Professional Engineer
MASSACHUSETTS REG. NO. 1530
NEW HAMPSHIRE REG. NO. 15476
CONNECTICUT REG. NO. 8177
RHODE ISLAND REG. NO. 9616
MAINE LICENSE NO. 12553

EROSION AND SEDIMENT CONTROL NOTES AND DETAILS

SHEET NUMBER:
C-803

REVISION 2 - 03/26/2025

P:\2024\MA240362-00-2A\CADD\DRAWINGS\PLAN SET\CIVIL SITE PLANS\SP-CIVIL-CNDS-MA240362-00-2A-...-LAYOUT.ctb:4803.EROD



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REVISIONS

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1	03/18/2025	PLANNING DEPT. COMMENTS	SBB
2	03/26/2025	TOWN COMMENTS	SBB

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PROJECT No.: MAA240362-00-2A
DRAWN BY: SBB
DATE: 02/03/2025
CAD LID: P-CIVIL-CNDS

SITE DEVELOPMENT PLANS
FOR
THE GARDNER SCHOOL
PROPOSED
CHILD CARE FACILITY
MAP: 46 | LOT: 1 & MAP: 35 | LOT: 66
425 LINCOLN STREET
PLYMOUTH COUNTY
HINGHAM, MA

BOHLER
352 TURNPIKE ROAD, 3rd FLOOR
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
www.BohlerEngineering.com

J.A. KUCICH
JOHN A. KUCICH
CIVIL
PROFESSIONAL ENGINEER
MASS. REG. NO. 11330
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CONV. FROM REG. NO. 99177
RHODE ISLAND REG. NO. 0616
MAINE LICENSE NO. 12553

SHEET TITLE:
CONSTRUCTION DETAILS
SHEET NUMBER:
C-901
REVISION 2 - 03/26/2025

REVISIONS

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			AWP

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PROJECT NO.:	MAA240362-00-2A
DRAWN BY:	SBB
CHECKED BY:	AWP
DATE:	02/03/2025
CAD ID:	P-CIVIL-CNDS

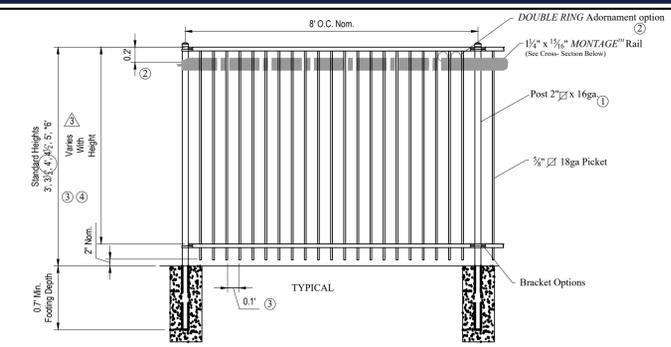
SITE DEVELOPMENT PLANS
 FOR

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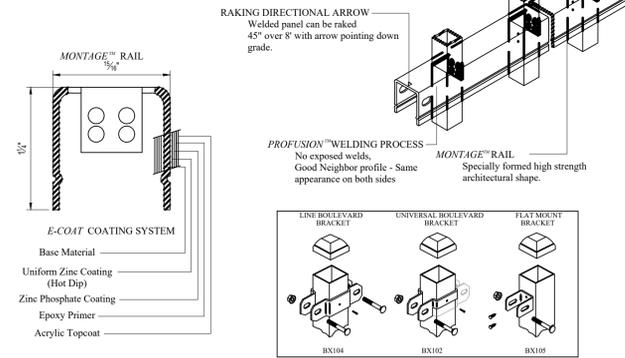
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J.A. KUCICH
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 MAINE LICENSE NO. 12553

SHEET TITLE:
CONSTRUCTION DETAILS
 SHEET NUMBER:
C-902
 REVISION 2 - 03/26/2025



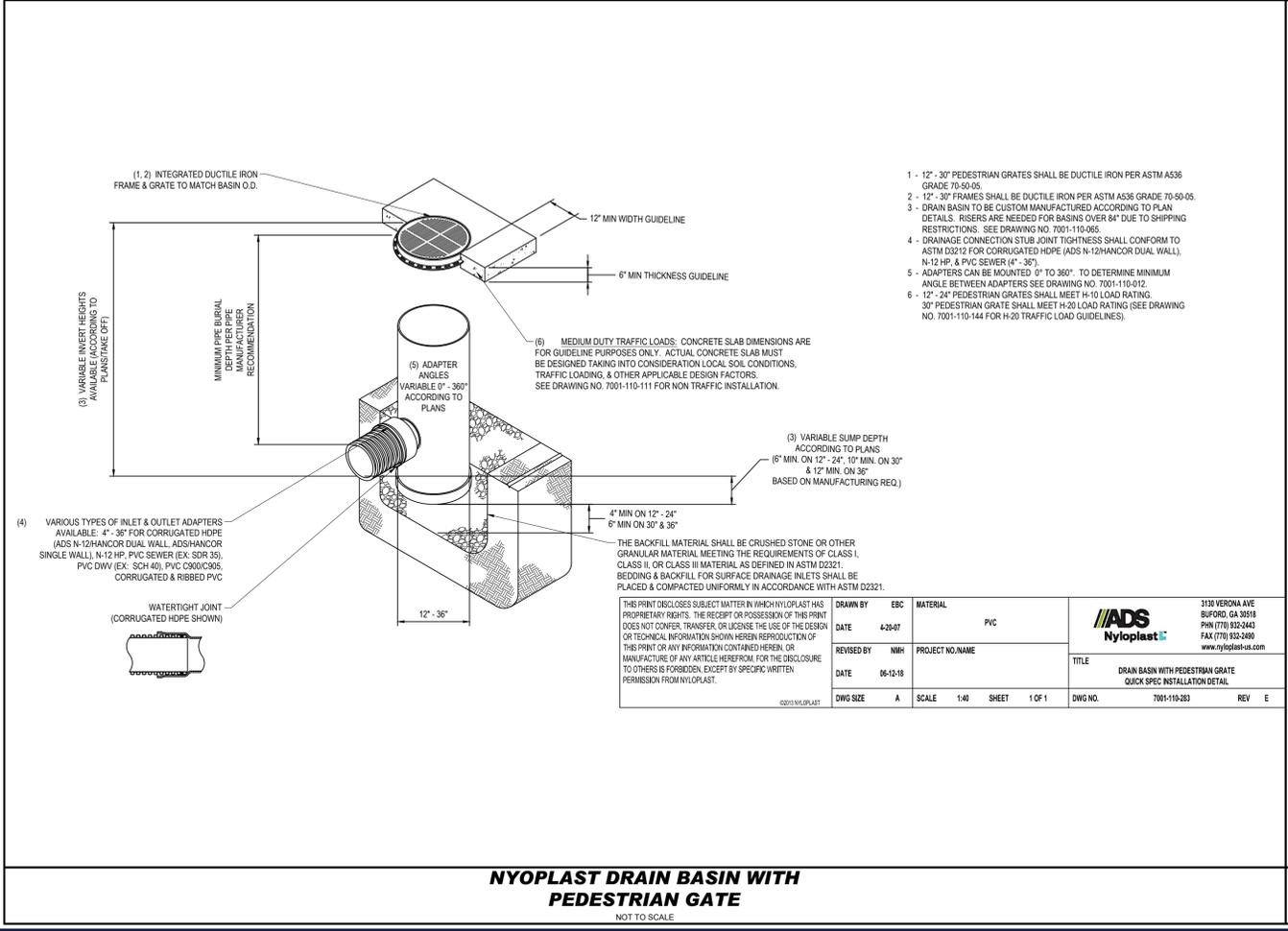
- NOTES:**
- 1.) Post size depends on fence height and wind loads. See *MONTEGE* specifications for post sizing chart.
 - 2.) Third rail required for *Double Rings*.
 - 3.) Available in 3" air space and/or Flush Bottom on most heights.
 - 4.) Three rails required for 6' tall.



RESIDENTIAL WELDED STEEL PANEL
 PRE-ASSEMBLED
MONTEGE MAJESTIC 2/3-RAIL
 DR: CI SH: 1 of 1 SCALE: DO NOT SCALE
 CK: ME Date: 7-19-11 REV: c

AMERISTAR
 1555 N. Mingo
 Tulsa, OK 74116
 1-888-333-3422
 www.ameristarfence.com

DECORATIVE FENCE DETAIL
 NOT TO SCALE

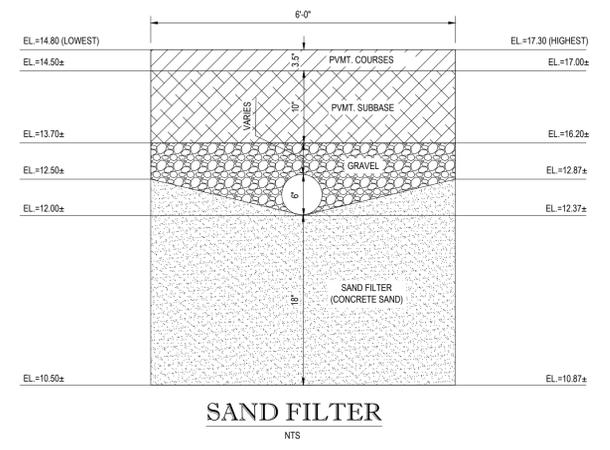


- 1 - 12" - 30" PEDESTRIAN GRATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- 2 - 12" - 30" FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- 3 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-065.
- 4 - DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL), N-12 HP & PVC SEWER (4" - 36").
- 5 - ADAPTERS CAN BE MOUNTED 0° TO 360°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.
- 6 - 12" - 24" PEDESTRIAN GRATES SHALL MEET H-10 LOAD RATING.
- 30" PEDESTRIAN GRATE SHALL MEET H-20 LOAD RATING (SEE DRAWING NO. 7001-110-144 FOR H-20 TRAFFIC LOAD GUIDELINES).

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DRAWN BY	EBC	MATERIAL	PVC
DATE	4-20-07		
REVISED BY	NMH	PROJECT NO./NAME	
DATE	06-12-18		
DWG SIZE	A	SCALE	1:40 SHEET 1 OF 1
		TITLE	DRAIN BASIN WITH PEDESTRIAN GATE QUICK SPEC INSTALLATION DETAIL
		DWG NO.	7001-110-283 REV E

NYOPLAST DRAIN BASIN WITH PEDESTRIAN GATE
 NOT TO SCALE



SAND FILTER DETAIL
 NTS

SAND FILTER DETAIL
 NOT TO SCALE



TOWN OF HINGHAM LANDSCAPE REQUIREMENTS	
SECTION OF BYLAW	MIN # / WIDTH OF TREES
SECTION V-A-M	1 TREE PER 10 SPACES W/ MINIMUM 3" CALIPER, W/ CLEAR TRUNK AT LEAST 5' FROM THE GROUND

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
CANOPY TREES					
NS	3	NYSSA SYLVATICA	SOUR GUM	3-3.5" CAL.	B&B
OR	1	QUERCUS RUBRA	NORTHERN RED OAK	3-3.5" CAL.	B&B
EVERGREEN TREES					
JV	3	JUNIPERUS VIRGINIANA	EASTERN REDCEDAR	6-8"	B&B
SHRUBS					
HF	15	HYPERICUM FRONDOSUM 'SUNBURST'	SUNBURST ST. JOHN'S WORT	18-24"	CONTAINER
IG	8	ILEX GLABRA	INKBERRY HOLLY	30-36"	CONTAINER
IGC	15	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	24-30"	CONTAINER
IT	36	ITEA VIRGINICA 'LITTLE HENRY'	VIRGINIA SWEETSPIRE	24-30"	CONTAINER
IWW	11	ILEX VERTICILLATA	WINTERBERRY	36-42"	CONTAINER
KA	16	KALIMA ANGUSTIFOLIA	SHEEP LAUREL	18-24"	CONTAINER
VA	17	VACCINIUM ANGUSTIFOLIUM	LOWBUSH BLUEBERRY	15-18"	CONTAINER
VA2	18	VIBURNUM DENTATUM	VIBURNUM	30-36"	CONTAINER
GRASSES					
PVS	18	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	1 GAL.	CONTAINER
PERENNIALS					
RF	65	RUBRICKIA FULGIDA	CONEFLOWER	1 GAL.	CONTAINER
SSG	45	SOLIDAGO SEMPERVIRENS	SEASIDE GOLDENROD	1 GAL.	CONTAINER

SEED MIX KEY	
HATCH	DESCRIPTION
	PROP NORTHEAST UPLAND NATIVE / NATURALIZED WILDFLOWER MIX
	PROP HYDROSEED LAWN

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 PROJECT No.: MAA240362.00-2A
 DRAWN BY: SBB
 CHECKED BY: AWP
 DATE: 02/03/2025
 CAD ID: P-CIVIL-LSCP

SITE DEVELOPMENT PLANS
 FOR

 PROPOSED CHILD CARE FACILITY
 MAP: 46 | LOT: 1 & MAP: 35 | LOT: 66
 425 LINCOLN STREET
 PLYMOUTH COUNTY
 HINGHAM, MA

BOHLER
 352 TURNPIKE ROAD, 3rd FLOOR
 SOUTHBOROUGH, MA 01772
 Phone: (508) 480-9900
 www.BohlerEngineering.com

