

LOCUS MAP
(NOT TO SCALE)

OWNER:
 FIFTY-FIVE SAXON HINGHAM LLC
 C/O SAXON PARTNERS
 25 RECREATION PARK DRIVE
 HINGHAM, MA
 (781) 875-3300

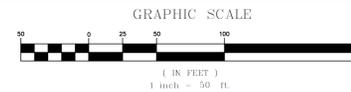
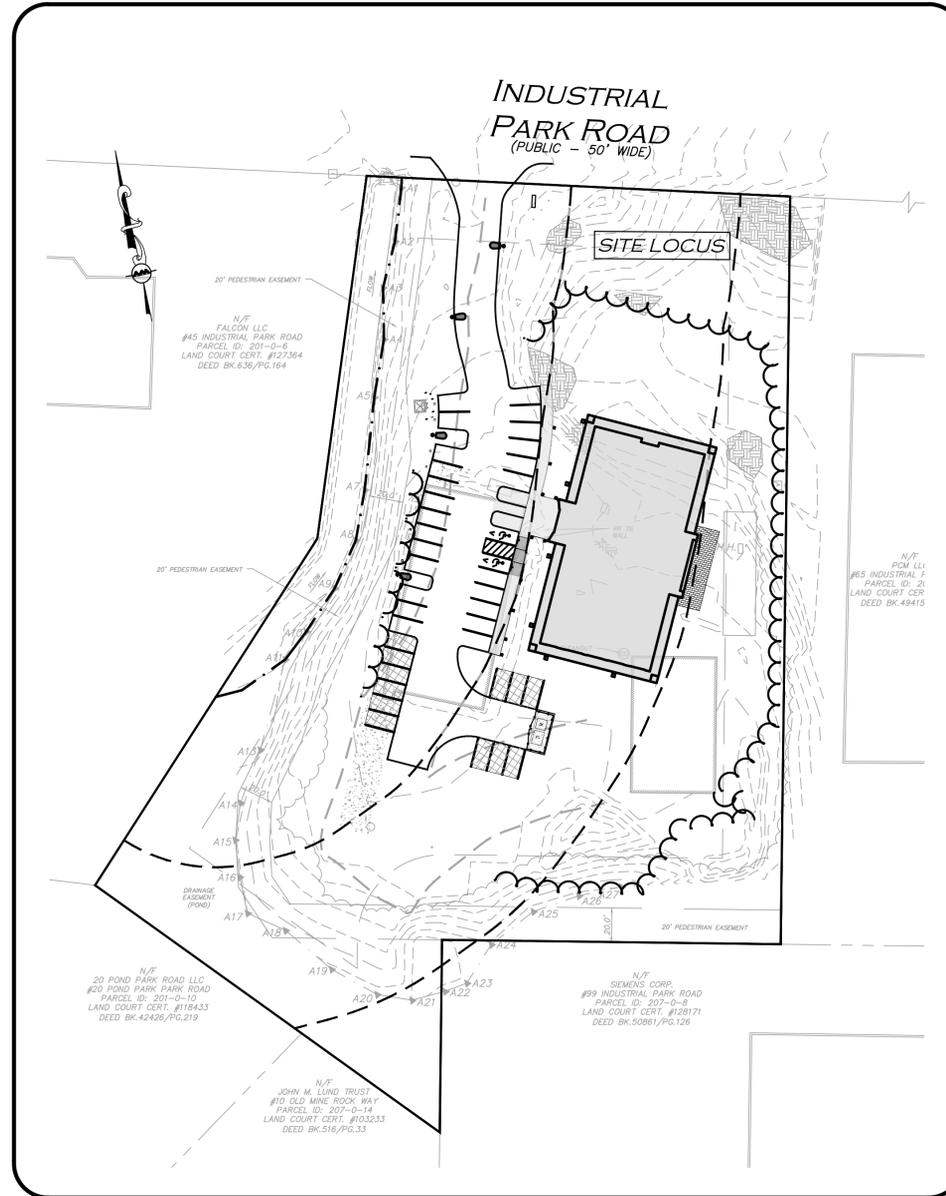
CIVIL ENGINEER & LAND SURVEYOR
 ALLEN & MAJOR ASSOCIATES, INC.
 10 MAIN STREET
 LAKEVILLE, MA 02347
 (508) 923-1010

ARCHITECT:
 PHASE ZERO DESIGN
 35 POND PARK RD. BAY 16
 HINGHAM, MA 02043
 (781) 452-7121

LANDSCAPE ARCHITECT
 SEAN PAPICH
 222 NORTH STREET
 HINGHAM, MA 02043
 (781) 741-5455

WETLAND CONSULTANT:
 ENVIRONMENTAL CONSULTING & RESTORATION, LLC
 PO BOX 4012
 PLYMOUTH, MA 02361
 (617) 529-3792

PROPOSED OFFICE BUILDING 55 INDUSTRIAL PARK ROAD HINGHAM, MA



LIST OF DRAWINGS

| DRAWING TITLE | SHEET NO. | ISSUED | LAST REVISED |
|--------------------------|---------------|------------|--------------|
| EXISTING CONDITIONS PLAN | V-101 | 10-17-2024 | 12-23-2024 |
| ABBREVIATIONS AND NOTES | C-001 - C-002 | 10-17-2024 | 06-10-2025 |
| EROSION CONTROL PLAN | C-101 | 10-17-2024 | 06-10-2025 |
| SITE PREPARATION | C-102 | 10-17-2024 | 06-10-2025 |
| LAYOUT & MATERIALS PLAN | C-103 | 10-17-2024 | 06-10-2025 |
| GRADING & DRAINAGE PLAN | C-104 | 10-17-2024 | 06-10-2025 |
| UTILITIES PLAN | C-105 | 10-17-2024 | 06-10-2025 |
| FIRE TRUCK TURNING | C-106 | 10-17-2024 | 06-10-2025 |
| LIGHTING PLAN | C-107 | 12-23-2024 | 06-10-2025 |
| DETAILS | C-501 - C-505 | 10-17-2024 | 06-10-2025 |

REQUESTED WAIVER LIST

THE FOLLOWING WAIVERS ARE REQUESTED FROM THE TOWN OF HINGHAM ZONING BYLAWS:

1. TO ALLOW REUSE OF THE EXISTING DRIVEWAY CURB CUT WHICH EXCEEDS 24 FEET IN WIDTH AS THE STANDARD APPLIED TO NEW SITE DEVELOPMENTS.
2. FROM SECTION V-A 5. C TO PROVIDE A DEDICATED LOADING SPACE. A LOADING SPACE IS NOT REQUIRED FOR THIS USE BASED ON SITE OPERATIONS. ADEQUATE TEMPORARY PARKING AREA(S) ARE PROVIDED ON THE PLANS FOR STAGING AND UNLOADING OF LARGER VEHICLES ON AN AS NEEDED BASIS.
3. FROM THE REQUIREMENT TO PREPARE A TRAFFIC AN IMPACT ASSESSMENT STUDY FOR AN ALLOWED USE ON THE PUBLIC ROADWAY WHERE TRAFFIC IMPACTS ARE DE MINIMUS FROM CURRENT USE AS AN OFFICE/MANUFACTURING LOCATION.

DIG SAFE



BEFORE YOU DIG
 CALL 811 OR
 1-888-DIG-SAFE
 1-888-344-7233

PREPARED BY:

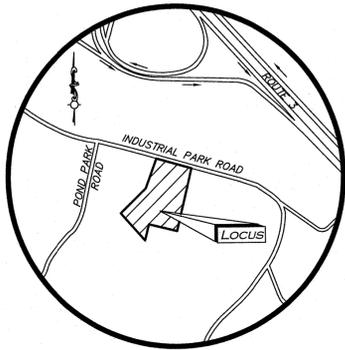


ALLEN & MAJOR ASSOCIATES, INC.
 civil engineering • land surveying
 environmental consulting • landscape architecture
 www.allenmajor.com

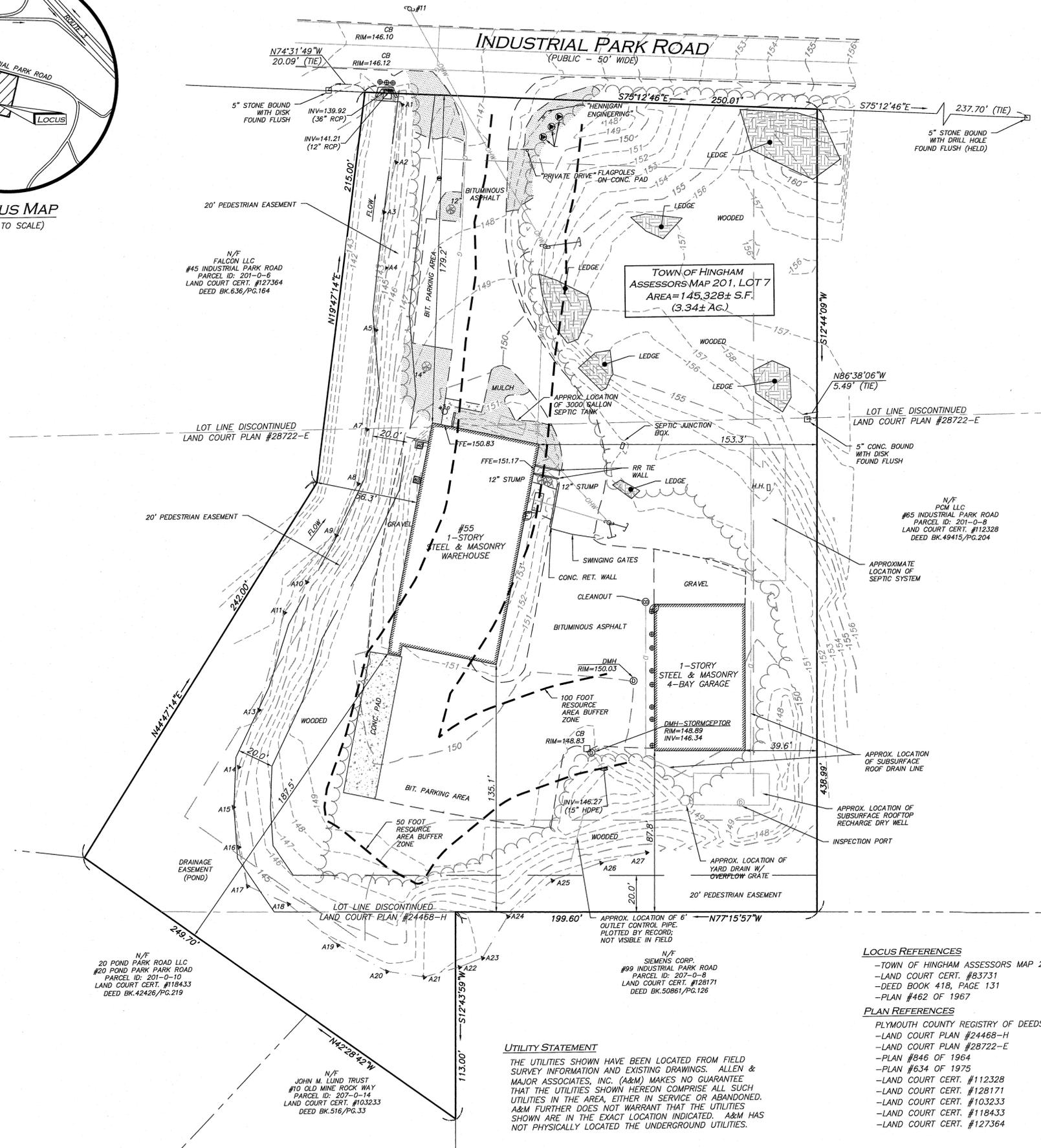
10 MAIN STREET
 LAKEVILLE, MA 02347-1674
 TEL: (508) 923-1010
 FAX: (508) 923-6309

WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

ISSUED FOR PERMIT MODIFICATION:
 REVISION 4 - JUNE 10, 2025



LOCUS MAP
(NOT TO SCALE)



LEGEND

- STONE BOUND (SB) □
- DRAIN MANHOLE (DMH) ⊙
- CATCH BASIN (CB) □
- UTILITY POLE ⊕
- GUY WIRE ⊕
- WATER GATE ⊕
- BOLLARD ⊕
- INVERT (INV) ⊕
- TREE ⊕
- SIGN ⊕
- TRANSFORMER ⊕
- MONITOR WELL ⊕
- WETLAND FLAG ⊕
- HAND HOLE ⊕
- AIR CONDITIONER ⊕
- FLAG POLE ⊕
- GAS METER ⊕
- ELECTRIC METER ⊕
- SPOT GRADE ×110.6
- CONCRETE [Pattern]
- LANDSCAPED AREA (LSA) [Pattern]
- LEDGE [Pattern]
- BUILDING [Pattern]
- WETLAND [Pattern]
- BUFFER ZONE [Pattern]
- EASEMENT LINE [Pattern]
- 1' CONTOUR [Pattern]
- 5' CONTOUR [Pattern]
- PROPERTY LINE [Pattern]
- ABUTTERS LINE [Pattern]
- CONCRETE RETAINING WALL [Pattern]
- TREE LINE [Pattern]
- EDGE OF PAVEMENT [Pattern]
- EDGE OF GRAVEL [Pattern]
- WATER LINE [Pattern]
- SEWER LINE [Pattern]
- DRAIN LINE [Pattern]
- GAS LINE [Pattern]
- OVERHEAD WIRES [Pattern]
- FINISHED FLOOR ELEVATION FFE
- BUILDING HEIGHT BH
- BITUMINOUS BIT.
- CONCRETE CONC.
- STONE BOUND W/DRILL HOLE SB/DH
- CONC. BOUND W/DRILL HOLE CB/DH
- FOUND FND
- NOW OR FORMERLY N/F
- BOOK BK.
- PAGE PG.
- PLAN BOOK PB.
- PLAN PL.