M.J. MRYA
 REGISTERED LANDSCAPE ARCHITECT
 VERMONT REG. NO. 1337
 0460 No. 20003

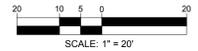
LANDSCAPE PLAN
 SHEET NUMBER:
L-101
 REVISION 2 - 03/26/2025

BACK RIVER COVE
 (TIDAL)

HMS ESSINGTON DRIVE
 TRAFFIC TWO WAY (ASPHALT ROADWAY)
 (PRIVATE - VARIABLE WIDTH)

LINCOLN STREET
 (A.K.A. ROUTE 3A) (1984 STATE HIGHWAY ALTERATION LAYOUT NO. 6566) (PUBLIC - VARIABLE WIDTH)
 TWO WAY TRAFFIC (ASPHALT ROADWAY)

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY

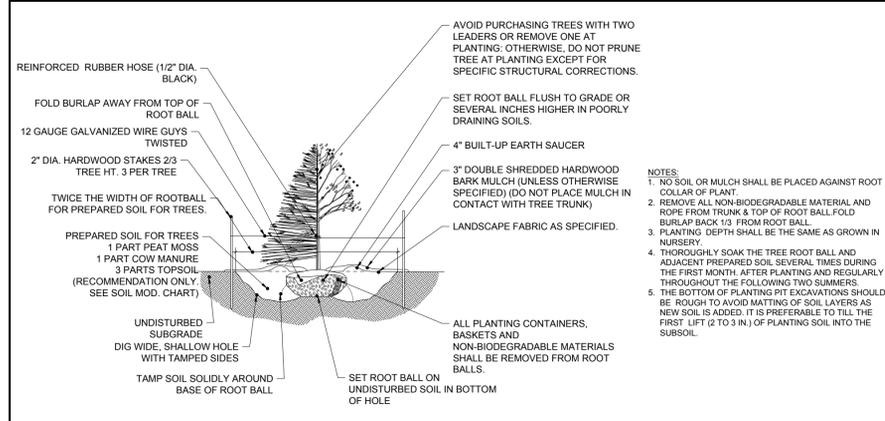


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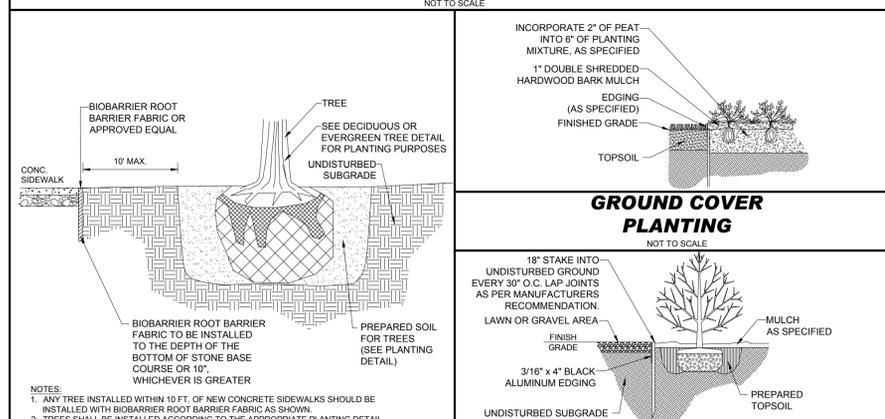
MASSACHUSETTS LANDSCAPE SPECIFICATION

- SCOPE OF WORK:
 - THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SOEDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.
- MATERIALS:
 - GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.
 - TOPSOIL - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.
 - LAWN:
 - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM 6" THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SOODED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED ON THE LANDSCAPE PLAN.
 - LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED.
 - SOO SHALL BE STRONGLY ROOTED, WEED AND DISEASE/PEST FREE WITH A UNIFORM THICKNESS. SOO INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PRESSED TO HOLD SOO IN PLACE.
 - MULCH - ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN AND/OR LANDSCAPE PLAN NOTES / DETAILS.
 - FERTILIZER:
 - FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.
 - FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.
 - PLANT MATERIAL:
 - ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (FORMERLY THE AMERICAN ASSOCIATION OF NURSERYMEN).
 - IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL.
 - PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.
 - TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 1/4" WHICH HAVE NOT BEEN COMPLETELY CALLED, SHALL BE REJECTED. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.
 - ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH, WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE.
 - CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.
 - SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH.
 - TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.
- GENERAL WORK PROCEDURES:
 - CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.
 - WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.
- SITE PREPARATIONS:
 - BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISCARDED WITH CARE AND ACCORDANCE WITH GENERAL WORK PROCEDURES HEREIN.
 - ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE BRANCH COLLAR. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ANY ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.
 - CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.
- TREE PROTECTION:
 - CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.
 - A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY YUSH-FENCE, OR APPROVED EQUIVALENT, MINIMUM 18" HIGH POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8") ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL.
 - WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION OF ANY EXISTING CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.
 - AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.
- SOIL MODIFICATIONS:
 - CONTRACTOR SHALL ATAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.
 - LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.
 - THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY.
 - TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5.
 - TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE.
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
- FINISHED GRADING:
 - UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.
 - LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST BE AT LEAST THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1.5").
 - ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.
- ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.
- TOPSOILING:
 - CONTRACTOR SHALL PROVIDE A 6" THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.
 - ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.
 - ALL LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA - FOR BID PURPOSES ONLY (SEE SPECIFICATION 5.1.1))
 - 20 POUNDS GRO-POWER® OR APPROVED SOIL CONDITIONER/FERTILIZER
 - 20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIP OR APPROVED NITROGEN FERTILIZER
 - THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.
- PLANTING:
 - INsofar THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN THREE DAYS AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.
 - PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.
 - ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.
 - ALL PLANTING CONTAINERS, BASKETS AND NON-BIOGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.
 - POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
 - PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS:
 - PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:
 - PLANTS: MARCH 15 TO DECEMBER 15
 - LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1
 - PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL SUBSTITUTIONS.
 - FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON:
 - ACER RUBRUM
 - BETULA VARIETIES
 - CARPINUS VARIETIES
 - CRATEAGUS VARIETIES
 - PLATANUS X ACERIFOLIA
 - POPULUS VARIETIES
 - PRUNUS VARIETIES
 - PYRUS VARIETIES

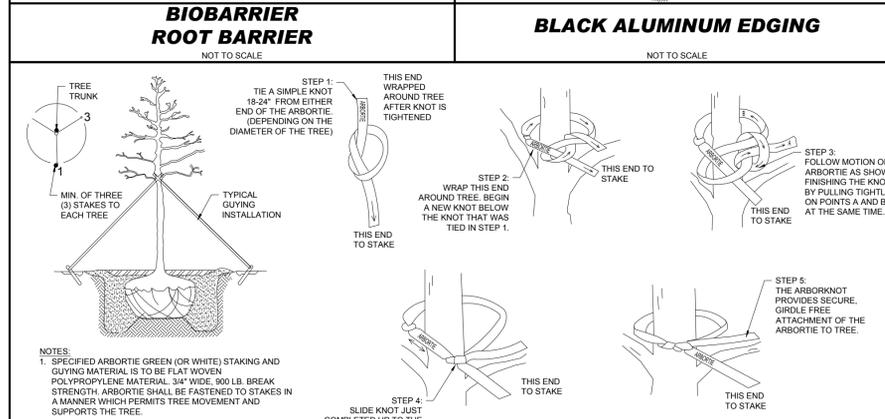
- QUERCUS VARIETIES
 - TILIA TOMENTOSA
 - ZELKOVA VARIETIES
- PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GROUND. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:
 - 1 PART PEAT MOSS
 - 1 PART COMPOSTED COW MANURE BY VOLUME
 - 3 PARTS TOPSOIL BY VOLUME
 - 21 GRAMS AGRIFORM® PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS:
 - 2 TABLETS PER 1 GALLON PLANT
 - 3 TABLETS PER 5 GALLON PLANT
 - 4 TABLETS PER 15 GALLON PLANT
 - LARGER PLANTS: 2 TABLETS PER 1/2" CALIPER OF TRUNK
 - FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER THOROUGHLY.
 - ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL.
 - ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE.
 - GROUND COVER AREAS SHALL RECEIVE A 1/2" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION.
 - NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND SIDEWALKS.
 - ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.
 - ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN.
 - TRANSPLANTING (WHEN REQUIRED)
 - ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.
 - PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING. THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.
 - PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.
 - UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.
 - TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.
 - F TRANSPLANTS, LIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.
 - WATERING:
 - NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED.
 - SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES.
 - IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.
 - GUARANTEE:
 - THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF 1 YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.
 - ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION.
 - TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE. LAWNS SHALL BE MAINTAINED THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.
 - CLEANUP:
 - UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED.
 - THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.
 - MAINTENANCE (ALTERNATIVE BID):
 - A 90 DAY MAINTENANCE PERIOD SHALL COMMENCE AT THE END OF ALL LANDSCAPE INSTALLATION OPERATIONS. THE 90 DAY MAINTENANCE PERIOD ENSURES TO THE OWNER/OPERATOR THAT THE NEWLY INSTALLED LANDSCAPING HAS BEEN MAINTAINED AS SPECIFIED ON THE APPROVED LANDSCAPE PLAN. ONCE THE INITIAL 90 DAY MAINTENANCE PERIOD HAS EXPIRED, THE OWNER/OPERATOR MAY REQUEST THAT BIDDERS SUBMIT AN ALTERNATE MAINTENANCE BID FOR A MONTHLY MAINTENANCE CONTRACT. THE ALTERNATE MAINTENANCE CONTRACT WILL ENCOMPASS ANY WORK THAT IS CONSIDERED APPROPRIATE TO ENSURE THAT PLANT AND LAWN AREAS ARE HEALTHY AND MANICURED TO THE APPROVAL OF THE OWNER/OPERATOR.



TREE PLANTING



GROUND COVER PLANTING

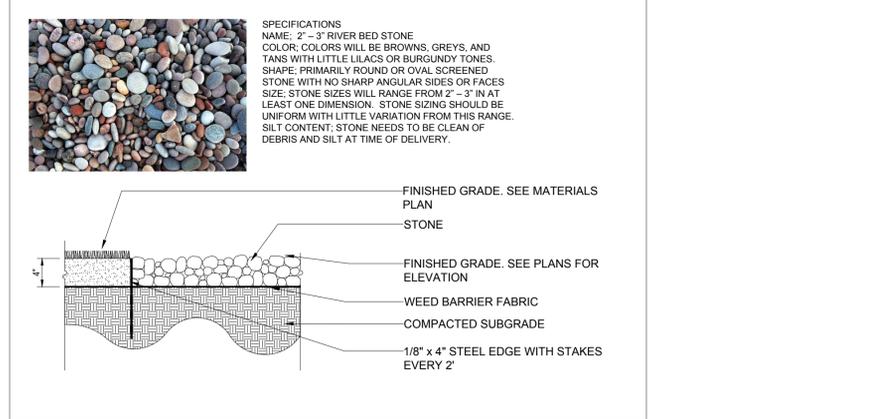


BIOBARRIER ROOT BARRIER

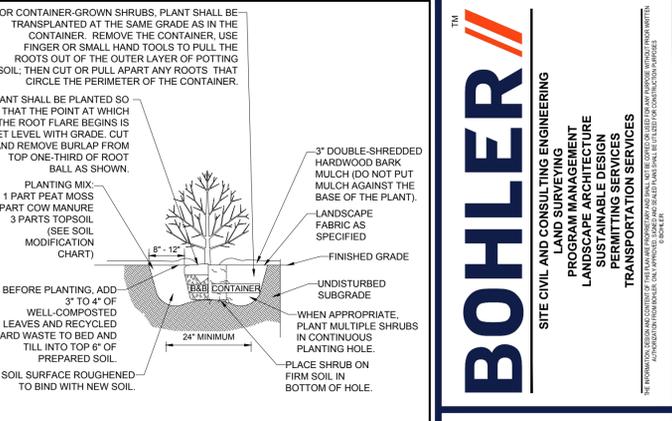
BLACK ALUMINUM EDGING



ARBORTIE STAKING



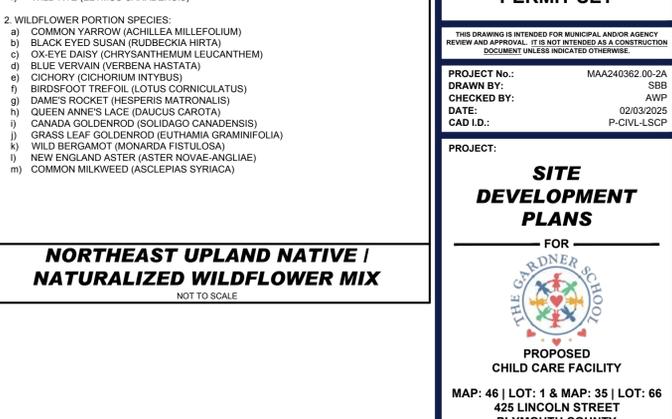
DECORATIVE STONE MULCH



SHRUB PLANTING



HYDROSEED SPECIFICATIONS



NORTHEAST UPLAND NATIVE / NATURALIZED WILDFLOWER MIX

BOHLER
 SITE CIVIL AND CONSULTING ENGINEERING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY
1	03/18/2025	PLANNING DEPT. COMMENTS	SSB
2	03/26/2025	TOWN COMMENTS	SSB AWP

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PROJECT No.: MAA240362-00-2A
 DRAWN BY: AWP
 DATE: 02/26/2025
 CAD ID: P-CIVL-LSCP

PROJECT:
SITE DEVELOPMENT PLANS
 FOR
THE GARDNER SCHOOL
 PROPOSED
 CHILD CARE FACILITY
 MAP: 46 | LOT: 1 & MAP: 35 | LOT: 66
 425 LINCOLN STREET
 PLYMOUTH COUNTY
 HINGHAM, MA

BOHLER

352 TURNPIKE ROAD, 3rd FLOOR
 SOUTHBOROUGH, MA 01772
 Phone: (508) 480-9900
 www.BohlerEngineering.com

REGISTERED LANDSCAPE ARCHITECT
 MASSACHUSETTS No. 10000
 VERMONT No. 1337
 OTHER STATES

SHEET TITLE:
LANDSCAPE NOTES AND DETAILS

SHEET NUMBER:
L-102

REVISION 2 - 03/26/2025

P:\2024\MAA240362-00-2A\CAD\DRAWINGS\PLAN SET\CIVIL SITE PLAN\SP-CIVL-LSCP\MAA240362-00-2A-LAYOUT_L-102.LSCP



CALCULATION SUMMARY						
LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVGMIN
ALL POINTS	ILLUMINANCE	FC	0.55	21.9	0.0	N.A.
EAST PROPERTY	ILLUMINANCE	FC	1.15	4.6	0.0	N.A.
NORTH PROPERTY	ILLUMINANCE	FC	1.55	3.3	0.0	N.A.
SOUTH PROPERTY	ILLUMINANCE	FC	0.41	0.8	0.0	N.A.
NORTHWEST PROPERTY	ILLUMINANCE	FC	0.00	1.6	0.0	N.A.
SOUTHWEST PROPERTY	ILLUMINANCE	FC	0.07	0.2	0.0	N.A.
PARKING COURT	ILLUMINANCE	FC	2.27	5.7	0.6	3.78

LUMINAIRE SCHEDULE						
LABEL	QTY	ARRANGEMENT	MOUNTING HEIGHT	LUM. LUMENS	LLF	DESCRIPTION
W1	12	SINGLE	8'-0" AFF	2961	0.900	BARN LIGHT ELECTRIC, BOMBER INTEGRATED LED SERIES WALL-MOUNTED LUMINAIRE, (BLE-G+105+990-NA-NA-NA-LED38-3000K-FL)
P3-S	2	SINGLE	18'-0" AFG	10665	0.900	SIGNIFY GARCO ECOFORM, LED AREA LUMINAIRE, TYPE 3, WITH HOUSE-SIDE SHIELD, ZERO UP-LIGHT (ECF-S-32L-1A-NW-G2-3-HIS)
P4-S	3	SINGLE	18'-0" AFG	10983	0.900	SIGNIFY GARCO ECOFORM, LED AREA LUMINAIRE, TYPE 4, WITH HOUSE-SIDE SHIELD, ZERO UP-LIGHT (ECF-S-32L-1A-NW-G2-4-HIS)

* REFER TO ARCHITECTURAL PLANS FOR FINAL LOCATIONS AND MOUNTING HEIGHTS

TOWN OF HINGHAM, MASSACHUSETTS LIGHTING REQUIREMENTS

SECTION	REQUIREMENT	PROPOSED
ARTICLE 4 SITE PLAN REVIEW - S5 SUBMITTAL REQUIREMENTS	1. MAJOR SITE PLANS SHALL REQUIRE THE FOLLOWING ADDITIONAL SUBMISSIONS: (I) SITE LIGHTING PLAN SHOWING THE LOCATION, HEIGHT, PHOTOMETRIC, ORIENTATION, AND SPECIFICATIONS FOR ALL OUTDOOR SITE LIGHTING, INCLUDING INFORMATION ON THE INTENSITY AND RANGE OF ILLUMINATION FOR EACH SOURCE OF LIGHT PROPOSED WITH LOW CUT-OFF DARK SKY COMPLIANT LIGHTING FIXTURES AND NO OVERSPILL ONTO ADJOINING PROPERTIES GREATER THAN 0.25 FOOT CANDLE.	PROVIDED
ARTICLE 4 SITE PLAN REVIEW - S6 DESIGN AND PERFORMANCE STANDARDS	J LIGHTING THE PROPOSED DEVELOPMENT SHALL NOT PRODUCE LIGHTING SO AS TO UNREASONABLY INTERFERE WITH THE USE AND ENJOYMENT OF PROPERTY WITHIN THE TOWN. LIGHTING PRACTICES AND SYSTEMS SHALL: REDUCE LIGHT POLLUTION, LIGHT TRESPASS AND GLARE IN ORDER TO PRESERVE AND ENHANCE THE NATURAL, SCENIC, AND AESTHETIC QUALITIES OF THE TOWN, CONSERVE ENERGY AND REDUCE LIGHTING COST WITHOUT DECREASING NIGHT-TIME SAFETY, SECURITY, AND PRODUCTIVITY, AND PRESERVE THE NIGHT SKY AS A NATURAL RESOURCE TO ENHANCE NIGHTTIME ENJOYMENT OF PROPERTY WITHIN THE TOWN. (I) SHIELDING ALL OUTDOOR LIGHT FIXTURES SHALL BE SHIELDED SO AS TO MEET THE GOALS OF THIS SECTION. (II) LIGHT TRESPASS DIRECT LIGHT FROM THE LIGHT SOURCE IS TO BE CONFINED WITHIN THE PROPERTY BOUNDARIES AND SHALL NOT CAUSE OVERSPILL ON ADJACENT PROPERTY OR INTO THE NIGHT SKY. LIGHT TRESPASS SHALL BE LIMITED TO 0.25 FOOT-CANDLES AT THE PROPERTY LINE. (III) HEIGHT OF FIXTURES LUMINAIRES ATTACHED TO A BUILDING FOR AREA LIGHTING SHALL BE MOUNTED NO HIGHER THAN THE LIGHT FIXTURES (HIGHER THAN MOUNTED EXTERIOR LIGHTING FIXTURE TYPES SHALL BE MOUNTED NO HIGHER THAN TWENTY (20) FEET ABOVE GRADE.	PROVIDED PROVIDED PROVIDED WHERE FEASIBLE; EXISTING FIXTURES TO REMAIN PROVIDED

BOHLER ENGINEERING
CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	CHECKED BY
1	03/18/2025	PLANNING DEPT. COMMENTS	SBB AWP
2	03/26/2025	TOWN COMMENTS	SBB AWP

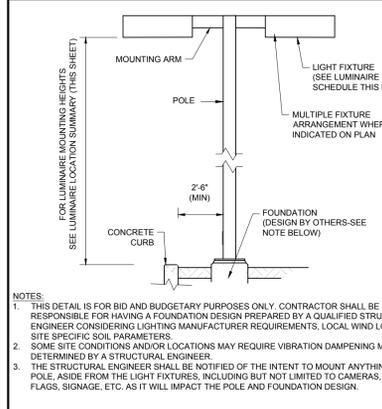
MASSACHUSETTS LIGHTING NOTES

- THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.
- THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER(S). ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- THE LIGHT LOSS FACTORS (LLF) DEPICTED IN THE LUMINAIRE SCHEDULE ON THIS PLAN ARE BASED ON DATA PROVIDED BY THE MANUFACTURER FOR SIMILAR FIXTURES. THE LIGHT LEVELS DEPICTED ON THIS PLAN WERE CALCULATED BASED ON THE LLF LISTED IN THE LUMINAIRE SCHEDULE.
- THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED. THE VALUES DEPICTED ON THIS PLAN ARE IN FOOT-CANDLES (FC).
- THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT IS NOT LIMITED TO, VISUAL OBSERVATION, CLEANING OF LENSES, AND RELAMPING (IF NECESSARY) ACCORDING TO MANUFACTURER RECOMMENDATIONS. FAILURE TO FOLLOW THE ABOVE STEPS COULD RESULT IN IMPROPER LIGHT DISTRIBUTION AND FAILURE TO COMPLY WITH THE APPROVED DESIGN. UPON COMPLETION AND OWNER'S ACCEPTANCE OF THE WORK, THE ABOVE RESPONSIBILITIES BECOMES SOLELY THE OWNER'S.
- WHERE APPLICABLE, THE EXISTING CONDITION LIGHT LEVELS ILLUSTRATED ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES, UNLESS ACTUAL FIELD MEASUREMENTS ARE TAKEN WITH A LIGHT METER AND ARE, CONSEQUENTLY, APPROXIMATIONS ONLY. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC., ACTUAL LIGHT LEVELS MAY DIFFER. EXISTING LIGHT LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE.
- THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, ONLY. POWER SYSTEM, CONDUITS, WIRING, VOLTAGES AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT, MEP AND/OR LIGHTING CONTRACTOR, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. LIGHT POLE BASES ARE THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR INSTALLING LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES AND ALL OTHER APPLICABLE RULES, REGULATIONS, LAWS AND STATUTES.
- CONTRACTOR MUST BRING TO DESIGNER'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES OR OTHER STRUCTURES.
- IT IS THE LIGHTING CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROJECT ARCHITECT OR OWNER REGARDING ANY AND ALL POWER SOURCE(S) AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT SHIELDING AND/OR ROTATED OPTICS ARE INSTALLED AS INDICATED ON THE PLAN IN ORDER TO ACHIEVE THE LIGHTING LEVELS THE REVIEWING AGENCY APPROVED.
- THE LIGHTING CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE SITE PLAN, INCLUDING BUT NOT LIMITED TO, GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL GOVERNMENTAL RULES, LAWS, ORDINANCES, REGULATIONS AND THE LIKE.
- THE CONTRACTOR MUST VERIFY THAT INSTALLATION OF LIGHTING FIXTURES COMPLIES WITH THE REQUIREMENTS FOR SEPARATION OF ELECTRICAL WIRES PER STATE REGULATIONS.
- WHEN A BANK ATM IS INCLUDED IN THE PLAN, THE LIGHTING DESIGN REPRESENTS BOHLER'S UNDERSTANDING AND INTERPRETATION OF THE REGULATORY LIGHTING LEVELS INTENDED BY PUBLISHED STANDARDS.
- UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS, TO ENSURE ADEQUATE LIGHTING LEVELS ARE PRESENT AND FUNCTIONING AT ALL TIMES.
- PROPOSED LUMINAIRES TO UTILIZE EXISTING FOUNDATIONS. CONTRACTOR SHALL EVALUATE AND CERTIFY THE STRUCTURAL INTEGRITY AND FEASIBILITY OF THE EXISTING FOUNDATIONS FOR USE WITH THE PROPOSED POLES, INCLUDING SPACING AND INTEGRITY OF EXISTING BOLTS. PROOF OF EVALUATION IS TO BE PROVIDED TO BOHLER AND THE CLIENT.

(Rev. 6/2023)

BACK RIVER COVE

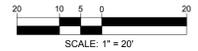
(TIDAL)



AREA LIGHT

NOT TO SCALE (NE-02/0101 - 09/2023)

THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY



REVISIONS

REV	DATE	COMMENT	CHECKED BY
1	03/18/2025	PLANNING DEPT. COMMENTS	SBB AWP
2	03/26/2025	TOWN COMMENTS	SBB AWP

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PROJECT NO.:	MAA240362.00-2A
DRAWN BY:	SBB
CHECKED BY:	AWP
DATE:	02/02/2025
CAD ID:	P-CIV-LIGHT

PROJECT:

SITE DEVELOPMENT PLANS
FOR
THE GARDNER SCHOOL

PROPOSED
CHILD CARE FACILITY
MAP: 46 | LOT: 1 & MAP: 35 | LOT: 66
425 LINCOLN STREET
PLYMOUTH COUNTY
HINGHAM, MA

BOHLER
352 TURNPIKE ROAD, 3RD FLOOR
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
www.BohlerEngineering.com

REGISTERED PROFESSIONAL ENGINEER
STATE OF MASSACHUSETTS
MATTHEW J. MERYA
LICENSE NO. 11337
EXPIRES 06/30/2026

SHEET TITLE:

LIGHTING PLAN

SHEET NUMBER:

L-201

REVISION 2 - 03/26/2025

P:\2024\MAA240362\DRAWINGS\PLAN SET\CIVIL SITE PLANS\CIVIL LIGHTING\MAA240362.00-2A\LAYOUT_1-201.LIGHT



Site and Area

EcoForm

ECF-S small area light



Gardco EcoForm Gen-2 combines economy with performance in an LED area luminaire. Capable of delivering up to 27,800 lumens or more in a compact, low profile LED luminaire, EcoForm offers a new level of customer value. EcoForm features an innovative retrofit arm kit, simplifying site conversions to LED by eliminating the need to drill additional holes in most existing poles. Integral control systems available for further energy savings. Includes Service Tag, our innovative way to provide assistance throughout the life of the product.