NOTES

- NORTH ARROW IS BASED ON MASSACHUSETTS GRID COORDINATE SYSTEM (MAINLAND ZONE) (NAD 83).
- BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM PLYMOUTH COUNTY REGISTRY OF DEEDS IN PLYMOUTH, MA.
- VERTICAL DATUM IS NAVD 88 ESTABLISHED USING RTK GPS OBSERVATION.
- CONTOUR INTERVAL IS ONE FOOT (1').
- THERE WERE NO STRIPED PARKING SPACES ON SITE AT THE TIME OF SURVEY.
- THE WETLAND FLAGS SHOWN HEREON WERE DELINEATED IN THE FIELD BY BRAD HOLMES OF ENVIRONMENTAL CONSULTING & RESTORATION, LLC ON OR ABOUT JANUARY 4, 2024.
- DRAINAGE AND SEPTIC LOCATIONS DERIVED FROM PLAN DONE BY MERRILL ASSOCIATES, INC. LABELED "SITE PLAN - #55 INDUSTRIAL PARK ROAD, ASSESSORS MAP 201 LOT 7, HINGHAM, MA 02043, JUNE 4, 2013"

LOCUS REFERENCES

- TOWN OF HINGHAM ASSESSORS MAP 201, LOT 7
- LAND COURT CERT. #83731
- DEED BOOK 418, PAGE 131
- PLAN #462 OF 1967

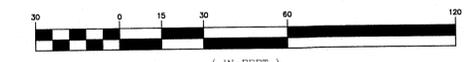
PLAN REFERENCES

- PLYMOUTH COUNTY REGISTRY OF DEEDS
- LAND COURT PLAN #24468-H
- LAND COURT PLAN #28722-E
- PLAN #846 OF 1964
- PLAN #634 OF 1975
- LAND COURT CERT. #112328
- LAND COURT CERT. #128171
- LAND COURT CERT. #103233
- LAND COURT CERT. #118433
- LAND COURT CERT. #127364

UTILITY STATEMENT

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. ALLEN & MAJOR ASSOCIATES, INC. (A&M) MAKES NO GUARANTEE THAT THE UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. A&M FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. A&M HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

GRAPHIC SCALE



N:\PROJECTS\1179-20\SURVEY\DRAWINGS\CURRENT\5-1179-20-EC.DWG

WE HEREBY CERTIFY THAT:

THIS PLAN IS THE RESULT OF AN ACTUAL ON THE GROUND SURVEY PERFORMED ON OR BETWEEN MAY 3, 2024 AND MAY 10, 2024. OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO CURRENT CITY OF WORCESTER ASSESSOR'S INFORMATION. THE ABOVE IS CERTIFIED TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF.

ALLEN & MAJOR ASSOCIATES, INC.



PROFESSIONAL LAND SURVEYOR FOR ALLEN & MAJOR ASSOCIATES, INC.

| REV | DATE | DESCRIPTION |
|-----|------------|--------------------|
| 1 | 12-23-2024 | REMOVED FLOOD ZONE |

APPLICANT/OWNER:
FIFTY-FIVE SAXON LLC
C/O SAXON PARTNERS, LLC
25 RECREATION PARK DRIVE
HINGHAM, MA 02043

PROJECT:
#55 INDUSTRIAL PARK ROAD
HINGHAM, MA 02043

| | | | |
|-------------|-----------|-------------|--------------|
| PROJECT NO. | S-1179-20 | DATE: | 10/17/24 |
| SCALE: | 1" = 30' | DWG. NAME: | S-1179-20-EC |
| DRAFTED BY: | CTP | CHECKED BY: | AJR |

PREPARED BY:



ALLEN & MAJOR ASSOCIATES, INC.

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environmental consulting • landscape architecture
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WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

THIS DRAWING HAS BEEN PREPARED IN DIGITAL FORMAT. CLIENTS REPRESENTATIVE OR CONSULTANTS MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS FOR HIS/HER INFORMATION AND/OR SPECIFIC USE ON THIS PROJECT. DUE TO THE POTENTIAL THAT THE PROVIDED INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENTS AUTHORSHIP ON THE DIGITAL MEDIA. PRINTED REPRESENTATIONS OR PORTABLE DOCUMENT FORMAT OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.

DRAWING TITLE: **EXISTING CONDITIONS** SHEET No. **V-101**

NOTES

GENERAL NOTES:

- TOPOGRAPHIC INFORMATION AND EXISTING SITE FEATURES WERE OBTAINED FROM AN ACTUAL FIELD SURVEY PERFORMED BY ALLEN & MAJOR ASSOCIATES, INC. 100 COMMERCIAL WAY, WOBURN, MASSACHUSETTS.
- ZONING DISTRICT IS INDUSTRIAL PARK DISTRICT WITH SOUTH HINGHAM DEVELOPMENT OVERLAY DISTRICT.
- OVERALL LOT SIZE: 3.34± ACRES
- DURING CONSTRUCTION, ALL VEHICLES MUST BE PARKED ON SITE.
- DURING CONSTRUCTION, ALL STAGING AND DELIVERIES WILL OCCUR ON SITE.
- THIS PROJECT WILL BE SERVED BY PUBLIC WATER AND SEWER AND PRIVATE, NATURAL GAS, TELEPHONE, CABLE AND ELECTRIC. ALL UTILITY LINES WILL BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS AT NO ADDITIONAL COST.
- ALL PROPOSED MAIN BUILDING ENTRANCES AND WALKS SHALL BE HANDICAP ACCESSIBLE PER FEDERAL ADA & MA AB REGULATIONS.
- ALL SITE WORK DONE FOR THIS PROJECT SHALL BE IN STRICT ACCORDANCE WITH THE SITE PLANS AND SITE WORK SPECIFICATIONS FOR CONSTRUCTION.
- ANY DAMAGE TO PRIVATE OR PUBLIC PROPERTIES DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
- ALL PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED AND RESTORED BY A SURVEYOR REGISTERED IN THE STATE OF MASSACHUSETTS AT THE CONTRACTOR'S EXPENSE.
- ALL APPLICABLE PERMITS AND AN APPROVED SET OF PLANS SHALL BE AVAILABLE AT THE CONSTRUCTION SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION MEETING WITH THE WITH THE APPROPRIATE CITY DEPARTMENTS, THE APPROPRIATE UTILITY COMPANIES, THE OWNER AND OWNER'S REPRESENTATIVE. THE MEETING SHALL TAKE PLACE PRIOR TO THE START OF CONSTRUCTION AND THE CONTRACTOR MUST PROVIDE 48 HOURS NOTICE TO ALL ATTENDEES PRIOR TO THE START OF THE MEETING.
- APPROPRIATE WARNING SIGNS, MARKERS, BARRICADES AND/OR FLAG MEN SHALL BE PROVIDED TO REGULATE TRAFFIC. CONSTRUCTION TRAFFIC CONTROLS SHALL BE IMPLEMENTED AND OPERATED ACCORDING TO THE MASS DEPARTMENT OF TRANSPORTATION, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE LOCAL AUTHORITY.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ADDITIONAL BENCHMARK INFORMATION IF REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING BENCHMARKS. IF IT IS NECESSARY TO RELOCATE A BENCHMARK, IT SHALL BE RELOCATED BY A MASSACHUSETTS PROFESSIONAL LAND SURVEYOR AND DONE SO AT THE CONTRACTOR'S EXPENSE.
- ALL BUILDING DIMENSIONS ARE MEASURED TO THE OUTSIDE FACE OF THE BUILDING.
- ALL RADII ARE 3 FEET UNLESS OTHERWISE NOTED.
- ALL PARKING LOT AND AISLE DIMENSIONS ARE TAKEN FROM THE FACE OF CURB AND INDICATE EDGE OF PAVEMENT.
- CONSTRUCTION DURING WET WEATHER OR WINTER CONDITIONS IS TO BE ANTICIPATED AND PROVISIONS TO ADEQUATELY ADDRESS THESE CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO ADDITIONAL COST.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION FEES REQUIRED TO CARRY OUT THE WORK INCLUDING BUT NOT LIMITED TO DEMOLITION.
- DISPOSAL OF ALL DEMOLISHED MATERIALS INCLUDING EXISTING MISC. CONSTRUCTION DEBRIS IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL MUNICIPAL REQUIREMENTS AT NO ADDITIONAL COST.
- ALL DISTURBED AREAS NOT NOTED TO RECEIVE OTHER TREATMENT ARE TO RECEIVE SIX INCHES (6") MINIMUM OF TOPSOIL & SEED, AND BE MAINTAINED UNTIL ESTABLISHED & ACCEPTED.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE PROTECTED, ABANDONED, REMOVED OR RELOCATED AS NECESSARY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH THE LOCAL MUNICIPALITY'S GOVERNING AUTHORITY'S SPECIFICATIONS AND SHALL BE APPROVED BY SAME.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AND DISCONNECTION AT EXISTING UTILITY.
- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARKS SHOWN ON THE EXISTING CONDITIONS SITE PLAN AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND BREAKING.
- CONTRACTOR IS RESPONSIBLE FOR DIGGING TEST HOLES AND VERIFYING ANY EXISTING UTILITY OR STRUCTURE PRIOR TO CONSTRUCTION. CONTRACTOR SHALL VERIFY THAT BASED ON EXACT LOCATION OF EXISTING UTILITIES, THERE ARE NO CONFLICTS BETWEEN THE EXISTING AND THE PROPOSED UTILITIES/DRAINAGE STRUCTURES.

- THE CONTRACTOR SHALL ADHERE TO ALL PERMIT CONDITIONS PROVIDED BY ALL GOVERNING AGENCIES AT NO ADDITIONAL COSTS. THIS INCLUDES BUT IS NOT LIMITED TO BUILDING PERMITS, DEMOLITION PERMITS, PLUMBING, GAS, AND ELECTRICAL PERMITS. PERMITS FROM THE PLANNING BOARD OR CITY COUNCIL.
- DURING EXCAVATION, ANY EXISTING EARTH CUT MATERIALS THAT DO NOT MEET THE "ORDINARY FILL" SPECIFICATIONS OR "LOAM" SPECIFICATIONS AND CANNOT BE REUSED SHALL BE REMOVED OFF-SITE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNERS. MATERIAL WHICH DOES NOT MEET THE SPECIFICATION INCLUDES ALL BOULDERS, ROCKS, CONSTRUCTION DEBRIS, AND MISC. MATERIAL. PRIOR TO REUSE, CONTRACTOR TO PROVIDE TESTING REPORT OF SIEVE ANALYSIS TO ENGINEER FOR APPROVAL. CONTRACTOR CAN AMEND MATERIALS AND CONTINUE TO RETEST AS NECESSARY AT NO ADDITIONAL COST TO OWNER. AFTER AMENDING, IF MATERIAL STILL DOES NOT MEET THE SPECIFICATIONS, IT IS TO BE REMOVED FROM SITE AT NO ADDITIONAL COST TO THE OWNER AND IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
- ANY PROPOSED SIGNAGE SHALL BE APPROVED BY SEPARATE APPLICATION TO THE APPROPRIATE MUNICIPAL AUTHORITY INCLUDING BUT NOT LIMITED TO THE ZONING BOARD OF APPEALS AND CITY COUNCIL. ALL PROPOSED SIGNAGE MUST MEET THE REQUIREMENTS OF THE LOCAL ZONING CODE.

GRADING & DRAINAGE NOTES:

- EXISTING PAVEMENT SHALL BE SAW-CUT AND PAVEMENT JOINT SHALL BE INSTALLED WHERE NECESSARY TO ENSURE A SMOOTH CONTINUOUS GRADE.
- PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MINIMUM OF 1/8" PER FOOT UNLESS OTHERWISE SPECIFIED. ANY DISCREPANCIES NOT ALLOWING THIS MINIMUM PITCH SHALL BE REPORTED TO THE ENGINEER PRIOR TO CONTINUING WORK.
- ALL GRADING OPERATIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANIES.
- IN LANDSCAPED AREAS THE TOP ELEVATION OF MANHOLES SHALL MATCH THE FINISH GRADE OF THE TOPSOIL. IN PAVED AREAS THE TOP ELEVATIONS OF MANHOLES SHALL MATCH FINISH GRADE.
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED AS SOON AS POSSIBLE UPON COMPLETION OF CONSTRUCTION WORK IN THE AREA.
- TEMPORARY TUBULAR BARRIER PROTECTION AND/OR SILT SACKS SHALL BE INSTALLED AND MAINTAINED AT EXISTING DRAINAGE STRUCTURES DURING CONSTRUCTION, TO PREVENT SEDIMENT LADEN RUNOFF FROM ENTERING THE DRAINAGE SYSTEM.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE PER DEMOLITION PLAN.
- ALL CATCH BASINS, MANHOLES, INFILTRATION SYSTEMS, AND WATER QUALITY STRUCTURES ARE TO BE CLEANED TO REMOVE ALL CONSTRUCTION SILT AND DEBRIS PRIOR TO FINAL APPROVAL.
- IF ANY EXISTING UTILITY STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER AT NO ADDITIONAL COST.
- ALL STORM PIPES ENTERING STRUCTURES SHALL BE GROUTED TO ENSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- ALL STORM DRAIN MANHOLES SHALL HAVE TRAFFIC BEARING RING & COVERS & SHALL BE LABELED "DRAIN".
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES STEEPER THAN 3H:1V.
- ALL DRAINAGE SYSTEM COMPONENTS SHALL CONFORM TO LOCAL REQUIREMENTS.