Project:
Location:
Cat.No:
Type:
Lamps:
Qty:
Notes:

Ordering guide Example: ECF-S-64L-900-NW-G2-AR-5-120-HIS-NGY

Table with columns: Prefix, Number of LEDs, Drive Current, LED Color - Generation, Mounting, Distribution, Voltage. Includes rows for ECF-S, ECF-S EcoForm site and area, small, 32L, 32 LEDs (2 modules), 365 365-NA, 530 530-NA, 700 700-NA, 1A 1050-NA, 1.2A 1200-NA, 48L 48 LEDs (3 modules), 900 900-NA, 1050 1050-NA, 1.2A 1200-NA, 64L 64 LEDs (4 modules), 900 900-NA, 1050 1050-NA, 1A 1050-NA.

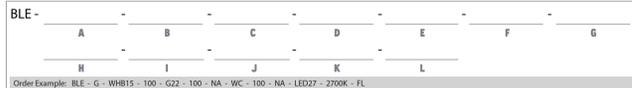
Options table with columns: Dimming controls, Motion sensing lens, Photo-sensing, Options, Luminaire, Finish. Includes rows for DD, DCC, FAW, SRD, DynaDimmer, CS80, CS30, CS30, BL, WAP, LB, LW, HB, HW.

- 1. BL-IMB27 equipped with out-boarded sensor housing when voltage is 120V (120-480V)
2. Mounts to a 4" round pole with adapter included for square poles.
3. Limited to a maximum of 48 dip wires along above horizontal.
4. Not available with other dimming control options.
5. Not available with motion sensor.
6. Not available with photocell.
7. Must specify motion sensor lens.
8. Not available in 347 or 480V.
9. Must specify max voltage.
10. LWB, LWB and LWB-C receptacle area 4.8 x 5.8 are shipped off when ordered with any of the Dimming controls DD or FAW or LCC.
11. Not available in 480V. Order photocell separately with TL505P1.



ECF-S_EcoForm_area_small 04/24 page 1 of 9

BOMBER INTEGRATED LED WALL SCONCE



Order Example: BLE - G - WHB15 - 100 - G22 - 100 - NA - WC - 100 - NA - LED27 - 2700K - FL

Table with columns: A - MOUNTING STYLE, C - SHADE FINISH (CONTINUED), D - MOUNTING (CONTINUED), G - SHADE ACCESSORIES, B - SHADE SIZE, C - SHADE FINISH, D - MOUNTING, E - MOUNTING FINISH, J - LIGHT SOURCE, K - COLOR TEMPERATURE, L - LED LENS, F - CORDS.

IMPORTANT: (1) All Bomber E-Series finished shades feature a white interior and a black outer rim. (2) All Powder Coat finished shades, colorized excluded. Feature a white interior. (3) Natural Metals have a longer estimated manufacturing time, please check the website for exact lead time. There are no returns accepted on Natural Metals. (4) Not available in Natural Metals. (5) Not compatible with 15" shade size and larger. (6) Only applicable if Chain Mounting Style selected in Section A, select NA if another Mounting Style is selected. (7) Only applicable if Stem Mounting Style is selected in Section A. (8) Not available with G3, G4, G11, G15, G26 & G36 Gooseneck option. (9) Only applicable if Gooseneck Mounting style is selected in Section A. (10) Not Applicable if WHB11 is selected in section B.

Address: 320 Knox McRae Drive Titusville, FL 32780 Phone: (800) 407-8784 Email: sales@barnlight.com Website: www.barnlight.com

BOMBER INTEGRATED LED WALL SCONCE

P:\2024\MAA240362\03\DRAWINGS\PLAN SET\CIVIL SITE PLANS\SP-CIVIL_LIGHT\MAA240362_03_2A...LAYOUT_1_-2024_LIGHT

BOHLER logo and contact information: SITE CIVIL AND CONSULTING ENGINEERING, PROGRAM MANAGEMENT, LANDSCAPE ARCHITECTURE, SUSTAINABLE DESIGN, PERMITTING SERVICES, TRANSPORTATION SERVICES.

REVISIONS table with columns: REV, DATE, COMMENT, CHECKED BY. Includes entries for 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.

811 logo and text: Know what's below. Call before you dig. ALWAYS CALL 811. It's fast. It's free. It's the law.

PERMIT SET text: THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

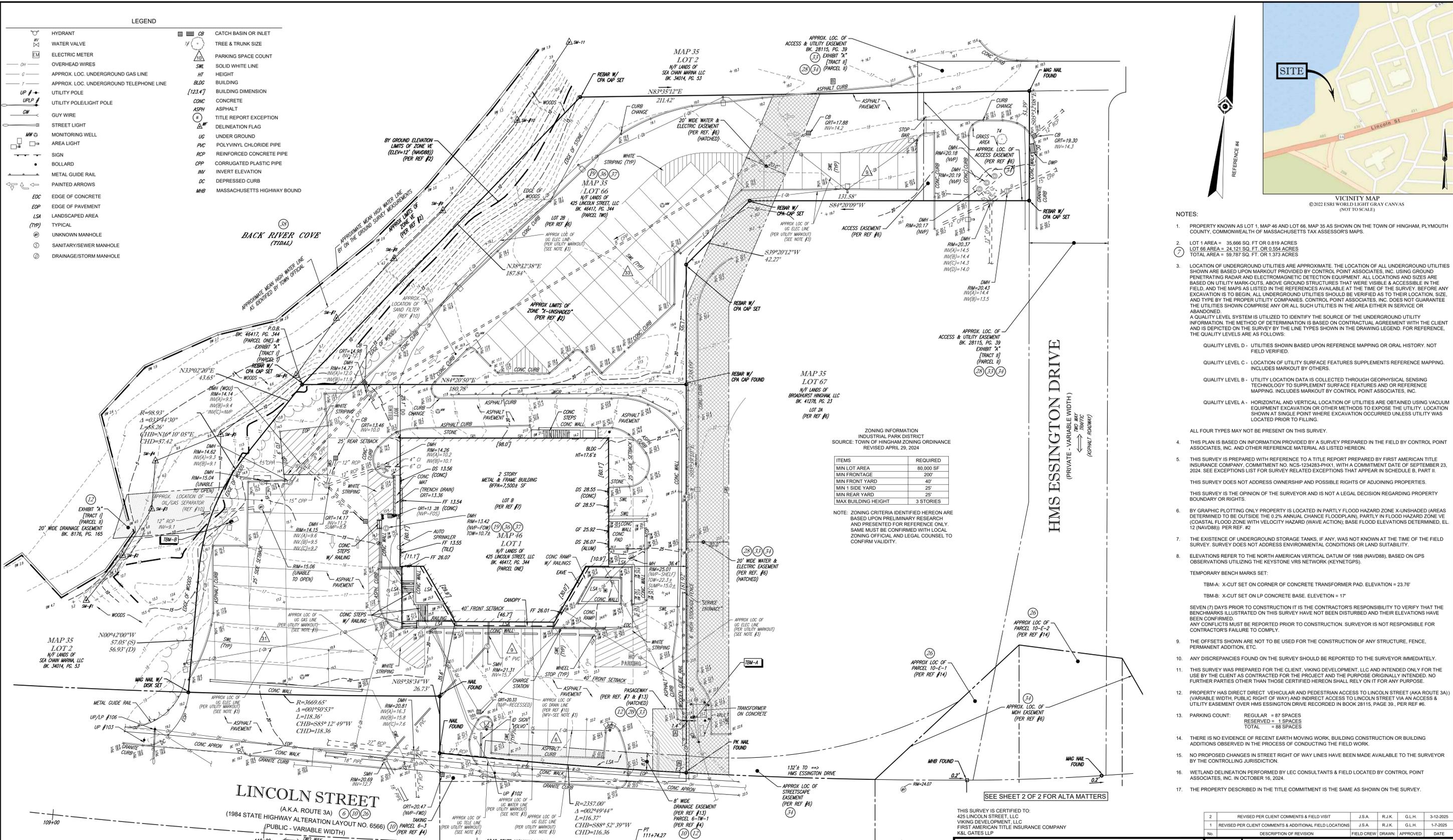
PROJECT information: PROJECT No.: MAA240362-00-2A, DRAWN BY: SBB, CHECKED BY: AWP, DATE: 02/03/2025, CAD ID: P-CIVIL-LGHT

SITE DEVELOPMENT PLANS FOR THE GARDNER SCHOOL PROPOSED CHILD CARE FACILITY. MAP: 46 | LOT: 1 & MAP: 35 | LOT: 66. 425 LINCOLN STREET, PLYMOUTH COUNTY, HINGHAM, MA.

BOHLER logo and address: 352 TURNPIKE ROAD, 3rd FLOOR, SOUTHBOROUGH, MA 01772. Phone: (508) 480-9900. www.BohlerEngineering.com

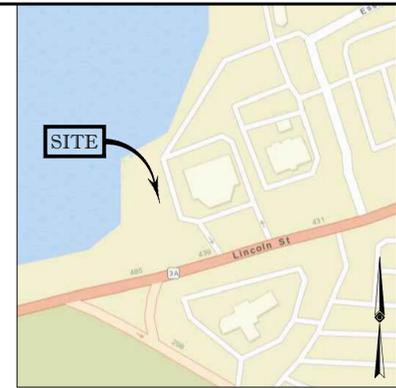
M.J. MRYA logo and text: REGISTERED LANDSCAPE ARCHITECT, VERMONT REG. NO. 1337, CHAS. NO. 20033.

SHEET TITLE: LIGHTING DETAILS. SHEET NUMBER: L-202. REVISION 2 - 03/26/2025.



LEGEND

	HYDRANT		CATCH BASIN OR INLET
	WATER VALVE		TREE & TRUNK SIZE
	ELECTRIC METER		PARKING SPACE COUNT
	OVERHEAD WIRES		SOLID WHITE LINE
	APPROX. LOC. UNDERGROUND GAS LINE		HEIGHT
	APPROX. LOC. UNDERGROUND TELEPHONE LINE		BUILDING
	UTILITY POLE		BUILDING DIMENSION
	UTILITY POLE/LIGHT POLE		CONCRETE
	GUY WIRE		ASPHALT
	STREET LIGHT		TITLE REPORT EXCEPTION
	MONITORING WELL		DELINEATION FLAG
	AREA LIGHT		UNDER GROUND
	SIGN		POLYVINYL CHLORIDE PIPE
	BOLLARD		REINFORCED CONCRETE PIPE
	METAL GUIDE RAIL		CORRUGATED PLASTIC PIPE
	PAINTED ARROWS		INVERT ELEVATION
	EDGE OF CONCRETE		DEPRESSED CURB
	EDGE OF PAVEMENT		MASSACHUSETTS HIGHWAY BOUND
	LANDSCAPED AREA		
	TYPICAL		
	UNKNOWN MANHOLE		
	SANITARY/SEWER MANHOLE		
	DRAINAGE/STORM MANHOLE		



- NOTES:**
- PROPERTY KNOWN AS LOT 1, MAP 46 AND LOT 66, MAP 35 AS SHOWN ON THE TOWN OF HINGHAM, PLYMOUTH COUNTY, COMMONWEALTH OF MASSACHUSETTS TAX ASSESSOR'S MAPS.
 - LOT 1 AREA = 36,986 SQ. FT. OR 0.819 ACRES
LOT 66 AREA = 24,121 SQ. FT. OR 0.554 ACRES
TOTAL AREA = 59,787 SQ. FT. OR 1.373 ACRES
 - LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE BASED UPON MARKOUT PROVIDED BY CONTROL POINT ASSOCIATES, INC. USING GROUND PENETRATING RADAR AND ELECTROMAGNETIC DETECTION EQUIPMENT. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE, AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ANY OR ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
A QUALITY LEVEL SYSTEM IS UTILIZED TO IDENTIFY THE SOURCE OF THE UNDERGROUND UTILITY INFORMATION. THE METHOD OF DETERMINATION IS BASED ON CONTRACTUAL AGREEMENT WITH THE CLIENT AND IS DEPICTED ON THE SURVEY BY THE LINE TYPES SHOWN IN THE DRAWING LEGEND. FOR REFERENCE, THE QUALITY LEVELS ARE AS FOLLOWS:

 QUALITY LEVEL D - UTILITIES SHOWN BASED UPON REFERENCE MAPPING OR ORAL HISTORY. NOT FIELD VERIFIED.

 QUALITY LEVEL C - LOCATION OF UTILITY SURFACE FEATURES SUPPLEMENTS REFERENCE MAPPING. INCLUDES MARKOUT BY OTHERS.

 QUALITY LEVEL B - UTILITY LOCATION DATA IS COLLECTED THROUGH GEOPHYSICAL SENSING TECHNOLOGY TO SUPPLEMENT SURFACE FEATURES AND OR REFERENCE MAPPING. INCLUDES MARKOUT BY CONTROL POINT ASSOCIATES, INC.

 QUALITY LEVEL A - HORIZONTAL AND VERTICAL LOCATION OF UTILITIES ARE OBTAINED USING VACUUM EQUIPMENT EXCAVATION OR OTHER METHODS TO EXPOSE THE UTILITY. LOCATION SHOWN AT SINGLE POINT WHERE EXCAVATION OCCURRED UNLESS UTILITY WAS LOCATED PRIOR TO FILLING.

 ALL FOUR TYPES MAY NOT BE PRESENT ON THIS SURVEY.
 - THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
 - THIS SURVEY IS PREPARED WITH REFERENCE TO A TITLE REPORT PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. NCS-124283-PHX1, WITH A COMMITMENT DATE OF SEPTEMBER 23, 2024. SEE EXCEPTIONS LIST FOR SURVEY RELATED EXCEPTIONS THAT APPEAR IN SCHEDULE B, PART II.
THIS SURVEY DOES NOT ADDRESS OWNERSHIP AND POSSIBLE RIGHTS OF ADJOINING PROPERTIES.
THIS SURVEY IS THE OPINION OF THE SURVEYOR AND IS NOT A LEGAL DECISION REGARDING PROPERTY BOUNDARY OR RIGHTS.
 - BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN PARTLY FLOOD HAZARD ZONE X-UNSHADED (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), PARTLY IN FLOOD HAZARD ZONE V (COASTAL FLOOD ZONE WITH VELOCITY HAZARD (WAVE ACTION)), BASE FLOOD ELEVATIONS DETERMINED, EL. 12 (NAV888) PER REF. #2.
 - THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY. SURVEY DOES NOT ADDRESS ENVIRONMENTAL CONDITIONS OR LAND SUITABILITY.
 - ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV888), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS).
TEMPORARY BENCH MARKS SET:
TBM-A: X-CUT SET ON CORNER OF CONCRETE TRANSFORMER PAD. ELEVATION = 23.76'
TBM-B: X-CUT SET ON LP CONCRETE BASE. ELEVATION = 17'
SEVEN (7) DAYS PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SURVEY HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED.
ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION. SURVEYOR IS NOT RESPONSIBLE FOR CONTRACTOR'S FAILURE TO COMPLY.
 - THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
 - ANY DISCREPANCIES FOUND ON THE SURVEY SHOULD BE REPORTED TO THE SURVEYOR IMMEDIATELY.
 - THIS SURVEY WAS PREPARED FOR THE CLIENT, VIKING DEVELOPMENT, LLC AND INTENDED ONLY FOR THE USE BY THE CLIENT AS CONTRACTED FOR THE PROJECT AND THE PURPOSE ORIGINALLY INTENDED. NO FURTHER PARTIES OTHER THAN THOSE CERTIFIED HEREON SHALL RELY ON IT FOR ANY PURPOSE.
 - PROPERTY HAS DIRECT VEHICULAR AND PEDESTRIAN ACCESS TO LINCOLN STREET (AKA ROUTE 3A) (VARIABLE FLOOD ZONE WITH VELOCITY HAZARD) AND INDIRECT ACCESS TO LINCOLN STREET VIA AN ACCESS & UTILITY EASEMENT OVER HMS ESSINGTON DRIVE RECORDED IN BOOK 28115, PAGE 39, PER REF. #6.
 - PARKING COUNT: REGULAR = 87 SPACES
RESERVED = 1 SPACES
TOTAL = 88 SPACES
 - THERE IS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.
 - NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES HAVE BEEN MADE AVAILABLE TO THE SURVEYOR BY THE CONTROLLING JURISDICTION.
 - WETLAND DELINEATION PERFORMED BY LEC CONSULTANTS & FIELD LOCATED BY CONTROL POINT ASSOCIATES, INC. IN OCTOBER 16, 2024.
 - THE PROPERTY DESCRIBED IN THE TITLE COMMITMENT IS THE SAME AS SHOWN ON THE SURVEY.

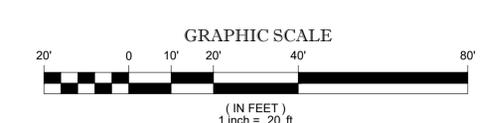
ZONING INFORMATION
INDUSTRIAL PARK DISTRICT
SOURCE: TOWN OF HINGHAM ZONING ORDINANCE
REVISED APRIL 29, 2024

ITEMS	REQUIRED
MIN LOT AREA	80,000 SF
MIN FRONTAGE	200'
MIN FRONT YARD	40'
MIN 1 SIDE YARD	25'
MIN REAR YARD	25'
MAX BUILDING HEIGHT	3 STORIES

NOTE: ZONING CRITERIA IDENTIFIED HEREON ARE BASED UPON PRELIMINARY RESEARCH AND PRESENTED FOR REFERENCE ONLY. SAME MUST BE CONFIRMED WITH LOCAL ZONING OFFICIAL AND LEGAL COUNSEL TO CONFIRM VALIDITY.

UTILITIES:
THE FOLLOWING COMPANIES WERE NOTIFIED BY MASSACHUSETTS'S ONE-CALL SYSTEM (1-888-344-7233) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER(S): 20134301377 (2013 MARKOUT)

UTILITY COMPANY	PHONE NUMBER
VERIZON	877-610-6196
781-741-1476	
COMCAST - PEMBROKE	877-434-3871
AQUARIAN WATER CO	800-732-9678
NATIONAL GRID GAS - BOSTON	800-732-3400
ON TARGET LOCATING	508-429-1002
INNOVATIVE DATA MANAGEMENT	888-604-5577



- TABLE OF SIGNIFICANT OBSERVATIONS**
- EDGE OF PAVEMENT OVER PROPERTY LINE ONTO LOT 67 BY 1.2 TO 1.4'
 - ASPHALT CURBING OVER PROP LINE ONTO LOT 2 OUTSIDE OF ACCESS & UTILITY EASEMENT AREA
- NOTE: THESE ARE THE SIGNIFICANT OBSERVATIONS NOTED DURING THE PROCESS OF CONDUCTING THE FIELD WORK. THERE MAY BE OTHERS NOT RECOGNIZED BY THE SURVEYOR.

THIS SURVEY IS CERTIFIED TO: 425 LINCOLN STREET, LLC VIKING DEVELOPMENT, LLC FIRST AMERICAN TITLE INSURANCE COMPANY KOL GATES LLP

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 7(b)(1), 8, 9, 11(b), 13, 14, 16, 17 & 18 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON MARCH 3, 2025.



No.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN	APPROVED	DATE
2	REVISED PER CLIENT COMMENTS & FIELD VISIT	J.S.A.	R.J.K.	G.L.H.	3-12-2025
1	REVISED PER CLIENT COMMENTS & ADDITIONAL FIELD LOCATIONS	J.S.A.	R.J.K.	G.L.H.	1-7-2025

ALTA/NSPS LAND TITLE SURVEY
VIKING DEVELOPMENT, LLC
425 LINCOLN STREET
LOT 1, MAP 46 & LOT 66, MAP 35
TOWN OF HINGHAM, PLYMOUTH COUNTY
COMMONWEALTH OF MASSACHUSETTS

CONTROL POINT ASSOCIATES, INC.
34 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
508.548.3000 • 508.548.3003 FAX
WWW.CONTROLPOINT.COM

GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

3-12-2025 DATE
REVIEWED: APPROVED: DATE SCALE FILE NO. DWS. NO.
R.J.K. G.L.H. 11-14-2024 1"=20' 03-10228-03 1 OF 1

EXHIBIT A

THE LAND IS DESCRIBED AS FOLLOWS: REAL PROPERTY IN THE CITY OF HINGHAM, COUNTY OF PLYMOUTH, COMMONWEALTH OF MASSACHUSETTS, DESCRIBED AS FOLLOWS:

TRACT I
PARCEL I (425 LINCOLN STREET)

THAT CERTAIN PARCEL OF LAND, TOGETHER WITH ANY BUILDINGS AND IMPROVEMENTS THEREON, COMMONLY KNOWN AS 425 LINCOLN STREET, HINGHAM, MASSACHUSETTS, AND MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

THE LAND WITH THE BUILDINGS THEREON, SITUATED ON THE NORTHERLY SIDE OF LINCOLN STREET IN SAID HINGHAM, SHOWN AS LOT B ON A PLAN ENTITLED "PLAN OF LAND IN HINGHAM-MASS." BY HENRY F. BRYANT & SON, INC., DATED FEBRUARY 7, 1956, RECORDED WITH PLYMOUTH DEEDS IN BOOK 2479, PAGE 453, AND BOUNDED AND DESCRIBED AS FOLLOWS

NORTHERLY: BY LAND NOW OR FORMERLY OF RAMSEY C. ALLEN, AS SHOWN IN SAID PLAN, ONE HUNDRED EIGHTY AND 78/100 (180.78).

EASTERLY: BY LAND NOW OR FORMERLY OF SAID ALLEN AND BY LAND NOW OR FORMERLY OF GULF OIL CORPORATION (BEING LOT A ON SAID PLAN), ONE HUNDRED EIGHTY-SIX AND 00/100 (186.00) FEET.

SOUTHERLY: BY LINCOLN STREET, AS SHOWN ON SAID PLAN, ONE HUNDRED FIFTEEN AND 99/100 (115.99) FEET; WESTERLY: BY SAID LINCOLN STREET, AS SHOWN ON SAID PLAN, FORTY AND 00/100 (40.00) FEET.

SOUTHERLY: AGAIN, BY SAID LINCOLN STREET, AS SHOWN ON SAID PLAN, ONE HUNDRED EIGHTEEN AND 35/100 FEET.

WESTERLY: AGAIN, BY LAND NOW OR FORMERLY OF SAID ALLEN, AS SHOWN ON SAID PLAN, FIFTY-SIX AND 93/100 FEET; AND

NORTHWESTERLY: BY LAND NOW OR FORMERLY OF SAID ALLEN AS SHOWN ON SAID PLAN IN TWO COURSES MEASURING, RESPECTIVELY, FIFTY-EIGHT AND 28/100 (58.28) FEET AND FORTY-THREE AND 65/100 (43.65) FEET.

CONTAINING 36,800 SQUARE FEET OF LAND, ACCORDING TO SAID PLAN.

EXCEPTING AND EXCLUDING 910 SQUARE FEET THEREOF, MORE OR LESS, TAKEN BY THE COMMONWEALTH OF MASSACHUSETTS, DEPARTMENT OF PUBLIC WORKS, FOR ALTERATIONS IN THE LAYOUT OF SAID LINCOLN STREET, DATED OCTOBER 31, 1984, AND RECORDED IN PLYMOUTH REGISTRY OF DEEDS IN BOOK 5877, PAGE 134. SEE ALSO THE PLAN REFERENCED IN SAID TAKING.

TRACT II

PARCEL I (LOT 2B, LINCOLN STREET)

THAT CERTAIN PARCEL OF LAND LOCATED IN THE TOWN OF HINGHAM, PLYMOUTH COUNTY, SHOWN AS LOT 2B (CONTAINING APPROXIMATELY 24,120 SQUARE FEET OF LAND, MORE OR LESS), ON THAT CERTAIN PLAN ENTITLED "APPROVAL NOT REQUIRED SUBDIVISION PLAN, 421 LINCOLN STREET IN HINGHAM, MASSACHUSETTS (PLYMOUTH COUNTY)" DATED MAY 14, 2010 AND RECORDED WITH THE PLYMOUTH COUNTY REGISTRY OF DEEDS IN PLAN BOOK 55, PAGE 985 (THE "PLAN").

PARCEL II (EASEMENT INTEREST)

TOGETHER WITH THE BENEFIT OF EASEMENTS AND RESERVATIONS CONTAINED IN QUITCLAIM DEED AND GRANT OF EASEMENT AND RESERVATION OF EASEMENT FROM HINGHAM SHIPYARD LLC, HEWITTS COVE MARINA, LLC, AND LANDFALL MARINE AND RECREATION CENTER, LLC TO ROCKY REACH LLC, DATED APRIL 22, 2004 AND RECORDED MAY 3, 2004 IN BOOK 28115, PAGE 39; AS CONFIRMED BY QUITCLAIM DEED FROM ROCKY REACH, LLC TO HINGHAM TD3A, LLC DATED JUNE 21, 2010 AND RECORDED JUNE 23, 2010 IN BOOK 39552, PAGE 227; AND AS FURTHER SHOWN ON PLAN BOOK 55, PAGE 985.