UTILITY NOTES:

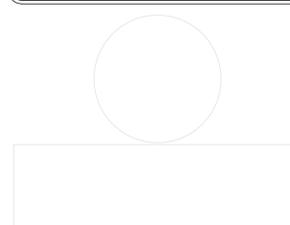
- THE LATEST STANDARDS OF THE LOCAL MUNICIPALITY SHALL BE FOLLOWED WHEN INSTALLING ANY STORM DRAIN WORK. STORM DRAIN WORK WILL BE INSPECTED BY THE LOCAL GOVERNING AUTHORITY PERSONNEL AND ALL COSTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION.
- ABANDONED EXISTING UTILITIES AND UTILITIES TO BE ABANDONED SHALL EITHER BE ABANDONED IN PLACE AS NOTED OR SHALL BE REMOVED AND DISPOSED OF AS SPECIFIED. ALL UTILITIES SCHEDULED FOR ABANDONMENT OR REMOVAL AND DISPOSAL MUST BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE UTILITY OWNER. WHEN ABANDONED UTILITIES ARE TO BE LEFT IN PLACE, PLUG OR CAP THE ENDS OF THE CONDUITS AND PIPES. REMOVE ABANDONED UTILITY MANHOLES, JUNCTION BOXES AND SIMILAR STRUCTURES TO A MINIMUM DEPTH OF 4 FEET BELOW FINISHED GRADE AND PUNCTURE OR BREAK THE BOTTOM SLABS OF MANHOLES AND SIMILAR STRUCTURE TO ALLOW DRAINAGE. BACKFILL AND COMPACT EXCAVATIONS RESULTING FROM REMOVAL OF UTILITY FACILITIES, AS REQUIRED TO RESTORE THE ORIGINAL GRADE.
- THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENTS OF NATURAL GAS, ELECTRIC, TELEPHONE AND ANY OTHER UTILITY BY THE UTILITY OWNER.
- THE CONTRACTOR SHALL USE THE FOLLOWING PIPE MATERIALS:
 - DRAIN - HDPE (HIGH DENSITY CORRUGATED POLYETHYLENE PIPE WITH SMOOTH INNER WALL), ASTM D2321 (UNLESS OTHERWISE SPECIFIED ON PLAN)
- BEFORE UTILITY WORK BEGINS, THE CONTRACTOR WILL COORDINATE WITH THE LOCAL MUNICIPALITY FOR THE APPROPRIATE PERMIT AND INSPECTION FEES.
- A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY SEWER MAINS AND/OR STORM DRAINS. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10

- FEET TO A WATER MAIN, THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN THE WATER MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.
- ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
 - CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITY'S INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
 - MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
 - CONTRACTOR SHALL MAINTAIN A MINIMUM OF 5'-0" COVER AND A MAXIMUM OF 8'-0" COVER ON ALL WATERLINES.
 - IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING, THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE BETWEEN THE PIPES. WHERE THE WATERLINE IS LESS THAN THE 18" VERTICAL CLEARANCE AND MEETING 10' HORIZONTAL CLEARANCE CANNOT BE MET, THE WATER MUST BE ENCASED IN CONCRETE.
 - ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 3000 P.S.I.
 - CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE LOCAL AUTHORITIES WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER, SEWER, GAS AND ELECTRICAL AND TELECOMMUNICATIONS LINES.
 - ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
 - DRAWINGS DO NOT NECESSARILY SHOW ALL EXISTING UTILITIES.

ABBREVIATIONS

| | | | |
|-----------|----------------------------------|---------|--------------------------------------|
| ABAN | ABANDON | L | LENGTH |
| ADJ | ADJUST | LB | LEACHING BASIN |
| | | LP | LIGHT POLE |
| B | BORING | | |
| BC | BOTTOM OF CURB | MAT | MATERIAL |
| BIT | BITUMINOUS | MAX | MAXIMUM |
| BCB | BITUMINOUS CONCRETE BERM | MH | MANHOLE |
| BLDG | BUILDING | MIN | MINIMUM |
| BM | BENCH MARK | MISC | MISCELLANEOUS |
| BOS | BOTTOM OF SLOPE | MTD | MOUNTED |
| BOW | BOTTOM OF WALL | MW | MONITORING WELL |
| BRK | BRICK | | |
| BV&B | BUTTERFLY VALVE & BOX | N | NORTH |
| BVW | BORDERING VEGETATED WETLAND | NO | NOT IN CONTRACT |
| | | NTS | NUMBER NOT TO SCALE |
| CATV | CABLE TELEVISION | | |
| CB | CATCH BASIN | OC | ON CENTER |
| CF | CUBIC FEET | OD | OUTSIDE DIAMETER |
| CFS | CUBIC FEET PER SECOND | OHW | OVERHEAD WIRE |
| CI | CAST IRON (PIPE) | OVHD | OVERHEAD |
| CL | CENTERLINE | OW | OBSERVATION WELL |
| CLDI | CEMENT LINED DUCTILE IRON (PIPE) | | |
| CM | CONSTRUCTION MANAGER | PC | POINT OF CURVATURE |
| CMP | CORRUGATED METAL PIPE | PCC | PRECAST CONCRETE CURB |
| CO | CLEAN OUT | PI | POINT OF INTERSECTION |
| CONC | CONCRETE | PKG | PARKING |
| CONC | CONSTRUCTION | PL | PROPERTY LINE |
| CONT | CONTRACTOR | PLMB | PLUMBING |
| CRD | COORDINATE | POC | POINT ON CURVATURE |
| CPP | CORRUGATED POLYETHYLENE PIPE | POT | POINT ON TANGENT |
| CUL | CULVERT | PRC | POINT OF REVERSE CURVATURE |
| CY | CUBIC YARD | PROP, P | PROPOSED POINT (OR POINT OF TANGENT) |
| | | PT | POINT (OR POINT OF TANGENT) |
| | | PVC | POLYVINYL CHLORIDE (PIPE) |
| DB | DISTRIBUTION BOX | | |
| DBL | DOUBLE | R&R | REMOVE & RESET/REPLACE |
| DEM | DEMOLISH | R&S | REMOVE & STACK |
| DET | DETENTION | RCP | REINFORCED CONCRETE PIPE |
| DI | DUCTILE IRON (PIPE) | RD | ROAD (OR ROOF DRAIN) |
| DIA | DIAMETER | RED | REDUCER |
| DIM | DIMENSION | RELOC | RELOCATE |
| DMH | DRAIN MANHOLE | REM | REMOVE |
| DW | DOMESTIC WATER (OR DRY WELL) | RET | RETAIN, RETAINING OR RETENTION |
| DWG | DRAWING | R/W | RIGHT OF WAY |
| DYCL | DOUBLE YELLOW CENTERLINE | RR | RAILROAD |
| | | RWL | RAIN WATER LEADER |
| | | RWY | ROADWAY |
| EHH | ELECTRIC HANDHOLE | | |
| EL | ELEVATION | SD | SUBDRAIN |
| ELEC | ELECTRIC | SF | SQUARE FEET |
| EMH | ELECTRIC MANHOLE | SGC | SLOPED GRANITE CURB |
| EOP | EDGE OF PAVEMENT | SMH | SEWER MANHOLE |
| EOR | EDGE OF ROAD | SP | STANDPIPE |
| EOW | EDGE OF WETLANDS | SPEC | SPECIFICATION |
| ETC | ELECTRIC, TELEPHONE, CABLE | STA | STATION |
| EXIST | EXISTING | STC | STORMCEPTOR |
| EXT | EXTERIOR | STD | STANDARD |
| | | STRTL | STRUCTURAL |
| | | SWEL | SOLID WHITE EDGE LINE |
| FA | FIRE ALARM | SW | SIDEWALK |
| FCC | FLUSH CONCRETE CURB | SWLL | SOLID WHITE LANE LINE |
| FES | FLARED END SECTION | SYCL | SOLID YELLOW CENTERLINE |
| FFE | FINISH FLOOR ELEVATION | | |
| FLNP | FIRE LANE NO PARKING | TB | TEST BORING |
| FPS | FEET PER SECOND | TC | TOP OF CURB |
| FS | FIRE SERVICE | TD | TRENCH DRAIN |
| FT | FOOT/FEET | TEL | TELEPHONE |
| | | TMH | TELEPHONE MANHOLE |
| GC | GENERAL CONTRACTOR | TOS | TOP OF SLOPE |
| GEN | GENERAL | TOW | TOP OF WALL |
| GG | GAS GATE | TP | TEST PIT |
| GR | GUIDE RAIL | TS&V | TAPPING SLEEVE & VALVE |
| GRAN | GRANITE | TYP | TYPICAL |
| GV | GATE VALVE | UD | UNDERDRAIN |
| GV&B | GATE VALVE & BOX | UL | UNDERWRITERS LABORATORY |
| GW | GROUND WATER | UP | UTILITY POLE |
| HCR | HANDICAP RAMP | VCP | VITRIFIED CLAY PIPE |
| HOR | HORIZONTAL | VERT | VERTICAL |
| HT | HEIGHT | VGC | VERTICAL GRANITE CURB |
| HW | HEADWALL | | |
| HWY | HIGHWAY | WD | WOOD |
| HYD | HYDRANT | WG | WATER GATE |
| | | WM | WATER MAIN |
| | | WMH | WATER MANHOLE |
| | | WSH | WATER SHUTOFF |
| ID | INSIDE DIAMETER | | |
| IN | INCHES | | |
| INCL | INCLUDE | | |
| INST | INSTALLED | | |
| INV, I.E. | INVERT, INVERT ELEVATION | | |

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PROFESSIONAL ENGINEER FOR
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| 4 | 06-10-2025 | ISSUED FOR PERMIT MODIFICATION |
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APPLICANT/OWNER:
FIFTY-FIVE SAXON HINGHAM LLC
25 RECREATION PARK DRIVE, SUITE 204
HINGHAM, MA 02043

PROJECT:
OFFICE BUILDING
55 INDUSTRIAL
PARK ROAD
HINGHAM, MA

PROJECT NO. 1179-20A DATE: 02/13/2025

SCALE: NONE DWG. NAME: C-1179-20

DESIGNED BY: PLC CHECKED BY: PLC

PREPARED BY:

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EROSION CONTROL NOTES

EROSION & SEDIMENTATION CONTROL NOTES:

1. EROSION CONTROL SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND SHALL BE ADEQUATE TO MAINTAIN SEDIMENT ON SITE. ANY MODIFICATIONS TO SILT CONTROLS SHOWN ON THE APPROVED PLANS AS A RESULT OF ACTUAL FIELD CONDITIONS OR CONSTRUCTION PRACTICES SHALL BE INSTALLED IN ACCORDANCE WITH B.M.P. (BEST MANAGEMENT PRACTICES) PER THE E.P.A. 2017 "CONSTRUCTION GENERAL PERMIT" MANUAL, AND MASSACHUSETTS 2003 EROSION & SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS. ANY SUCH MODIFICATIONS FROM THE ABOVE MANUALS SHALL BE INSTALLED AS APPROVED BY THE ENGINEER OR THE LOCAL MUNICIPALITY.
2. AREAS OF EXPOSED SOIL UNDERGOING CONSTRUCTION THAT WILL NOT BE COVERED AND OR FINISHED GRADED SHALL BE STABILIZED AS SOON AS PRACTICABLE BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY (UNLESS MUNICIPALITY HAS STRICTER REQUIREMENTS WHICH SHALL BE FOLLOWED) IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. TEMPORARY EROSION CONTROL MEASURES SHALL INCLUDE EROSION CONTROL MESH, NETTING OR MULCH AS DIRECTED BY THE OWNER'S REPRESENTATIVE AND SHOWN ON THE DESIGN PLANS. IF MULCH IS USED, STRAW MULCH SHALL BE APPLIED AT THE RATE OF 4 BALES PER 1,000 SQUARE FEET. APPLICATION AREA SHALL BE SUFFICIENTLY COVERED WITH MULCH TO AVOID ANY VISIBLE SOIL EXPOSURE. MULCH SHALL BE KEPT MOIST TO AVOID LOSS DUE TO WIND. MULCH AND NETTING SHALL BE APPLIED IN THE BASE OF ALL GRASSED WATERWAYS, IN VEGETATIVE SLOPES WHICH EXCEED 15% AND DISTURBED AREAS WITHIN 100 FEET OF WETLANDS OR STREAMS.
3. IF DISTURBED AREAS DO NOT RECEIVE FINAL SEEDING BY OCTOBER 1ST OF THE CONSTRUCTION YEAR, THEN ALL DISTURBED AREAS SHALL BE SEED WITH A WINTER COVER CROP AT THE RATE OF 3 LBS PER 1,000 SQUARE FEET. WINTER SEEDING SHALL BE COVERED WITH EROSION CONTROL MESH (MULCH AND NETTING). HEAVY GRADE MATS SHALL BE USED IN THE BASE OF ALL GRASSED WATERWAYS ON VEGETATED SLOPES IN EXCESS OF 15%, AND ANY DISTURBED AREAS WITHIN 100 FEET OF WETLANDS OR STREAMS. MULCH AND NETTING SHALL ALSO BE PROVIDED FOR ADDITIONAL WINTER PROTECTION.
4. ALL TOPSOIL SHALL BE COLLECTED, STOCKPILED, SEED WITH RYE AT 3LBS PER 1,000 SQUARE FOOT AND MULCHED, AND REUSED AS REQUIRED. TUBULAR BARRIERS SHALL BE PLACED DOWN GRADIENT FROM STOCKPILED LOAM. LOAM SHALL BE STOCKPILED AT LOCATIONS DESIGNATED BY THE OWNER AND ENGINEER.
5. ALL TUBULAR BARRIERS, SILT SACKS, AND EROSION CONTROL BERMS SHALL BE INSTALLED ACCORDING TO THE SITE PREPARATION PLAN. THESE SHALL BE MAINTAINED DURING DEVELOPMENT TO REMOVE SEDIMENT FROM RUNOFF WATER. ALL THE FILTER BARRIERS AND EROSION CONTROL BERMS SHALL BE INSPECTED AFTER ANY RAINFALL OR RUNOFF EVENT, MAINTAINED AND CLEANED UNTIL ALL AREAS HAVE AT LEAST 85-90% VIGOROUS PERENNIAL COVER OF GRASSES.
6. ADJACENT ROADS SHALL BE PERIODICALLY SWEEPED OR WASHED TO AVOID TRACKING MUD, DUST OR DEBRIS FROM THE CONSTRUCTION AREA AS OFTEN AS NECESSARY (WHICH COULD BE ON A DAILY BASIS) TO REMOVE ANY SOIL OR SEDIMENTS AT NO ADDITIONAL COST TO THE OWNER. A WATERING TRUCK WILL BE USED TO PERIODICALLY SPRINKLE CONSTRUCTION AREAS IN ORDER TO KEEP THE LEVEL OF DUST TO A MINIMUM DURING THE DRY MONTHS AT NO ADDITIONAL COST TO THE OWNER.
7. THE CONTRACTOR SHALL USE EXTREME CAUTION TO AVOID ALLOWING SEDIMENTS TO ENTER THE STORM DRAIN SYSTEM DURING CONSTRUCTION. BOTH EXISTING AND PROPOSED CATCH BASIN INLETS SHALL BE PROTECTED DURING CONSTRUCTION BY THE USE SILT SACKS AND/OR TUBULAR BARRIERS AROUND EACH INLET AS NOTED ON THE PLANS. INLET PROTECTION MAY BE REMOVED ONLY AFTER FINISHED AREAS ARE PAVED AND THE VEGETATED SLOPES ARE ESTABLISHED WITH AT LEAST 85-90% OF VIGOROUS PERENNIAL GROWTH.
8. AS APPLICABLE, EROSION CONTROL MESH SHALL BE APPLIED IN ACCORDANCE WITH THE PLANS OVER ALL FINISHED SEEDING AREAS AS SPECIFIED ON THE DESIGN PLANS.
9. AT A MINIMUM, ALL TUBULAR BARRIERS AND FILTER FABRIC SHALL REMAIN IN PLACE UNTIL SEEDINGS OR PLANTINGS HAVE BECOME 85-90% ESTABLISHED. THE LOCAL CONSERVATION COMMISSION MUST APPROVE THE REMOVAL OR RELOCATION OF ANY OF THE TUBULAR BARRIERS AND FILTER FABRIC. ONCE THE TUBULAR BARRIERS ARE REMOVED THE AREAS ARE TO BE LOAMED AND SEED TO ACHIEVE FULL STABILIZATION.
10. AT THE OWNER'S DISCRETION ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED TO MAINTAIN STABILITY OF EARTHWORKS AND FINISHED GRADED AREAS. THE CONTRACTOR, AT HIS EXPENSE, WILL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ANY ADDITIONAL MEASURES AS SPECIFIED BY THE OWNER. THIS INCLUDES BUT IS NOT LIMITED TO REQUESTS BY MA DEP, THE ENGINEER AND THE LOCAL MUNICIPALITY, AS AUTHORIZED BY THE OWNER. FAILURE TO COMPLY WITH THE OWNER'S DIRECTIONS WILL RESULT IN DISCONTINUATION OF CONSTRUCTION ACTIVITIES.
11. INSPECTIONS AND MONITORING MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. WEEKLY INSPECTIONS SHALL BE HELD THROUGH THE DURATION OF CONSTRUCTION ACTIVITY. WEEKLY INSPECTION REPORTS SHALL BE MAINTAINED BY THE CONTRACTOR AND LOCATED IN THE CONTRACTORS FIELD OFFICE ONSITE. IN ADDITION TO THE NORMAL WEEKLY INSPECTIONS, THE CONTRACTOR SHALL PERFORM AN INSPECTION OF ALL EROSION CONTROL MEASURES AFTER EACH RAINFALL OR RUNOFF EVENT, AND PERFORM THE NECESSARY REPAIRS. THE INSPECTIONS SHALL INCLUDE BUT NOT BE LIMITED TO THE SITE'S DOWN STREAM DISCHARGE POINTS.
12. IF ANY EVIDENCE OF SEDIMENTATION IS OBSERVED AT THE STORMWATER MANAGEMENT AREA INLETS, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, PROVIDE A PLAN TO THE ENGINEER TO REMOVE ANY ACCUMULATED SEDIMENT IN THESE AREAS. THE CONTRACTOR SHALL ALSO IMMEDIATELY PROVIDE ADDITIONAL ON SITE EROSION AND SEDIMENTATION CONTROL MEASURES TO PREVENT FURTHER DEGRADATION OF THE AREA.
13. FOLLOWING THE TEMPORARY OR FINAL SEEDINGS, THE CONTRACTOR SHALL INSPECT THE WORK AREA SEMI-MONTHLY TO ENSURE THE AREAS HAVE A MINIMUM OF 85-90% VEGETATED VIGOROUS GROWTH. RE-SEEDING SHALL BE CARRIED OUT BY THE CONTRACTOR WITH FOLLOW UP INSPECTIONS IN THE EVENT OF ANY FAILURES UNTIL VEGETATION IS ADEQUATELY ESTABLISHED.
14. CONTRACTOR & ALL SITE SUBCONTRACTORS SHALL BE FAMILIAR WITH & FOLLOW ALL APPROVED PERMITS AND CONDITIONS. CONTRACTOR SHALL MAINTAIN A COPY OF ALL APPROVED PERMITS ONSITE. ALL CONDITIONS & RECOMMENDATIONS WITHIN THE APPROVED PERMITS SHALL BE COMPLETED.