REFERENCES:

- 1. THE TAX ASSESSOR'S MAPS OF THE TOWN OF HINGHAM, PLYMOUTH COUNTY, COMMONWEALTH OF MASSACHUSETTS, MAP #55 AND #46, DATED JANUARY, 2012.
2. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, PLYMOUTH COUNTY, MASSACHUSETTS (ALL JURISDICTIONS), PANEL 81 OF 650," MAP NUMBER 250232C0081K, EFFECTIVE DATE: JULY 3, 2024.
3. MAP ENTITLED "THE COMMONWEALTH OF MASSACHUSETTS, PLAN OF ROAD IN THE TOWN OF HINGHAM, PLYMOUTH COUNTY," PREPARED BY THE DEPARTMENT OF PUBLIC WORKS, DATED AUGUST 4, 1942, STATE HIGHWAY LAYOUT NO. 3413.
4. MAP ENTITLED "THE COMMONWEALTH OF MASSACHUSETTS, PLAN OF ROAD IN THE TOWN OF HINGHAM, PLYMOUTH COUNTY," PREPARED BY CONGDON, GURNEY & TOWLE, INC., DATED OCTOBER 31, 1984, STATE HIGHWAY LAYOUT NO. 6566.
5. MAP ENTITLED "APPROVAL NOT REQUIRED SUBDIVISION PLAN, 349 LINCOLN STREET, HINGHAM, MA," PREPARED BY BSG GROUP, DATED MAY 21, 2004, REVISED JUNE 4, 2004, FILED IN THE PLYMOUTH COUNTY REGISTRY OF DEEDS IN PLAN BOOK 48, PAGES 461 & 462.
6. MAP ENTITLED "APPROVAL NOT REQUIRED SUBDIVISION PLAN, 421 LINCOLN STREET IN HINGHAM, MA," PREPARED BY BSG GROUP, DATED MAY 14, 2010, FILED IN THE PLYMOUTH COUNTY REGISTRY OF DEEDS IN PLAN BOOK 55, PLAN 985.
7. MAP ENTITLED "PLAN OF LAND IN HINGHAM, MASS.," PREPARED BY HENRY F. BRYANT & SON, INC., DATED FEBRUARY 7, 1956, FILED IN THE PLYMOUTH COUNTY REGISTRY OF DEEDS IN PLAN BOOK 2479, PAGE 453.
8. GAS FACILITY MAPPING PROVIDED BY NATIONAL GRID, DATED OCTOBER 21, 2013.
9. MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY, BOHLER ENGINEERING, INC., 425 LINCOLN STREET, LOT 1, MAP 46, AND LOT 66, MAP 35, TOWN OF HINGHAM, PLYMOUTH COUNTY, COMMONWEALTH OF MASSACHUSETTS," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED NOVEMBER 12, 2013.
10. MAP ENTITLED "SITE DEVELOPMENT PLANS FOR CASA DEVELOPMENT, SITE LOCATION: MAP 46, LOT 1 & MAP 35, LOT 66, 425 LINCOLN STREET, TOWN OF HINGHAM, PLYMOUTH COUNTY, COMMONWEALTH OF MASSACHUSETTS," PREPARED BY BOHLER ENGINEERING, DATED MARCH 20, 2015.
11. WATER TIE CARDS PROVIDED BY AQUARION WATER COMPANY ON 10/21/13.
12. MAP ENTITLED "FIELD SKETCH, 425 LINCOLN STREET, HINGHAM, MA, SUE PROJECT #08-240728-00," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED OCTOBER 21, 2024.
13. MAP ENTITLED "PLAN OF LAND IN HINGHAM, MASS.," PREPARED BY ERNEST W. BRANCH, DATED OCTOBER 6, 1987, RECORDED WITH PLYMOUTH COUNTY REGISTRY OF DEEDS AS PLAN BOOK 30, PAGE 103.

GENERAL EXCEPTIONS 1 THRU 6, 39 & 40 ARE NOT SURVEY RELATED AND HAVE NOT BEEN COMMENTED ON AS A PART OF THIS SURVEY.

- 6 TITLE TO AND RIGHTS OF THE PUBLIC AND OTHERS ENTITLED THERETO IN AND TO THOSE PORTIONS OF THE LAND LYING WITHIN THE BOUNDS OF ADJACENT STREETS, ROADS, AND WAYS; - LINCOLN STREET SHOWN HEREON.
7 THE ACREAGE OR SQUARE FOOTAGE BEING OTHER THAN AS STATED IN SCHEDULE A OR THE PLAN(S) THEREIN REFERRED TO; - SEE NOTE #2.

THE FOLLOWING AFFECTS TRACT I:

- 8 RIGHT OF WAY AS SET FORTH IN DEED BY AND BETWEEN HARRY L. WHITE, MARRIED, AMY L. WHITE, UNMARRIED AND GULF OIL CORPORATION, A PENNSYLVANIA CORPORATION, DATED FEBRUARY 6, 1956 AND RECORDED IN BOOK 2479, PAGE 453; - PASSAGEWAY SHOWN HEREON; AFFECTS SUBJECT PROPERTY.
9 NOTICE OF VARIANCE CONDITIONAL OR LIMITED VARIANCE OR SPECIAL PERMIT MADE BY THE COMMONWEALTH OF MASSACHUSETTS, TOWN OF HINGHAM BOARD OF APPEALS, DATED DECEMBER 12, 1973 AND RECORDED APRIL 25, 1975 IN BOOK 4061, PAGE 627; - AFFECTS SUBJECT PROPERTY; NOT PLOTTABLE.
10 ORDER OF TAKING FOR LAYOUT/RELOCATION OF ROUTE 3A, DATED OCTOBER 31, 1984 AND RECORDED NOVEMBER 28, 1984 IN BOOK 5877, PAGE 134; - CURRENT LAYOUT OF LINCOLN STREET & TAKING PARCEL 6-3 SHOWN HEREON; AFFECTS SUBJECT PROPERTY.
11 DECISION MADE BY THE TOWN OF HINGHAM BOARD OF APPEALS DATED APRIL 27, 1987 AND RECORDED OCTOBER 29, 1987 IN BOOK 8097, PAGE 347; - REDUCTION IN FRONT SETBACK DISTANCE FOR EXISTING ACCESSORY GROUND SIGN; AFFECTS SUBJECT PROPERTY.
12 EASEMENTS AS SHOWN ON PLAN ENTITLED "PLAN OF LAND IN HINGHAM, MASS.," DATED OCTOBER 6, 1987, RECORDED AS PLAN NO. 1353 OF 1987, PLAN BOOK 30, PAGE 103; - PASSAGEWAY, DRAINAGE EASEMENT & PARCEL 6-TN-1 SHOWN HEREON; AFFECTS SUBJECT PROPERTY.
13 DECISION MADE BY THE TOWN OF HINGHAM BOARD OF APPEALS DATED JULY 6, 1987 AND RECORDED IN BOOK 8178, PAGES 175 AND 178; - REDUCTION IN MAXIMUM FLOOR AREA RATIO FOR NEWLY PROPOSED BUILDING; NOT PLOTTABLE; AFFECTS SUBJECT PROPERTY.
14 ORDER OF CONDITIONS ISSUED BY THE TOWN OF HINGHAM CONSERVATION COMMISSION, DATED MARCH 16, 1987 AND RECORDED DECEMBER 10, 1987 IN BOOK 8176, PAGE 182, AS AFFECTED BY CERTIFICATE OF COMPLIANCE, DATED APRIL 17, 1990 AND RECORDED OCTOBER 15, 1991 IN BOOK 10531, PAGE 50; - AFFECTS SUBJECT PROPERTY; NOT PLOTTABLE.
15 DECISION MADE BY THE TOWN OF HINGHAM BOARD OF APPEALS DATED DECEMBER 29, 1988 AND RECORDED MARCH 20, 1989 IN BOOK 9040, PAGE 159; - AFFECTS SUBJECT PROPERTY; NOT PLOTTABLE.
16 DECISION MADE BY THE TOWN OF HINGHAM BOARD OF APPEALS DATED DECEMBER 5, 1995 AND RECORDED DECEMBER 12, 1995 IN BOOK 14019, PAGE 97; - AFFECTS SUBJECT PROPERTY; NOT PLOTTABLE.
17 ORDER OF CONDITIONS, DEP FILE NO. 034-1180 ISSUED BY HINGHAM CONSERVATION COMMISSION, DATED DECEMBER 20, 2013 AND RECORDED DECEMBER 20, 2013 IN BOOK 4384, PAGE 292, AS AFFECTED BY CERTIFICATE OF COMPLIANCE, DATED JUNE 24, 2014 AND RECORDED OCTOBER 24, 2014 IN BOOK 44870, PAGE 235; - AFFECTS SUBJECT PROPERTY; NOT PLOTTABLE.
18 NOTICE OF DECISION SPECIAL PERMIT A2-MINOR MODIFICATION MADE BY THE TOWN OF HINGHAM BOARD OF APPEALS, DATED AUGUST 31, 2015 AND RECORDED OCTOBER 2, 2015 IN BOOK 46115, PAGE 328; - AFFECTS SUBJECT PROPERTY; NOTE PLOTTABLE.
19 NOTICE OF LEASE MADE BY AND BETWEEN CASA DEVELOPMENT, INC., A MASSACHUSETTS CORPORATION, AS LANDLORD AND VILLAGE MOTORS SOUTH, INC., A MASSACHUSETTS CORPORATION, AS TENANT, DATED NOVEMBER 3, 2014 AND RECORDED MAY 11, 2016 IN BOOK 46910, PAGE 64; - BLANKET IN NATURE; MAP 46, LOT 1 & MAP 35, LOT 66 SHOWN HEREON; AFFECTS SUBJECT PROPERTY.
20 ALL MATTERS AS SHOWN ON PLAN IN BOOK 2479, PAGE 453; - PASSAGEWAY SHOWN HEREON; AFFECTS SUBJECT PROPERTY.

THE FOLLOWING AFFECTS TRACT II:

- 21 RIGHT TO MAINTAIN LEACHING FIELD SET FORTH IN DEED, DATED JULY 31, 1953 AND RECORDED AUGUST 3, 1953 IN BOOK 2287, PAGE 490 AND SHOWN AS PLAN NO. 355 OF 1964; - NO LEACHING FIELD OBSERVED AT THE TIME OF SURVEY, DOCUMENT VAGUE IN DESCRIPTIONS, UNABLE TO DETERMINE LOCATION OF RIGHTS.
22 ORDER OF CONDITIONS, DEP FILE NO. 34-83 ISSUED BY HINGHAM CONSERVATION COMMISSION, DATED MAY 19, 1980 AND RECORDED JUNE 17, 1980 IN BOOK 4840, PAGE 145; - AFFECTS SUBJECT PROPERTY; NOT PLOTTABLE.
23 APPLICATION FOR VARIANCE BY THE TOWN OF HINGHAM BOARD OF APPEALS, DATED JULY 28, 1981 AND RECORDED AUGUST 5, 1981 IN BOOK 5035, PAGE 408; - AFFECTS SUBJECT PROPERTY; NOT PLOTTABLE.
24 LICENSE NO. 806 BY THE COMMONWEALTH OF MASSACHUSETTS, DATED DECEMBER 18, 1981 AND RECORDED FEBRUARY 2, 1982 IN BOOK 5109, PAGE 421 AND AS SHOWN ON PLAN BOOK 82, PAGE 66, AS AFFECTED BY ASSIGNMENT OF LICENSE, DATED SEPTEMBER 18, 2008 AND RECORDED FEBRUARY 18, 2009 IN BOOK 19383, PAGE 58; - NO PIER, FLOATS OR EXISTING TIMBERS OBSERVED AT THE TIME OF SURVEY, RIGHTS RELEASED PER BOOK 19383, PAGE 58; DOES NOT AFFECT SUBJECT PROPERTY.
25 APPLICATION FOR VARIANCE BY THE TOWN OF HINGHAM BOARD OF APPEALS, DATED MARCH 8, 1983 AND RECORDED MAY 9, 1983 IN BOOK 5347, PAGE 292; - AFFECTS SUBJECT PROPERTY; NOT PLOTTABLE.
26 ORDER OF TAKING, LAYOUT NO. 7505, ALTERATION OF LINCOLN STREET, DATED JUNE 20, 2001 AND RECORDED JUNE 29, 2001 IN BOOK 20102, PAGE 240, AND AS SHOWN ON PLAN NO. 409 OF 2001; - CURRENT LAYOUT OF LINCOLN STREET SHOWN HEREON; AFFECTS EXHIBIT "A", TRACT II, PARCEL II.
27 ORDER OF CONDITIONS BY THE HINGHAM CONSERVATION COMMISSION CONCERNING DEP FILE NO. 34-700, DATED JANUARY 28, 2003 AND RECORDED MARCH 10, 2003 IN BOOK 24438, PAGE 34, AND FILED AS DOCUMENT FEBRUARY 2, 1982 IN BOOK 5109, PAGE 421 AND AS SHOWN ON PLAN BOOK 82, PAGE 66, AS AFFECTED BY ORDER OF CONDITIONS, DEP FILE NO. 034-1180, DATED DECEMBER 20, 2013 IN BOOK 4384, PAGE 292, AS AFFECTED BY EXTENSION PERMIT FOR ORDERS OF CONDITIONS, DATED DECEMBER 22, 2005 AND RECORDED JANUARY 12, 2006 IN BOOK 32060, PAGE 344; AS AMENDED BY AMENDED ORDER OF CONDITIONS, DATED JANUARY 9, 2006 AND RECORDED FEBRUARY 10, 2006 IN BOOK 32197, PAGE 198, AS AMENDED BY AMENDED ORDER OF CONDITIONS, DATED JUNE 21, 2007 AND RECORDED SEPTEMBER 18, 2007 IN BOOK 35088, PAGE 77; AS AFFECTED BY EXTENSION PERMIT FOR ORDERS OF CONDITIONS, DATED NOVEMBER 17, 2008 AND RECORDED NOVEMBER 28, 2008 IN BOOK 36569, PAGE 47; AS AFFECTED BY CERTIFICATE OF COMPLIANCE, DATED MARCH 24, 2015 AND RECORDED MAY 21, 2015 IN BOOK 45570, PAGE 323; - AFFECTS SUBJECT PROPERTY; NOT PLOTTABLE.
28 RESERVATIONS OF EASEMENTS AS SET FORTH IN DEED, DATED APRIL 22, 2004 AND RECORDED MAY 3, 2004 IN BOOK 28115, PAGE 39; - ACCESS & UTILITY EASEMENTS, WATER & ELECTRIC EASEMENT SHOWN HEREON; AFFECTS SUBJECT PROPERTY.
29 DECLARATION OF COVENANTS, EASEMENTS AND RESTRICTIONS FOR HINGHAM SHIPYARD EAST PROPERTY OWNERS ASSOCIATION, INC. AND HINGHAM SHIPYARD WEST PROPERTY OWNERS ASSOCIATION, INC. BY AND BETWEEN HEWITTS COVE MARINA, LLC, A MASSACHUSETTS LIMITED LIABILITY COMPANY, HCM, LLC, A MASSACHUSETTS LIMITED LIABILITY COMPANY AND ROCKY REACH LLC, A MASSACHUSETTS LIMITED LIABILITY COMPANY, WITH THE POWER TO ASSESS COMMON CHARGES, RECORDED JUNE 12, 2006 IN BOOK 32846, PAGE 1, AND AS SHOWN ON PLAN RECORDED AS PLAN NO. 540 OF 2006 IN PLAN BOOK 51, PAGE 889; AS AFFECTED BY AFFIDAVIT, RECORDED JULY 11, 2006 IN BOOK 33005, PAGE 284, AND AS SHOWN ON PLANS RECORDED AS PLAN NOS. 06434 & 06436 OF 2006 IN PLAN BOOK 51, PAGES 1011-1016, AS AFFECTED BY JOINDER AND RELEASE AGREEMENT, RECORDED JULY 10, 2008 IN BOOK 36169, PAGE 144; AS AFFECTED BY NOTICE OF RELOCATION OF WATERFRONT PARK EASEMENT RECORDED AUGUST 5, 2010 IN BOOK 38811, PAGE 297; AS AMENDED BY AMENDMENT TO DECLARATION OF COVENANTS, EASEMENTS AND RESTRICTIONS RECORDED JANUARY 20, 2017 IN BOOK 48026, PAGE 85; AS AMENDED BY SECOND AMENDMENT TO DECLARATION OF COVENANTS, EASEMENTS AND RESTRICTIONS RECORDED FEBRUARY 8, 2018 IN BOOK 49486, PAGE 178; - NON LOCUS; SUBJECT LANDS LOCATED NORTH & EAST OF HMS ESSINGTON DRIVE; AFFECTS EXHIBIT "A", TRACT II, PARCEL II.
30 ORDER OF CONDITIONS, DEP FILE NO. SE-34-1019, ISSUED BY HINGHAM CONSERVATION COMMISSION, DATED FEBRUARY 3, 2010 AND RECORDED MARCH 10, 2010 IN BOOK 38311, PAGE 248; AS AFFECTED BY PARTIAL CERTIFICATE OF COMPLIANCE DATED APRIL 9, 2012 AND RECORDED APRIL 25, 2012 IN BOOK 41278, PAGE 15; - AFFECTS SUBJECT PROPERTY; NOT PLOTTABLE.
31 COVENANT RUNNING WITH THE LAND BY ROCKY REACH LLC, A MASSACHUSETTS LIMITED LIABILITY COMPANY, DATED MARCH 10, 2010 AND RECORDED MARCH 24, 2010 IN BOOK 38354, PAGE 128; - AFFECTS SUBJECT PROPERTY; NOT PLOTTABLE.
32 COVENANT RUNNING WITH THE LAND BY HINGHAM TD3A, LLC, A MASSACHUSETTS LIMITED LIABILITY COMPANY, DATED OCTOBER 7, 2010 AND RECORDED OCTOBER 7, 2010 IN BOOK 39909, PAGE 95; - DAILY WATER ALLOCATIONS; AFFECTS SUBJECT PROPERTY; NOT PLOTTABLE.
33 EASEMENTS SET FORTH IN QUITCLAIM DEED FROM CASA DEVELOPMENT, INC., A MASSACHUSETTS CORPORATION TO 425 LINCOLN STREET LLC, A MASSACHUSETTS LIMITED LIABILITY COMPANY, DATED DECEMBER 21, 2015 AND RECORDED DECEMBER 22, 2015 IN BOOK 46417, PAGE 344; - WATER & ELECTRIC EASEMENT, PASSAGEWAY, ACCESS EASEMENT & ACCESS & UTILITY EASEMENT SHOWN HEREON; AFFECTS SUBJECT PROPERTY.
34 ALL MATTERS AS SHOWN ON PLAN BOOK 55, PAGE 985; - STREETSCAPE EASEMENT, WATER & ELECTRIC EASEMENT, ACCESS & UTILITY EASEMENT & ACCESS EASEMENT SHOWN HEREON; AFFECTS SUBJECT PROPERTY.
35 ORDER OF CONDITIONS, DEP FILE NO. 034-122 ISSUED BY HINGHAM CONSERVATION COMMISSION, DATED AUGUST 5, 2015 AND RECORDED AUGUST 25, 2015 IN BOOK 45962, PAGE 22, AS AMENDED BY AMENDED ORDER OF CONDITIONS, DEP FILE NO. 034-122, DATED DECEMBER 22, 2015 IN BOOK 46081, PAGE 244, AS AFFECTED BY CERTIFICATE OF COMPLIANCE, DATED JANUARY 14, 2019 AND RECORDED JANUARY 18, 2019 IN BOOK 50733, PAGE 69; - AFFECTS SUBJECT PROPERTY; NOT PLOTTABLE.
36 MORTGAGE BY AND BETWEEN 425 LINCOLN STREET LLC, A MASSACHUSETTS LIMITED LIABILITY COMPANY AND SOUTH SHORE BANK, A MASSACHUSETTS BANKING INSTITUTION, IN THE ORIGINAL PRINCIPAL AMOUNT OF \$1,890,000.00, DATED DECEMBER 21, 2015 AND RECORDED DECEMBER 22, 2015 IN BOOK 46418, PAGE 1; - BLANKET IN NATURE; MAP 46, LOT 1 & MAP 35, LOT 66 SHOWN HEREON.
37 COLLATERAL ASSIGNMENT OF LEASES AND RENTS BY AND BETWEEN 425 LINCOLN STREET LLC, A MASSACHUSETTS LIMITED LIABILITY COMPANY AND SOUTH SHORE BANK, A MASSACHUSETTS BANKING INSTITUTION, DATED DECEMBER 21, 2015 AND RECORDED DECEMBER 22, 2015 IN BOOK 46418, PAGE 17; - BLANKET IN NATURE; MAP 46, LOT 1 & MAP 35, LOT 66 SHOWN HEREON.
38 CHANGES IN THE BOUNDARIES OF THE LAND THAT MAY HAVE BEEN CAUSED BY ANY CHANGE IN THE COURSE OF THE WEYMOUTH BACK RIVER, BY ACCRETION, EROSION, ALLUVION, OR COMBINATION THEREOF, WHETHER OCCURRING NATURALLY OR BY ARTIFICIAL MEANS; - BACK RIVER COVE SHOWN HEREON; AFFECTS SUBJECT PROPERTY.

SEE SHEET 1 OF 2 FOR NOTES & REFERENCES
SEE SHEET 1 OF 2 FOR BOUNDARY, SITE FEATURES & TOPOGRAPHY

THIS SURVEY IS CERTIFIED TO:
425 LINCOLN STREET, LLC
VIKING DEVELOPMENT, LLC
FIRST AMERICAN TITLE INSURANCE COMPANY
K&L GATES LLP

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 7(b)(1), 8, 9, 11(b), 13, 14, 16, 17 & 19 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON MARCH 3, 2025.