15. ALL EROSION MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND SHALL BE ADEQUATE TO MAINTAIN SEDIMENT ON SITE. ANY MODIFICATIONS SHALL BE INSTALLED AS DIRECTED BY THE ENGINEER OR THE LOCAL MUNICIPALITY.
16. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN IN PLACE UNTIL ALL SITE WORK IS COMPLETE AND GROUND COVER IS ESTABLISHED.
17. TOP OF STOCKPILES SHALL BE COVERED IN SUCH MANNER THAT STORMWATER DOES NOT INFILTRATE THE MATERIALS AND THEREBY RENDER THE SAME UNSUITABLE FOR FILL USE.
18. ALL DISTURBED OR EXPOSED AREAS SUBJECT TO EROSION SHALL BE STABILIZED WITH MULCH OR SEED FOR TEMPORARY VEGETATIVE COVER. NO AREA SUBJECT TO EROSION SHALL BE LEFT DISTURBED AND UNSTABILIZED FOR PERIODS LONGER THAN IS ABSOLUTELY NECESSARY TO CARRY OUT THAT PORTION OF THE CONSTRUCTION WORK OR SIX MONTHS AFTER SOIL HAS BEEN DISTURBED WHICHEVER IS LESS.
19. CULVERT/PIPE INLETS AND OUTFALLS SHALL BE PROTECTED BY TUBULAR BARRIER FILTERS AND STONE CHECK DAMS UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED.
20. TUBULAR BARRIER DIKES SHALL BE CONSTRUCTED AT ALL EXISTING & PROPOSED CATCH BASINS, NO SEDIMENTATION SHALL ENTER THE ON-SITE OR OFF-SITE DRAINAGE SYSTEMS AT ANY TIME.
21. ALL EROSION CONTROL MEASURES SHALL BE ROUTINELY INSPECTED, CLEANED AND REPAIRED OR REPLACED AS NECESSARY THROUGHOUT ALL PHASES OF CONSTRUCTION. IN ADDITION, INSPECTIONS SHALL TAKE PLACE WEEKLY AND BEFORE AND AFTER EACH RAINFALL EVENT.
22. ALL PROPOSED SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED WITH JUTE MESH AND PROTECTED FROM EROSION UNTIL WORK IS COMPLETE AND GROUND COVER IS ESTABLISHED.
23. THE CONTRACTOR SHALL KEEP ON SITE AT ALL TIMES ADDITIONAL TUBULAR BARRIERS FOR INSTALLATION AT THE DIRECTION OF THE ENGINEER OR THE TOWN ENGINEER TO MITIGATE ANY EMERGENCY CONDITION.
24. AS CONSTRUCTION DISTURBANCE IS GREATER THAN 1 ACRE, A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT NOI AND STORM WATER POLLUTION PREVENTION PLAN (SWPPP) WILL NEED TO BE SUBMITTED TO THE EPA. THE NPDES PERMIT FOR STORM WATER DISCHARGE, & CONSTRUCTION GENERAL PERMIT NOI WILL BE REQUIRED TO BE SUBMITTED AT LEAST 14 DAYS PRIOR TO COMMENCING CONSTRUCTION BY THE CONTRACTOR.
25. OWNER AND CONTRACTOR ARE RESPONSIBLE FOR COMPLIANCE WITH THE CONSTRUCTION GENERAL PERMIT NOI. WEEKLY SWPPP INSPECTION REPORTS TO BE PERFORMED BY CONTRACTOR. COPIES OF ALL SWPPP INSPECTION REPORTS SHALL BE PROVIDED TO THE LOCAL MUNICIPALITY, EPA, DEP, OR ANY OTHER AUTHORITY REQUESTING WITHIN 3 DAYS OF EACH INSPECTION.
26. APPLICABLE WORK AND MATERIALS SHALL COMPLY WITH ALL LOCAL, MA DEP, EPA CONSTRUCTION GENERAL PERMIT STANDARDS. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE SITE PLAN REGULATIONS FROM THE LOCAL AND USDA SOIL CONSERVATION SERVICE VEGETATIVE PRACTICES IN SITE DEVELOPMENT.
27. A WATERING TRUCK SHALL BE USED TO PERIODICALLY SPRINKLE CONSTRUCTION AREAS IN ORDER TO KEEP THE LEVEL OF DUST TO A MINIMUM DURING THE DRY MONTHS AND AS REQUIRED.
28. IF DEWATERING IS NECESSARY IT SHALL ONLY BE COMPLETED AS FOLLOWS: THE DISCHARGE SHALL BE STOPPED IMMEDIATELY IF THE RECEIVING AREA SHOWS ANY SIGN OF INSTABILITY OR EROSION. ALL CHANNELS, SWALES, AND DITCHES DUG FOR DISCHARGING WATER FROM THE EXCAVATED AREA SHALL BE STABLE PRIOR TO DIRECTING DISCHARGE TO THEM. IF A CONSTRUCTION EQUIPMENT BUCKET IS USED, IT SHALL BE EMPTY. THE MATERIAL TO A STABLE AREA. NO DEWATERING SHALL OCCUR DURING PERIODS OF INTENSE, HEAVY RAIN. FLOW TO THE SEDIMENT REMOVAL STRUCTURE SHALL NOT EXCEED THE STRUCTURE'S CAPACITY TO SETTLE AND FILTER FLOW OR ITS VOLUME CAPACITY. WHENEVER POSSIBLE, THE DISCHARGE FROM THE SEDIMENT REMOVAL STRUCTURE SHALL DRAIN TO A WELL-VEGETATED BUFFER BY SHEET FLOW WHILE MAXIMIZING THE DISTANCE TO THE NEAREST WATER RESOURCE AND MINIMIZING THE SLOPE OF THE BUFFER AREA. THERE SHALL BE NO DIRECT DISCHARGE TO EXISTING WETLANDS OR STREAMS. ALL DISCHARGE SHALL BE IN COMPLIANCE WITH STATE, LOCAL, AND FEDERAL REQUIREMENTS.
29. INITIATE STABILIZATION OF EXPOSED AREAS IMMEDIATELY IF CONSTRUCTION WORK TEMPORARILY OR PERMANENTLY CEASES.
30. ALL DISCHARGES FROM POLLUTION SOURCES ARE PROHIBITED ONSITE SUCH AS FUELS, WASTEWATER FROM WASH OUT OF CONCRETE, WASTEWATER FROM CLEAN OUT OF PAINTS, FORM RELEASE OILS, SOLVENTS, ADHESIVES, CURING COMPOUNDS, POLLUTANTS USED FOR MAINTENANCE OF VEHICLES AND EQUIPMENT, SOAPS & SOLVENTS, TOXIC OR HAZARDOUS SUBSTANCES, CHEMICALS AND OILS. IF A POLLUTANT IS DISCHARGED IT NEEDS TO BE IMMEDIATELY CLEANED UP BY REMOVING THE CHEMICAL AND AFFECTED SOIL OR AREA OF SPILL FROM THE SITE IN ACCORDANCE WITH BOTH THE MANUFACTURER RECOMMENDATIONS, FEDERAL, STATE, AND LOCAL REQUIREMENTS. DO NOT HOSE DOWN AND SPREAD SPILLED ITEM. ALL CHEMICALS USED ON THE SITE SHALL BE IN LEAK-PROOF CONTAINERS STORED AWAY FROM WETLANDS, SURFACE WATERS, STORMWATER INLETS, AND DRAINAGE MEASURES. SPILL KITS SHALL BE AVAILABLE ONSITE FOR EMERGENCY USE. THERE SHALL BE A SECONDARY CONTAINMENT MEASURE OF ALL CHEMICALS IN ADDITION TO SPILL-PROOF CONTAINERS.
31. PRIOR TO COMMENCEMENT OF CONSTRUCTION, APPLICABLE CONTRACTOR PERSONNEL MUST HAVE AN UNDERSTANDING OF THE EPA CONSTRUCTION GENERAL PERMIT REQUIREMENTS AND THEIR SPECIFIC RESPONSIBILITIES UNDER THE PERMIT. AT A MINIMUM, PERSONNEL MUST BE TRAINED AND UNDERSTAND THE FOLLOWING: LOCATION OF ALL STORMWATER CONTROLS AND HOW TO MAINTAIN THEM. PROCEDURES FOR COMPLYING WITH THE POLLUTION PREVENTION REQUIREMENTS. PROCEDURES FOR CONDUCTING INSPECTIONS, RECORDING FINDINGS, AND TAKING CORRECTIVE ACTION.
32. ALL SEDIMENT TRACKED ONTO ROADWAYS MUST BE REMOVED AT END OF EACH WORK DAY.
33. ALL USE OF CATIONIC TREATMENT CHEMICALS (EXAMPLES INCLUDE POLYMERS, CHITOSAN, CATIONIC PAM, FLOCCULANTS OR OTHER CHEMICAL UTILIZED FOR STABILIZATION) ARE PROHIBITED. IF ALL OTHER AVAILABLE STABILIZATION MEASURES ARE NOT POSSIBLE AND USE OF CATIONIC CHEMICALS IS ABSOLUTELY NECESSARY THE CONTRACTOR WILL NEED TO CONTACT THE EPA NEW ENGLAND OFFICE IN WRITING FOR APPROVAL AND SPECIFIC REQUIREMENTS (MAXIMUM DOSAGE RATE, RESIDUAL TESTING, SPECIFIC LIMITATIONS, ETC) PRIOR TO USE.

34. IF USING NON-VEGETATIVE STABILIZATION MEASURES, IT MUST BE COMPLETED NO LATER THAN 14 DAYS AFTER INITIATING STABILIZATION. ALL AREAS OF EXPOSED SOILS MUST BE COVERED.
35. INSPECTIONS OF EROSION CONTROL MEASURES SHALL BE AT LEAST ONCE EVERY 7 DAYS BY THE CONTRACTOR. AT A MINIMUM INSPECTIONS SHALL INCLUDE ALL DISTURBED AREAS, ALL STORMWATER CONTROLS AND POLLUTION PREVENTION MEASURES. ALL LOCATIONS WHERE STABILIZATION MEASURES HAVE BEEN IMPLEMENTED, EQUIPMENT AND MATERIAL STORAGE AREAS, ALL AREAS WHERE STORMWATER FLOWS AND ALL POINTS OF DISCHARGE. WHEN CORRECTIVE ACTIONS ARE REQUIRED, THE CONTRACTOR MUST IMMEDIATELY TAKE ALL STEPS TO PREVENT POLLUTANT DISCHARGES UNTIL A PERMANENT SOLUTION IS IMPLEMENTED. AS NECESSARY NEW OR MODIFIED CONTROLS MUST BE INSTALLED AND OPERATIONAL, THE REPAIR MUST BE COMPLETED WITHIN 7 DAYS FROM THE TIME OF DISCOVERY. WITHIN 24 HOURS OF A TRIGGERING CONDITION OCCURRING THAT REQUIRES A CORRECTIVE ACTION, A CORRECTIVE ACTION REPORT MUST BE COMPLETED.

MAINTENANCE:

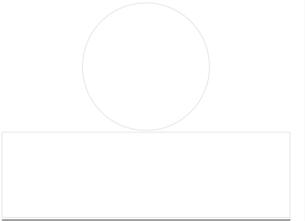
1. ALL MEASURES STATED ON THE STORMWATER POLLUTION PREVENTION PLANS, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION BY CONTRACTOR UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
 - INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
 - ALL SEEDING AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A HEALTHY STAND OF GRASS IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDING AS NEEDED.
 - ALL SEDIMENT CONTROLS SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE TUBULAR SEDIMENT CONTROLS WHEN IT REACHES HALF THE HEIGHT OF THE CONTROL MEASURE OR AS REQUESTED BY THE OWNER OR ENGINEER.
 - THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
 - THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
 - OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.

CONSTRUCTION GENERAL PERMIT NOTES AND NARRATIVE:

1. NARRATIVE: THE STORMWATER POLLUTION PREVENTION PLANS CONSIST OF THE SITE PREPARATION PLAN TOGETHER WITH AN EXISTING CONDITIONS PLANS, GRADING PLANS, ABBREVIATIONS AND NOTES SHEETS, AND DETAIL SHEETS.
2. THE EROSION CONTROL PLAN WILL BE IMPLEMENTED TO:
3. TREAT EROSION AS SOON AS POSSIBLE AFTER DISTURBANCE.
4. PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION AREA AND ENTERING THE RECEIVING WATERS.
5. CONSTRUCTION ACTIVITIES SHALL BE SCHEDULED TO MINIMIZE EROSION.
6. ONLY DISTURB, CLEAR, OR GRADE AREAS NECESSARY FOR CONSTRUCTION.

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APPLICANT/OWNER:
FIFTY-FIVE SAXON HINGHAM LLC
25 RECREATION PARK DRIVE, SUITE 204
HINGHAM, MA 02043

PROJECT:
**OFFICE BUILDING
55 INDUSTRIAL
PARK ROAD
HINGHAM, MA**

PROJECT NO.: 1179-20A **DATE:** 02/13/2025

SCALE: NONE **DWG. NAME:** C-1179-20

DESIGNED BY: PLC **CHECKED BY:** PLC

PREPARED BY:

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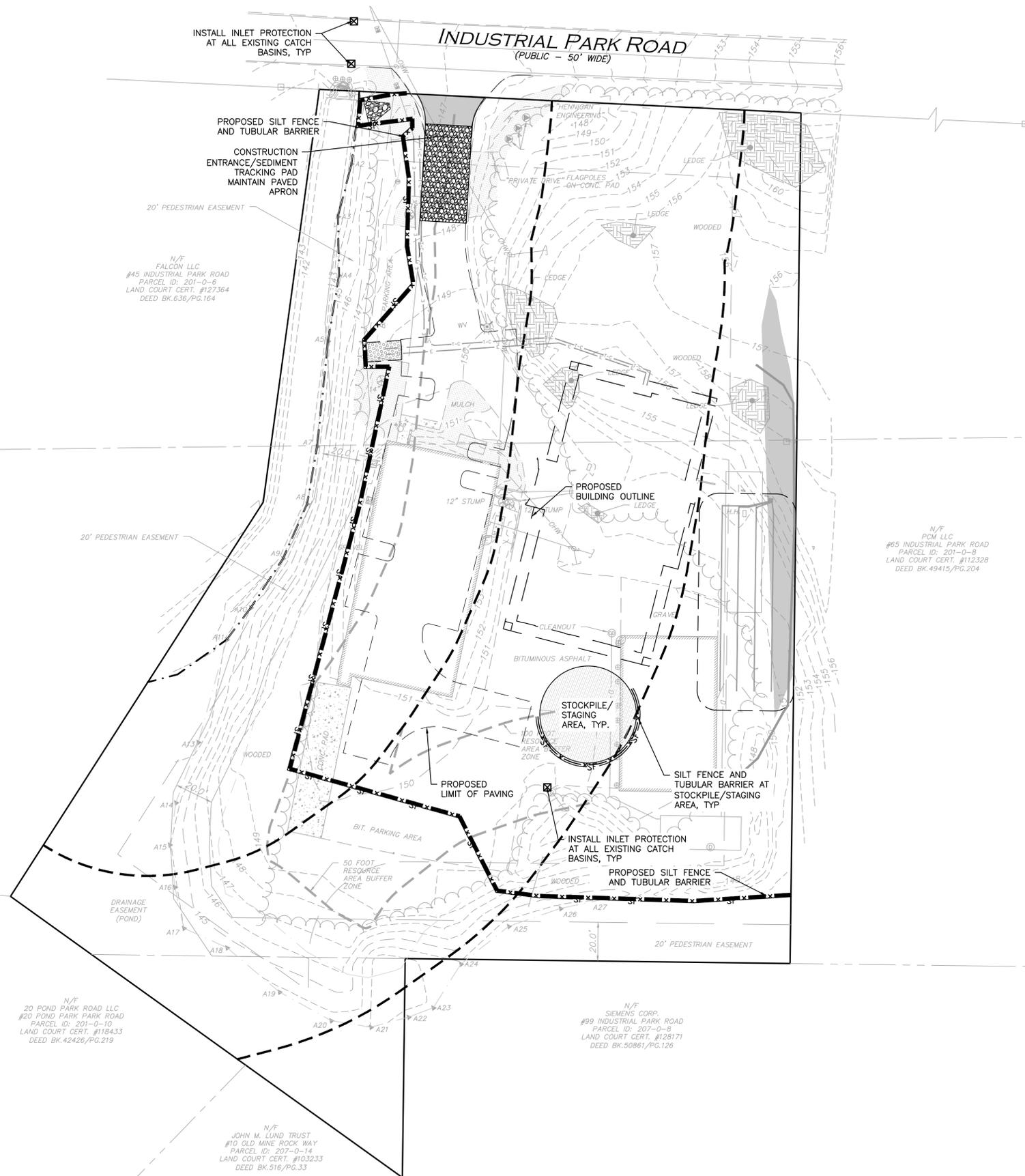
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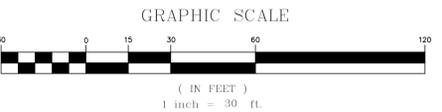


| LEGEND | |
|------------------------|---------------|
| SILT FENCE | — SF — |
| TUBULAR BARRIER | — X — X — |
| STOCKPILE/STAGING AREA | [Hatched Box] |
| CATCH BASIN FILTER | [Box with X] |

NOTES:

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DIGSAFE: 1-800-344-7233
HINGHAM DEPT. OF PUBLIC WORKS: 1-781-741-1430
5. SEE THE ABBREVIATIONS AND NOTES PLAN, C-001 AND C-002 FOR GENERAL NOTES, AND EROSION CONTROL NOTES.



ISSUED FOR PERMIT MODIFICATION
FEBRUARY 13, 2025
REV. 4 - JUNE 10, 2025

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

| REV | DATE | DESCRIPTION |
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| 4 | 06-10-2025 | ISSUED FOR PERMIT MODIFICATION |
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| 2 | 12-23-2024 | PER REVIEW COMMENTS |
| 1 | 11-12-2024 | PER MASSDEP INITIAL REVIEW |

APPLICANT/OWNER:
FIFTY-FIVE SAXON HINGHAM LLC
25 RECREATION PARK DRIVE, SUITE 204
HINGHAM, MA 02043

PROJECT:
OFFICE BUILDING
55 INDUSTRIAL
PARK ROAD
HINGHAM, MA

| | | | |
|--------------|----------|-------------|------------|
| PROJECT NO. | 1179-20A | DATE: | 02/13/2025 |
| SCALE: | 1" = 30' | DWG. NAME: | C-1179-20 |
| DESIGNED BY: | PLC | CHECKED BY: | PLC |

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
10 MAIN STREET
LAKEVILLE, MA 02347
TEL: (508) 923-1010
FAX: (508) 923-6309
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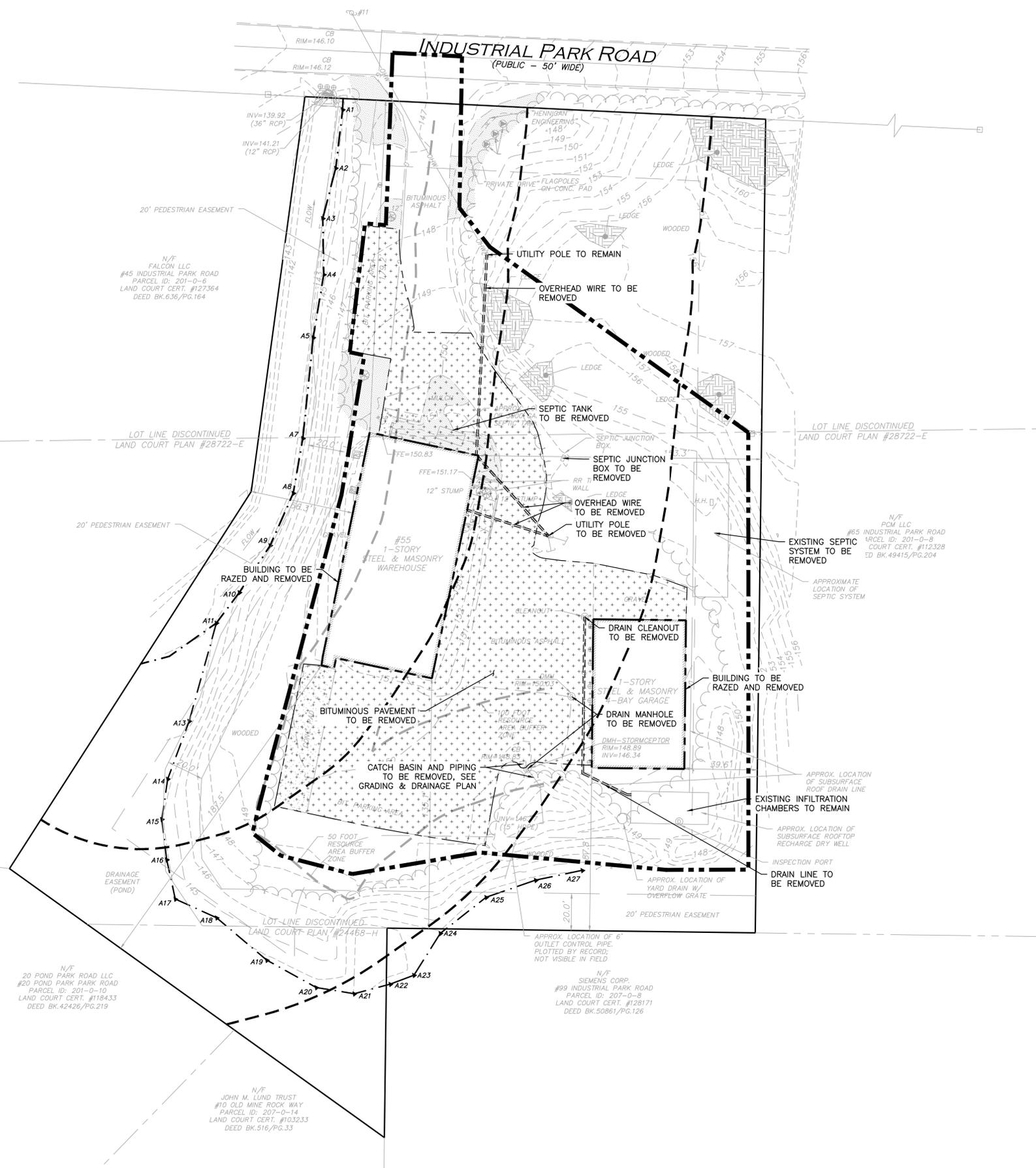
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| | |
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| DRAWING TITLE: | SHEET No. |
| EROSION CONTROL PLAN | C-101 |

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1-888-344-7233



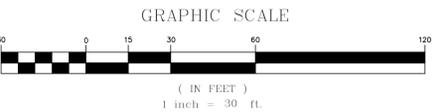
LEGEND

LIMIT OF DISTURBANCE

BUILDING TO BE REMOVED

PAVEMENT TO BE REMOVED

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DIGSAFE: 1-800-344-7233
HINGHAM DEPT. OF PUBLIC WORKS: 1-781-741-1430
 - ALTHOUGH CERTAIN ITEMS HAVE BEEN NOTED ON THIS DRAWING FOR DEMOLITION, NO ATTEMPT HAS BEEN MADE TO DELINEATE EACH AND EVERY ITEM THAT REQUIRES DEMOLITION FOR THE COMPLETION OF THE PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL NECESSARY DEMOLITION WORK TO COMPLETE THE PROJECT AT NO ADDITIONAL COST TO THE OWNER. ALLEN & MAJOR ASSOCIATES, INC. IS NOT RESPONSIBLE FOR SITE DEMOLITION ITEMS NOT SHOWN ON THE SURVEY, OR SPECIFICALLY NOTED. THE DEMOLITION NOTES AND ARROWS ON THIS PLAN ARE TYPICAL AND DO NOT REFLECT QUANTITY.