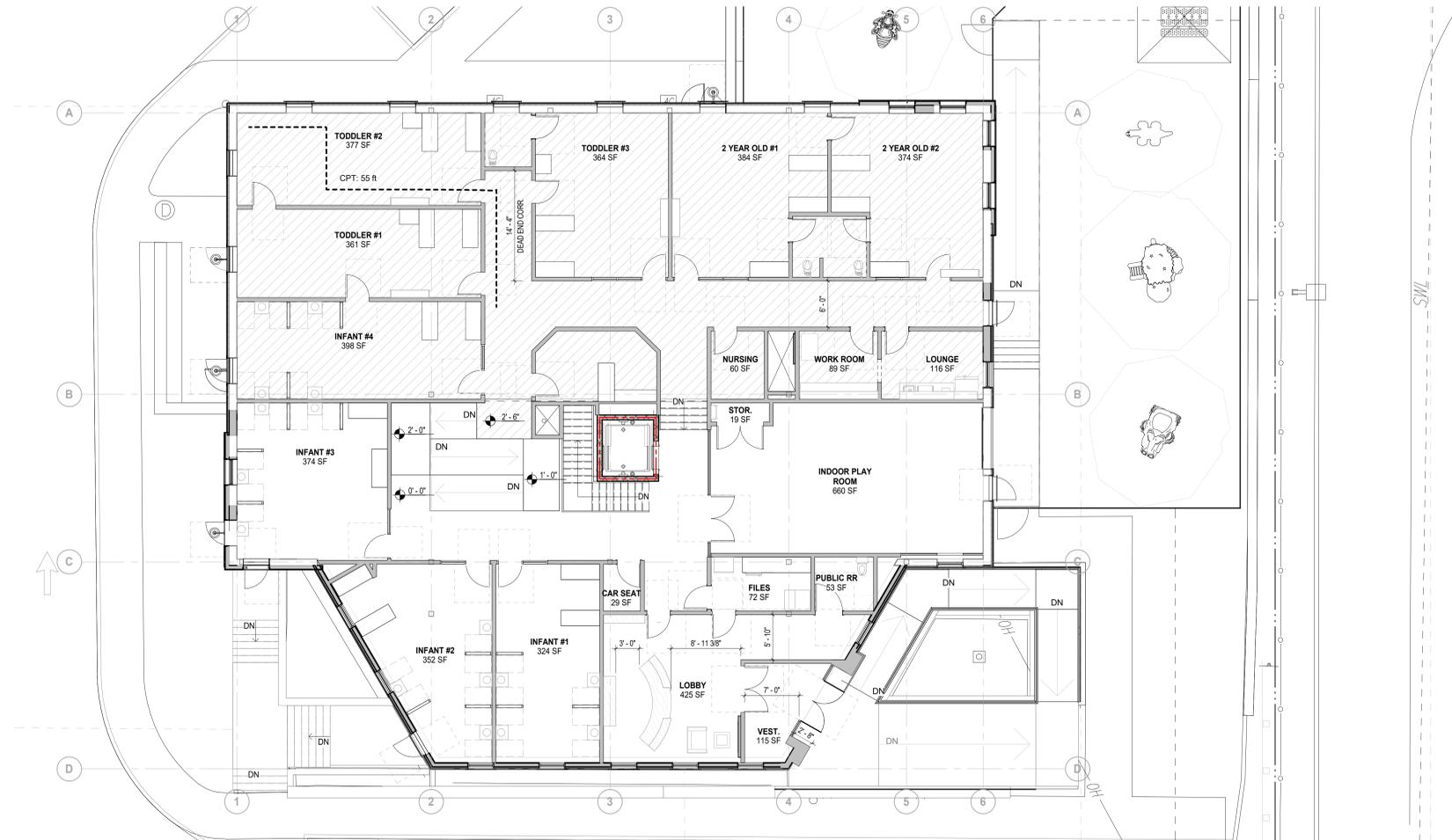


GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

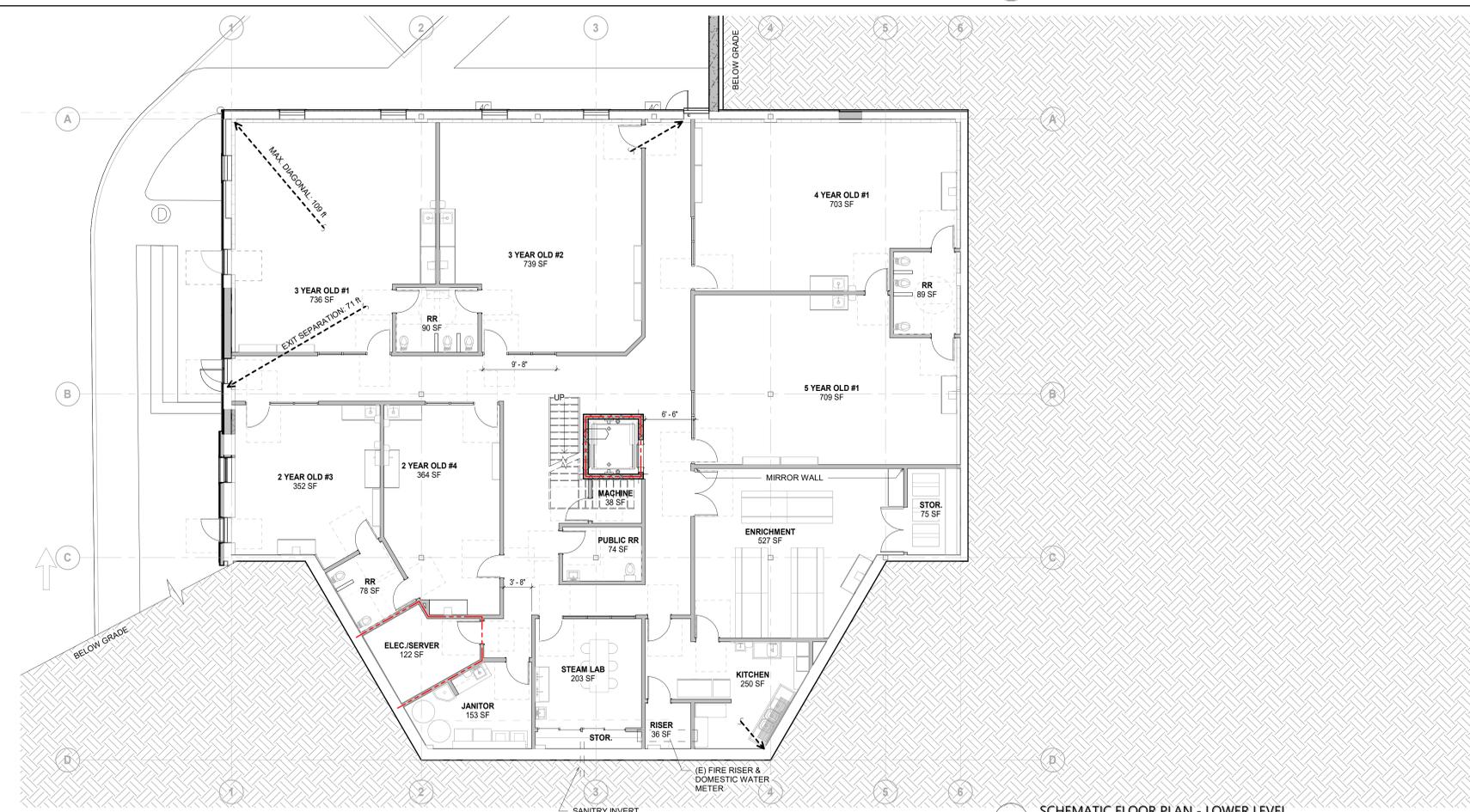
Table with 5 columns: No., Description of Revision, Field Crew, Drawn, Approved, Date. Row 1: 2, REVISED PER CLIENT COMMENTS & FIELD VISIT, J.S.A., R.J.K., G.L.H., 3-12-2025. Row 2: 1, REVISED PER CLIENT COMMENTS & ADDITIONAL FIELD LOCATIONS, J.S.A., R.J.K., G.L.H., 1-7-2025.

ALTA/NSPS LAND TITLE SURVEY
VIKING DEVELOPMENT, LLC
425 LINCOLN STREET
LOT 1, MAP 46 & LOT 66, MAP 35
TOWN OF HINGHAM, PLYMOUTH COUNTY
COMMONWEALTH OF MASSACHUSETTS
CONTROL POINT ASSOCIATES, INC.
352 TURNBERRY ROAD
SOUTHBOROUGH, MA 01772
GERRY L. HOLDRIGHT, PLS
REGISTERED PROFESSIONAL LAND SURVEYOR
NO. 45211
3-12-2025 DATE
REVISIONS: R.J.K., G.L.H., DATE 11-14-2024, SCALE 1"=20', FILE NO. 03-130228-03, DWG. NO. 2 OF 2

CONTROL POINT ASSOCIATES, INC. ALL RIGHTS RESERVED. ORIGINAL PROJECT OR REVISIONS OF THIS SURVEY ARE THE PROPERTY OF CONTROL POINT ASSOCIATES, INC. AND WILL BE FURNISHED TO YOU WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC. IS PROHIBITED.

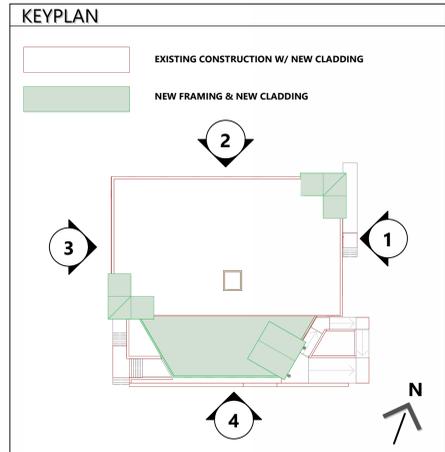


2 SCHEMATIC FLOOR PLAN - UPPER LEVEL
SCALE: 1/8" = 1'-0"

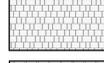


1 SCHEMATIC FLOOR PLAN - LOWER LEVEL
SCALE: 1/8" = 1'-0"

CONSTRUCTION ASSEMBLIES		LEGEND																																																																																																																																											
<p>RA-01 ROOF ASSEMBLY RA-01 1 1/2" = 1'-0"</p>	<p>SHADING INDICATES ELEVATED FLOOR @ +2'-6"</p> <p>--- 2 HOUR RATED FIRE PARTITION</p> <p>--- 1 HOUR RATED FIRE PARTITION</p>	PROPOSED ENROLLMENT CAPACITY																																																																																																																																											
		<p>RA-02 (N) GABLE ROOF ASSEMBLY RA-02 1 1/2" = 1'-0"</p>	<table border="1"> <thead> <tr> <th>NAME</th> <th>AREA</th> <th>FACTOR</th> <th>CALC</th> <th>ALLOWED</th> <th>ACTUAL</th> <th>ADD'L SF</th> </tr> </thead> <tbody> <tr> <td colspan="7">UPPER LEVEL 1.5</td> </tr> <tr> <td>INFANT #4</td> <td>398 SF</td> <td>35 SF</td> <td>11.4</td> <td>7</td> <td>7</td> <td>153 SF</td> </tr> <tr> <td>TODDLER #1</td> <td>361 SF</td> <td>35 SF</td> <td>10.3</td> <td>9</td> <td>9</td> <td>46 SF</td> </tr> <tr> <td>TODDLER #2</td> <td>377 SF</td> <td>35 SF</td> <td>10.8</td> <td>9</td> <td>9</td> <td>62 SF</td> </tr> <tr> <td>TODDLER #3</td> <td>364 SF</td> <td>35 SF</td> <td>10.4</td> <td>9</td> <td>9</td> <td>49 SF</td> </tr> <tr> <td>2 YEAR OLD #1</td> <td>384 SF</td> <td>35 SF</td> <td>11.0</td> <td>9</td> <td>9</td> <td>69 SF</td> </tr> <tr> <td>2 YEAR OLD #2</td> <td>374 SF</td> <td>35 SF</td> <td>10.7</td> <td>9</td> <td>9</td> <td>59 SF</td> </tr> <tr> <td colspan="7">UPPER LEVEL 1.0</td> </tr> <tr> <td>INFANT #1</td> <td>324 SF</td> <td>35 SF</td> <td>9.3</td> <td>7</td> <td>7</td> <td>79 SF</td> </tr> <tr> <td>INFANT #2</td> <td>352 SF</td> <td>35 SF</td> <td>10.0</td> <td>7</td> <td>7</td> <td>107 SF</td> </tr> <tr> <td>INFANT #3</td> <td>374 SF</td> <td>35 SF</td> <td>10.7</td> <td>7</td> <td>7</td> <td>129 SF</td> </tr> <tr> <td colspan="7">LOWER LEVEL 0.0</td> </tr> <tr> <td>2 YEAR OLD #3</td> <td>352 SF</td> <td>35 SF</td> <td>10.0</td> <td>9</td> <td>9</td> <td>37 SF</td> </tr> <tr> <td>2 YEAR OLD #4</td> <td>364 SF</td> <td>35 SF</td> <td>10.4</td> <td>9</td> <td>9</td> <td>49 SF</td> </tr> <tr> <td>3 YEAR OLD #1</td> <td>736 SF</td> <td>35 SF</td> <td>21.0</td> <td>20</td> <td>20</td> <td>36 SF</td> </tr> <tr> <td>3 YEAR OLD #2</td> <td>736 SF</td> <td>35 SF</td> <td>21.1</td> <td>20</td> <td>20</td> <td>39 SF</td> </tr> <tr> <td>4 YEAR OLD #1</td> <td>703 SF</td> <td>35 SF</td> <td>20.1</td> <td>20</td> <td>20</td> <td>3 SF</td> </tr> <tr> <td>5 YEAR OLD #1</td> <td>709 SF</td> <td>35 SF</td> <td>20.3</td> <td>20</td> <td>20</td> <td>9 SF</td> </tr> <tr> <td>PROPOSED ENROLLMENT</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td>171</td> </tr> </tbody> </table>	NAME	AREA	FACTOR	CALC	ALLOWED	ACTUAL	ADD'L SF	UPPER LEVEL 1.5							INFANT #4	398 SF	35 SF	11.4	7	7	153 SF	TODDLER #1	361 SF	35 SF	10.3	9	9	46 SF	TODDLER #2	377 SF	35 SF	10.8	9	9	62 SF	TODDLER #3	364 SF	35 SF	10.4	9	9	49 SF	2 YEAR OLD #1	384 SF	35 SF	11.0	9	9	69 SF	2 YEAR OLD #2	374 SF	35 SF	10.7	9	9	59 SF	UPPER LEVEL 1.0							INFANT #1	324 SF	35 SF	9.3	7	7	79 SF	INFANT #2	352 SF	35 SF	10.0	7	7	107 SF	INFANT #3	374 SF	35 SF	10.7	7	7	129 SF	LOWER LEVEL 0.0							2 YEAR OLD #3	352 SF	35 SF	10.0	9	9	37 SF	2 YEAR OLD #4	364 SF	35 SF	10.4	9	9	49 SF	3 YEAR OLD #1	736 SF	35 SF	21.0	20	20	36 SF	3 YEAR OLD #2	736 SF	35 SF	21.1	20	20	39 SF	4 YEAR OLD #1	703 SF	35 SF	20.1	20	20	3 SF	5 YEAR OLD #1	709 SF	35 SF	20.3	20	20	9 SF	PROPOSED ENROLLMENT				
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<p>E-01 TYP. EXTERIOR WALL 1 1/2" = 1'-0"</p>	<p>(N) MECHANICALLY FASTENED WHITE 60 MIL TPO ROOF MEMBRANE</p> <p>(N) RIGID INSULATION (MIN. R-30)</p> <p>(N) METAL DECK</p>	<p>ASPHALT SHINGLE</p> <p>MECHANICALLY FASTENED MEMBRANE</p> <p>5/8" PLYWOOD</p> <p>6" LIGHT GAUGE TRUSS FRAMING, SEE STRUCTURAL</p>	<p>(N) FIBER-CEMENT SIDING FASTENED TO ZEE-FURRING, REFER TO ELEVATIONS</p> <p>(N) 2" POLYISO RIGID INSULATION (R-10) BETWEEN (N) 2" MTL ZEE-FURRING FASTENED TO SHEATHING</p> <p>(N) VAPOR BARRIER OVER (N) 5/8" PLYWOOD SHEATHING</p> <p>(E) STEEL PAMB STRUCTURE (BEYOND)</p> <p>INFILL W/ (N) (R-19) BATT INSULATION</p>																																																																																																																																										
				<p>FA-2 FLOOR ASSEMBLY FA-2 1 1/2" = 1'-0"</p>	<p>(E) CONCRETE FLOOR & METAL DECK</p> <p>(E) STEEL JOISTS</p>	<p>COMPACTED SUBGRADE</p> <p>(N) VAPOR BARRIER</p> <p>(N) 4" CONCRETE SLAB: REFER TO STRUC SHEETS</p>																																																																																																																																							
<p>FA-1 FLOOR ASSEMBLY FA-1 1 1/2" = 1'-0"</p>	<p>(E) FIRE RISER & DOMESTIC WATER METER</p>	<p>(E) FIRE RISER & DOMESTIC WATER METER</p>																																																																																																																																											



MATERIAL LEGEND

-  ASPHALT SHINGLE ROOF
MANUFACTURER: TBD
COLOR: CHARCOAL
-  FIBER CEMENT SHINGLE SIDING
MANUFACTURER: JAMES HARDIE
COLOR: ARCTIC WHITE
TEXTURE: SELECT CEDARMILL
-  FIBER CEMENT BOARD & BATTEN SIDING
MANUFACTURER: JAMES HARDIE
COLOR: ARCTIC WHITE
TEXTURE: SMOOTH
-  FIBER CEMENT LAP SIDING
MANUFACTURER: JAMES HARDIE
COLOR: LIGHT MIST
TEXTURE: SELECT CEDARMILL
-  FIBER CEMENT LAP SIDING
MANUFACTURER: JAMES HARDIE
COLOR: ARCTIC WHITE
TEXTURE: SELECT CEDARMILL
-  FIBER CEMENT TRIM BOARDS
MANUFACTURER: JAMES HARDIE
COLOR: ARCTIC WHITE
TEXTURE: SMOOTH
-  WINDOW HEADER TRIM
MANUFACTURER: JAMES HARDIE
COLOR: KHAKI BROWN
TEXTURE: SELECT CEDARMILL
-  FAUX BRICK WATER TABLE
MANUFACTURER: NICHHA
COLOR: MODERNBRICK - MIDNIGHT



4 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"