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HINGHAM, MA

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| SCALE: | 1" = 30' | DWG. NAME: | C-1179-20 |
| DESIGNED BY: | PLC | CHECKED BY: | PLC |

PREPARED BY:

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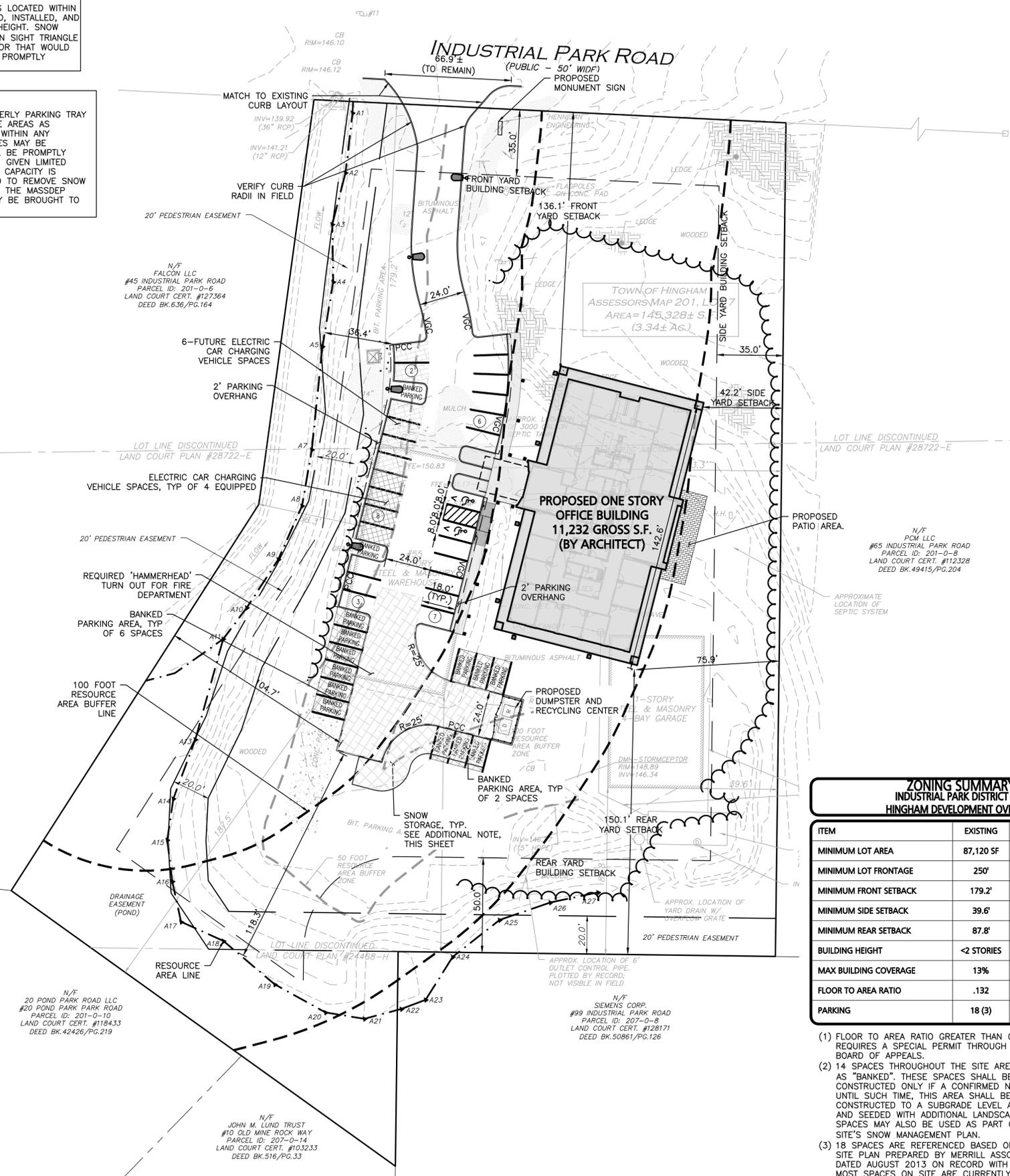
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DRAWING TITLE: **SITE PREPARATION PLAN** SHEET No. **C-102**

SIGHT TRIANGLE AREA NOTE
 SIGNS, LANDSCAPING AND OTHER FEATURES LOCATED WITHIN SIGHT TRIANGLE AREAS SHALL BE DESIGNED, INSTALLED, AND MAINTAINED TO NOT EXCEED 2.5 FEET IN HEIGHT. SNOW ACCUMULATION (WINDROWS) LOCATED WITHIN SIGHT TRIANGLE AREAS THAT EXCEED 2.5 FEET IN HEIGHT OR THAT WOULD OTHERWISE INHIBIT SIGHT LINES SHALL BE PROMPTLY REMOVED.

SNOW MANAGEMENT
 SNOW SHALL BE PLOWED INTO THE SOUTHERLY PARKING TRAY AS REMOTE FROM THE WETLAND RESOURCE AREAS AS FEASIBLE AND SHALL NOT BE STOCKPILED WITHIN ANY RESOURCE AREAS. UNUSED PARKING SPACES MAY BE EMPLOYED FOR SNOW STORAGE BUT SHALL BE PROMPTLY REMOVED IF ONSITE PARKING IS HINDERED. GIVEN LIMITED SNOW STORAGE AVAILABILITY, WHEN ONSITE CAPACITY IS REACHED, THE OWNER SHALL BE REQUIRED TO REMOVE SNOW FROM THE PREMISES IN ACCORDANCE WITH THE MASSDEP SNOW REMOVAL POLICY. SNOW SHALL ONLY BE BROUGHT TO DESIGNATED RECEIVERS.



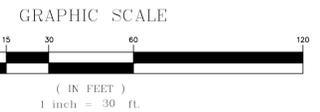
LEGEND

- PROP. PROPERTY LINE
- SIGN
- BOLLARD
- BUILDING
- BUILDING ARCHITECTURE
- BUILDING INTERIOR WALLS
- CURB
- RETAINING WALL
- PARKING STRIPING
- ROADWAY STRIPING
- TRAFFIC ARROWS
- HEAVY DUTY CONCRETE
- HEAVY DUTY PAVEMENT
- RUMBLE STRIP
- SIDEWALK
- BRICK SIDEWALK
- ADA ACCESSIBLE RAMP
- ADA DET. WARNING SURFACE
- JERSEY BARRIERS
- SNOW STORAGE
- GRAVEL ACCESS
- SETBACK LINE
- BASELINE
- SAW-CUT LINE
- BASELINE DATA LABEL
- PARKING COUNT
- COMPACT PARKING STALL
- STEEL GUARDRAIL
- WOOD GUARDRAIL
- CHAIN LINK FENCE
- WOOD FENCE
- DECORATIVE FENCE
- TREE LINE
- TRANSFORMER
- DOUBLE YELLOW CENTER LINE
- SOLID YELLOW CENTER LINE
- SOLID WHITE EDGE LINE
- SOLID YELLOW EDGE LINE
- BROKEN YELLOW CENTER LINE
- STOP LINE
- LIGHTING

**ZONING SUMMARY CHART
 INDUSTRIAL PARK DISTRICT WITH SOUTH
 HINGHAM DEVELOPMENT OVERLAY DISTRICT**

| ITEM | EXISTING | REQUIRED | PROPOSED |
|-----------------------|------------|--------------------------------|---------------|
| MINIMUM LOT AREA | 87,120 SF | 87,120 SF | 145,328 SF |
| MINIMUM LOT FRONTAGE | 250' | 250' | 250' |
| MINIMUM FRONT SETBACK | 179.2' | 35' | 136.1' |
| MINIMUM SIDE SETBACK | 39.6' | 35' | 42.2' |
| MINIMUM REAR SETBACK | 87.8' | 50' | 150.1' |
| BUILDING HEIGHT | <2 STORIES | 30', 2 STORIES | <30', 1 STORY |
| MAX BUILDING COVERAGE | 13% | 35% | 7.72% |
| FLOOR TO AREA RATIO | .132 | <0.25 (1) | 0.077 |
| PARKING | 18 (3) | 3.5 SPACES/1,000 GFA-40 SPACES | 40 (2) |

- (1) FLOOR TO AREA RATIO GREATER THAN 0.25 REQUIRES A SPECIAL PERMIT THROUGH THE ZONING BOARD OF APPEALS.
- (2) 14 SPACES THROUGHOUT THE SITE ARE DESIGNATED AS "BANKED". THESE SPACES SHALL BE CONSTRUCTED ONLY IF A CONFIRMED NEED ARISES. UNTIL SUCH TIME, THIS AREA SHALL BE CONSTRUCTED TO A SUBGRADE LEVEL AND LOAMED AND SEEDED WITH ADDITIONAL LANDSCAPING. SPACES MAY ALSO BE USED AS PART OF THE SITE'S SNOW MANAGEMENT PLAN.
- (3) 18 SPACES ARE REFERENCED BASED ON RECORD SITE PLAN PREPARED BY MERRILL ASSOCIATES, INC. DATED AUGUST 2013 ON RECORD WITH THE TOWN. MOST SPACES ON SITE ARE CURRENTLY UNSTRIPED.



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APPLICANT/OWNER:
FIFTY-FIVE SAXON HINGHAM LLC
 25 RECREATION PARK DRIVE, SUITE 204
 HINGHAM, MA 02043

PROJECT:
OFFICE BUILDING
55 INDUSTRIAL
PARK ROAD
HINGHAM, MA

PROJECT NO. 1179-20A DATE: 02/13/2025
 SCALE: 1" = 30' DWG. NAME: C-1179-20
 DESIGNED BY: PLC CHECKED BY: PLC

PREPARED BY:

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 civil engineering • land surveying
 environmental consulting • landscape architecture
 www.allenmajor.com
 10 MAIN STREET
 LAKEVILLE, MA 02347
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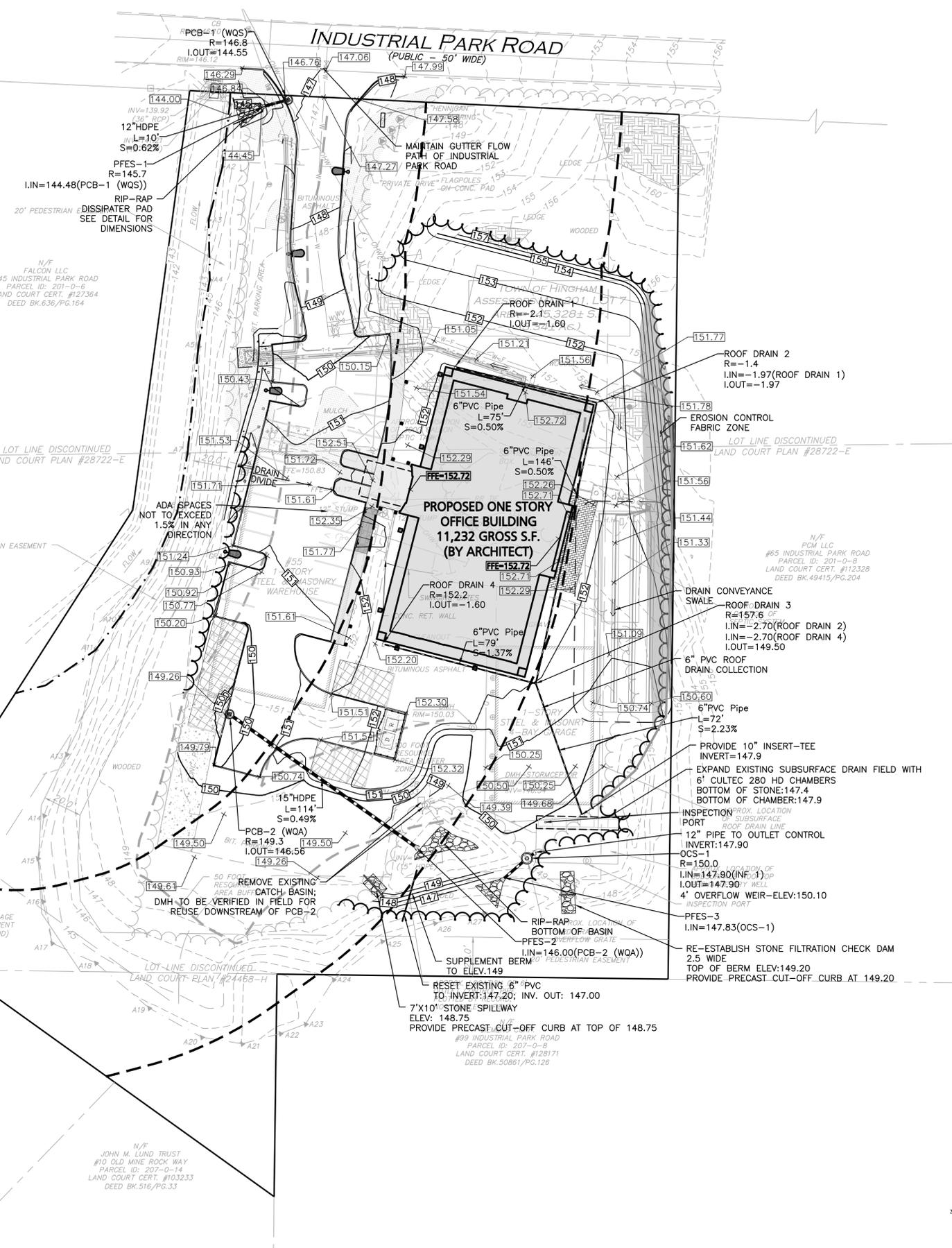
DRAWING TITLE: **LAYOUT & MATERIALS PLAN** SHEET No. **C-103**

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 1-888-344-7233

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LEGEND

- DRAIN MANHOLE (DMH)
- CATCH BASIN (CB)
- CATCH BASIN - DOUBLE GRATE
- OUTLET CONTROL (OCS)
- DIVERSION WEIR
- WATER QUALITY UNIT (WQU)
- AREA DRAIN (AD)
- FLARED END SECTION (FES)
- DRAIN LINE
- RIP-RAP OUTFALL
- HEADWALL
- 5' CONTOUR
- 1' CONTOUR
- SPOT GRADE
- INFILTRATION SYSTEM
- INFILTRATION PIPE
- DETENTION PIPE
- UNDERDRAIN
- FLOW DIRECTION

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 DIGSAFE: 1-800-344-7233
 HINGHAM DEPT. OF PUBLIC WORKS: 1-781-741-1430
 - PIPE DIMENSIONS ARE MEASURED FROM CENTER TO CENTER OF EACH STRUCTURE.

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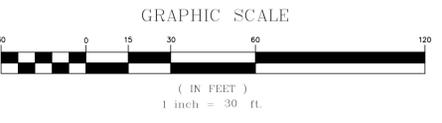
PROJECT:
 OFFICE BUILDING
 55 INDUSTRIAL PARK ROAD
 HINGHAM, MA

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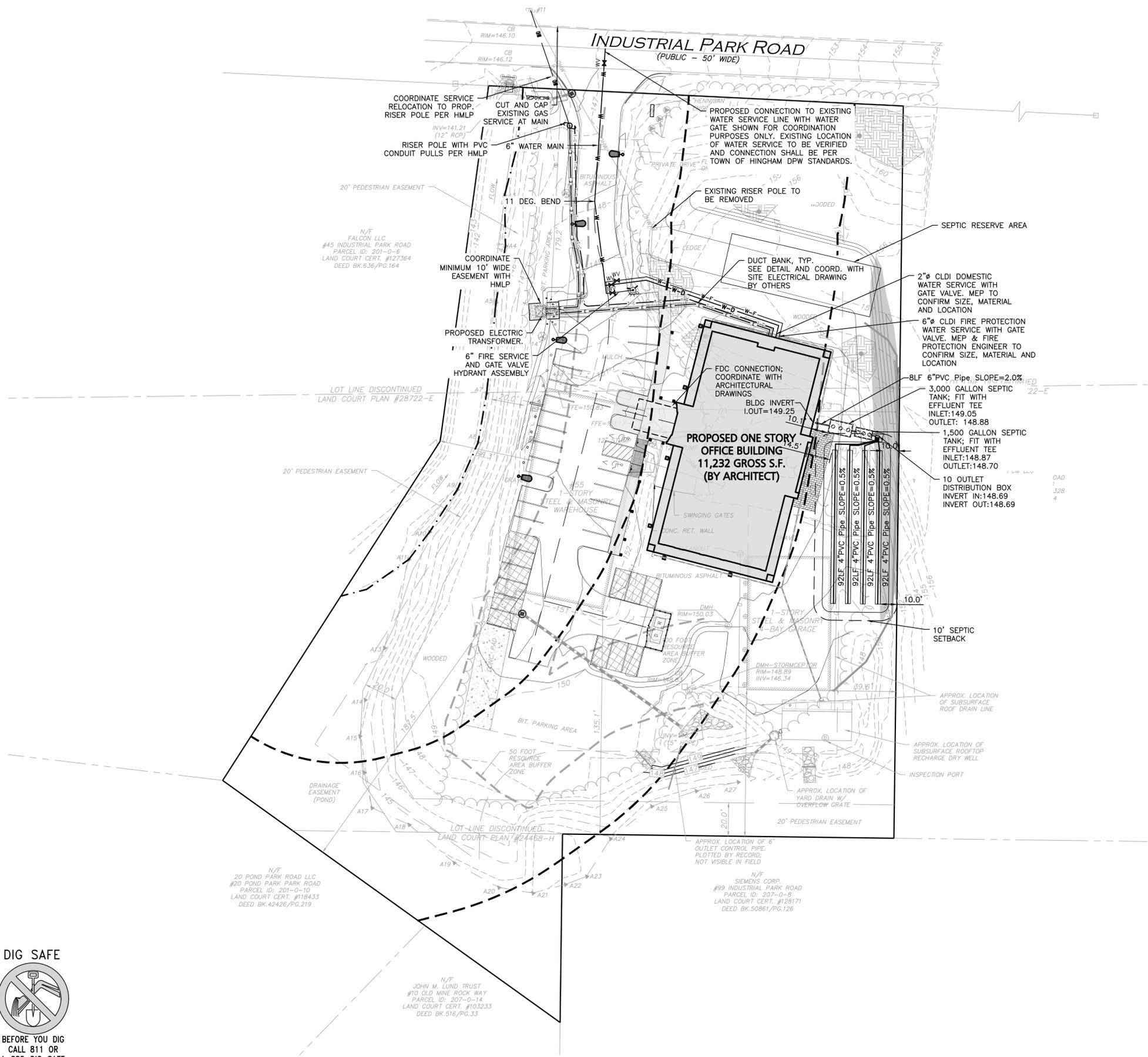
DRAWING TITLE: GRADING & DRAINAGE PLAN
 SHEET No. C-104



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LEGEND

- SEWER LINE
- ELEC/TELE/CABLE CONDUIT
- CONCRETE PIPE ENCASEMENT
- WATER LINE
- WATER (FIRE SERVICE)
- WATER (DOMESTIC SERVICE)
- WATER VALVE
- GAS LINE
- GAS VALVE
- SEPTIC/HOLDING TANK

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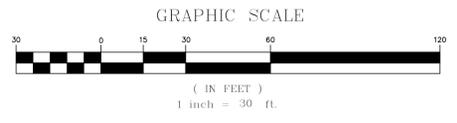
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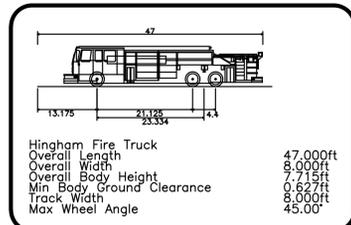
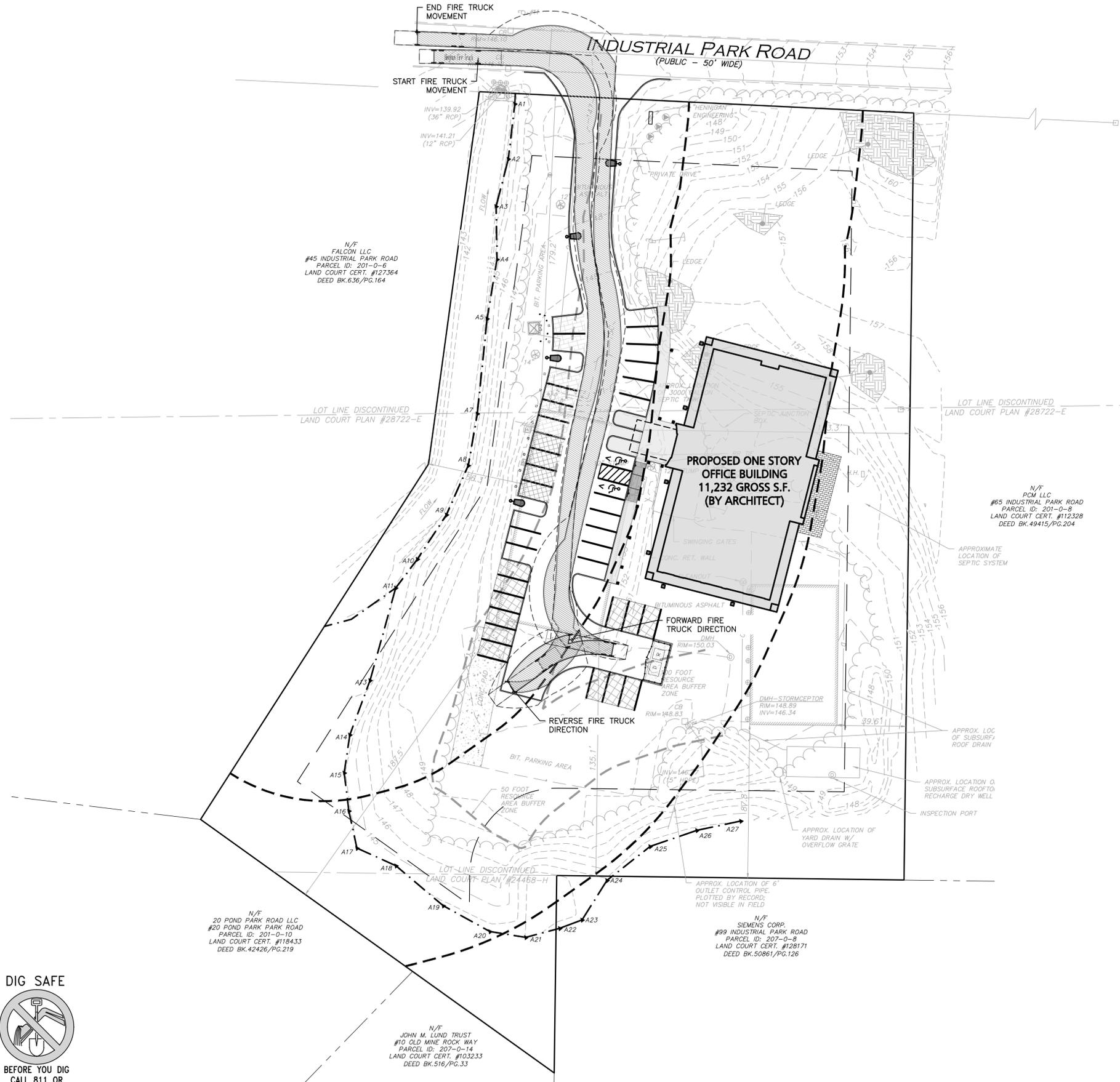
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| DRAWING TITLE: | SHEET No. |
| UTILITIES PLAN | C-105 |

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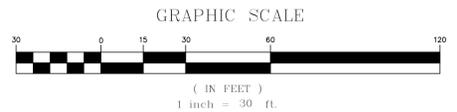
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DRAWING TITLE: **FIRE TRUCK TURNING PLAN** SHEET No. **C-106**





BEACON VIPER AREA - SIZE 2
CURRENT LIGHTING



BEACON VIPER BOLLARD
CURRENT LIGHTING



BEACON VPW2 VIPER WALL
CURRENT LIGHTING

| LEGEND | |
|--|---------------------|
| DOUBLE POLE LIGHT | |
| SINGLE POLE LIGHT | |
| WALL MOUNT LIGHT | |
| BOLLARD LIGHT | |
| 1 FOOTCANDLE CONTOUR | |
| .5 FOOTCANDLE CONTOUR | |
| LIGHTING LEVELS GIVEN IN FOOT-CANDLES | 1.0 0.1 0.2 0.4 0.8 |

NOTES:

- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR IT'S REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
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- FOOT CANDLE VALUES SHOWN ON THE PLAN ARE PRODUCED UTILIZING DESIGN MASTER PHOTOMETRICS SOFTWARE AND ASSOCIATED IES FILES BY THE MANUFACTURER FOR THE PROPOSED LIGHT FIXTURE.
- ALL PHOTOMETRIC DATA REFERS TO UNITS IN FOOT CANDLES (FC). THE LIMIT OF 1.0 FC ILLUMINATION IS SHOWN IN A RED SOLID LINE AND THE LIMIT OF THE 0.5 FOOT CANDLE (FC) ILLUMINATION IS SHOWN IN BLUE.
- QUANTITY SHOWN IN LUMINAIRE SCHEDULE TABLE DENOTES NUMBER OF FIXTURE HEADS. REFER TO PLAN FOR POLES WITH DOUBLE FIXTURES.
- ALL ILLUMINATION ON PARKING LOTS MUST BE SHIELDED SO AS NOT TO SHINE UPON ADJUTING PROPERTIES.
- SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL LIGHTING INFORMATION.
- ALL PROPOSED LIGHTING FIXTURES SHALL BE DARK SKY COMPLIANT.
- LIGHT POLES ADJACENT TO PARKING SHALL HAVE THE 3'-0" REVEAL FOOTING. LIGHT POLES ADJACENT TO SIDEWALKS SHALL HAVE FOOTING IN A FLUSH CONDITION.

**GENERAL
PHOTOMETRIC
SCHEDULE**

| | |
|-----------------------------|--------------|
| AVERAGE FOOT-CANDLES | 0.51 |
| MAXIMUM FOOT-CANDLES | 18.3 |
| MINIMUM FOOT-CANDLES | 0.0 |
| MINIMUM TO MAXIMUM FC RATIO | 0.00 |
| MAXIMUM TO MINIMUM FC RATIO | 18.28 / 0.00 |
| AVERAGE TO MINIMUM FC RATIO | 0.51 / 0.00 |

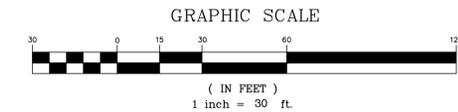
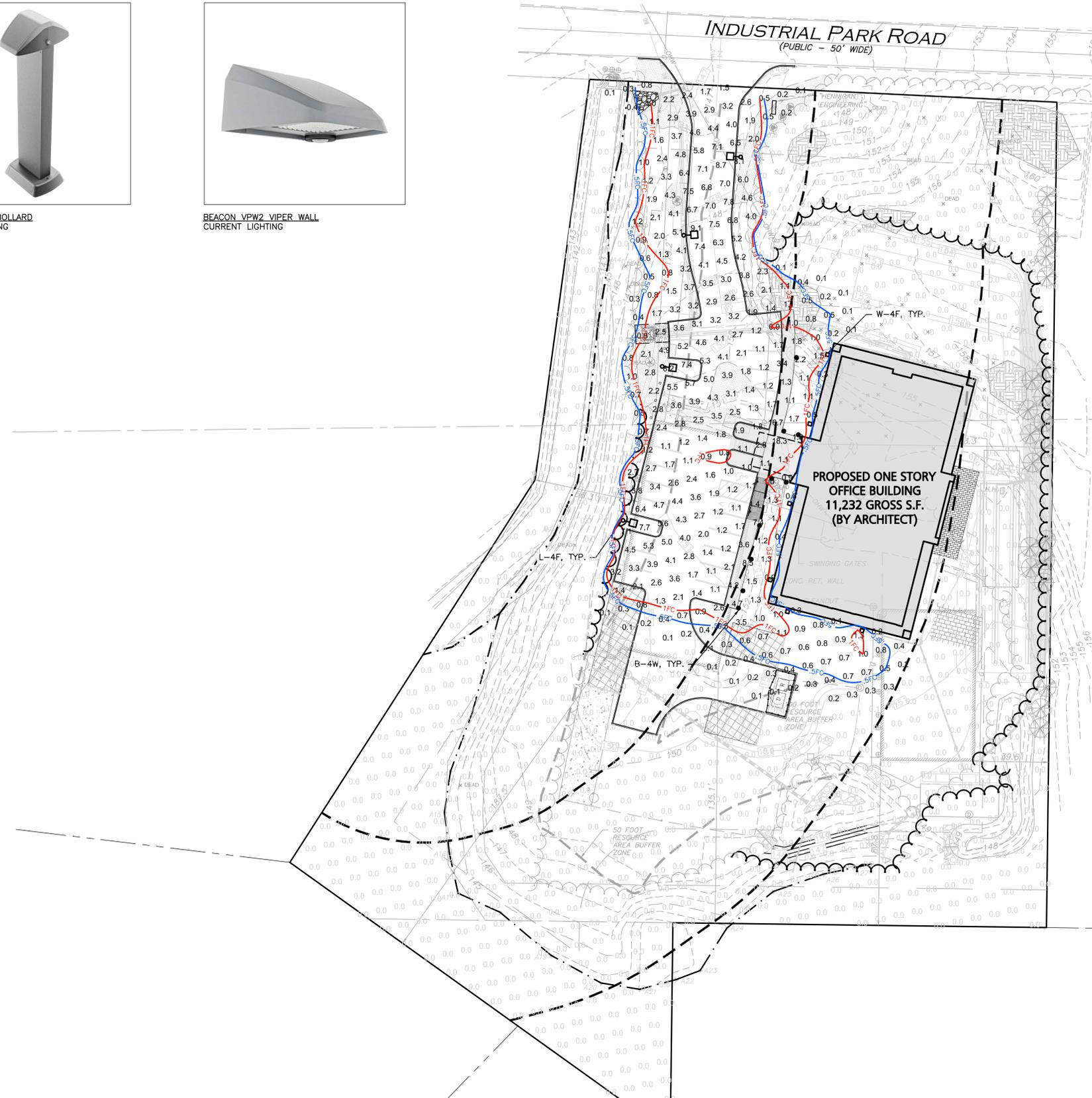
LUMINAIRE SCHEDULE

| CALLOUT | SYMBOL | QTY | DESCRIPTION | MODEL | MOUNTING | MOUNTING HEIGHT | TOTAL LUMENS | LAMP DEPRECIATION |
|---------|--------|-----|---|------------------------------|----------|-----------------|--------------|-------------------|
| B-4F | | 12 | Beacon Viper Bollard - Type 4W Distribution | BEACON, VPB-24L-10-4K7-4W | POLE | 3'-6" | 867 | 0.9 |
| L-4F | | 8 | Beacon Viper Area (Size 2) - Type 4F Distribution | BEACON, VP-2-320L-145-3K7-4F | POLE | 20'-0" | 19982 | 0.9 |
| W-4F | | 6 | Beacon VPW2 Viper Wall | BEACON, VPW2-18L-20-AM-4F | WALL | 12'-0" | 1283 | 0.9 |

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1-888-344-7233



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| 1 | 11-12-2024 | PER MASDEP INITIAL REVIEW |

APPLICANT/OWNER:
FIFTY-FIVE SAXON HINGHAM LLC
25 RECREATION PARK DRIVE, SUITE 204
HINGHAM, MA 02043

PROJECT:
**OFFICE BUILDING
55 INDUSTRIAL
PARK ROAD
HINGHAM, MA**

| | | | |
|--------------|----------|-------------|------------|
| PROJECT NO. | 1179-20A | DATE: | 02/13/2025 |
| SCALE: | 1" = 30' | DWG. NAME: | C-1179-20 |
| DESIGNED BY: | PLC | CHECKED BY: | PLC |

PREPARED BY:

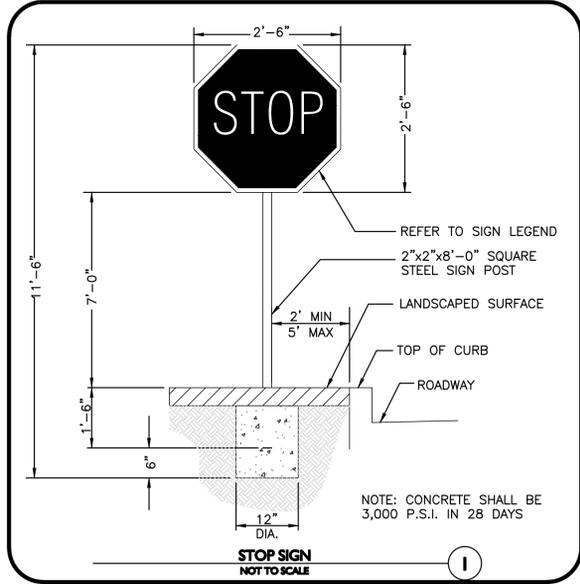
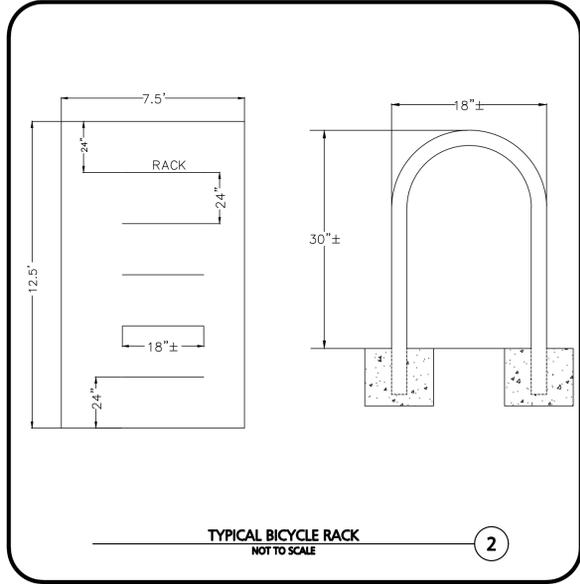
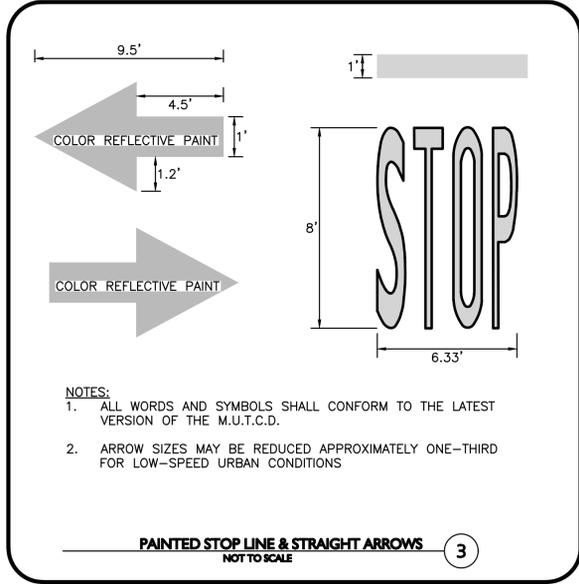
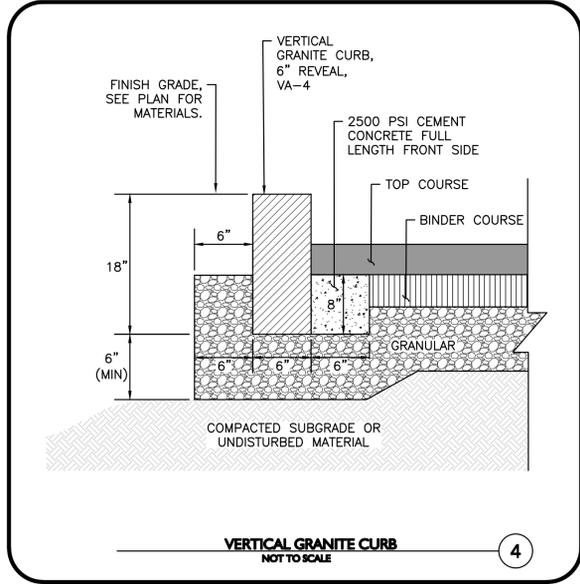
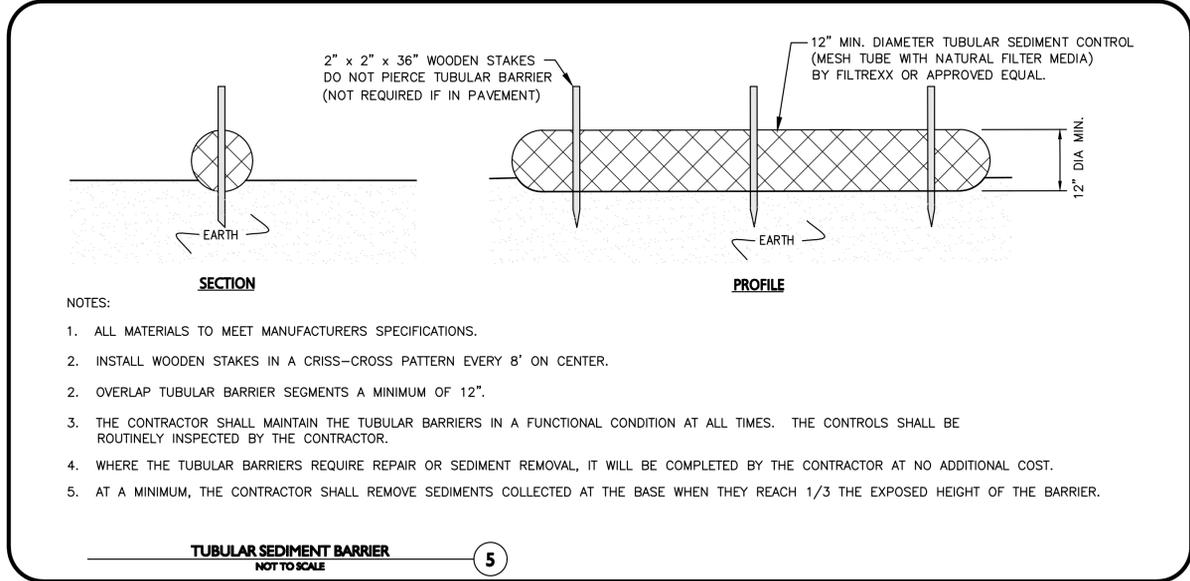
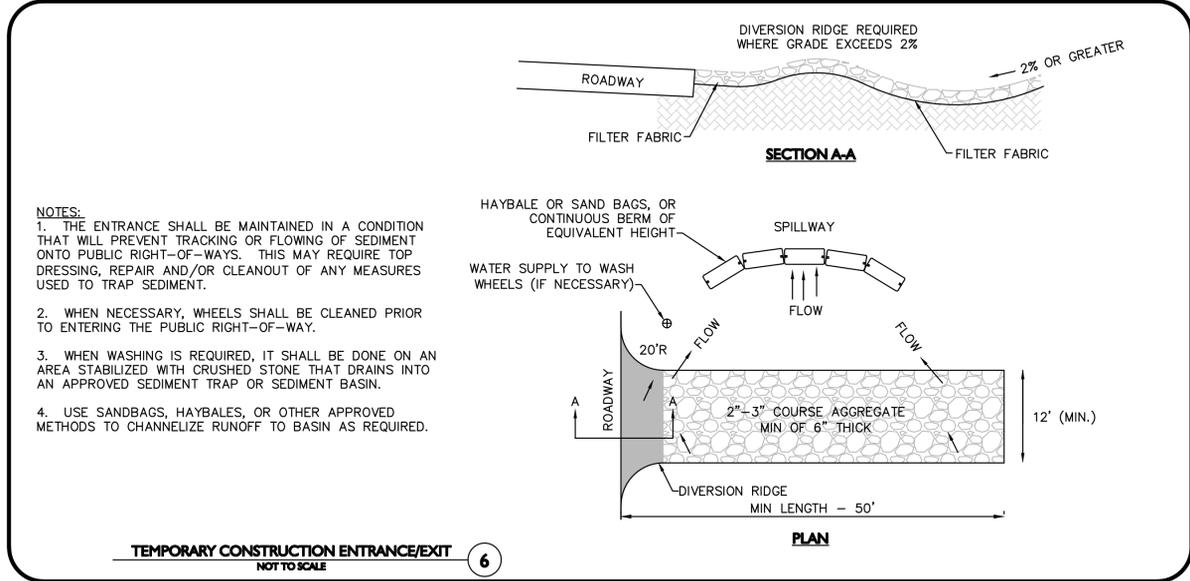
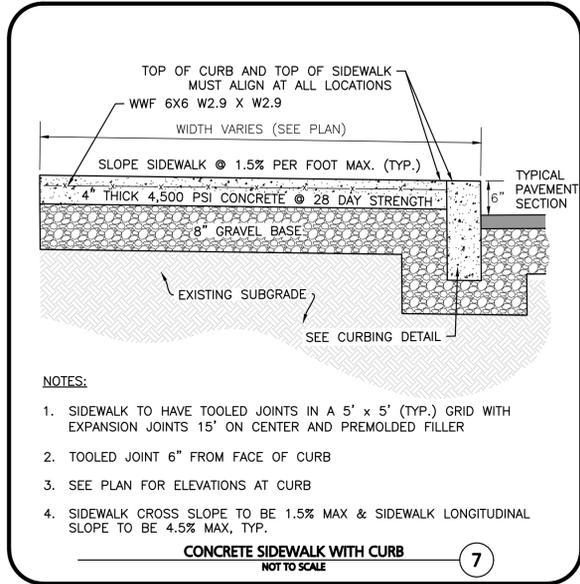
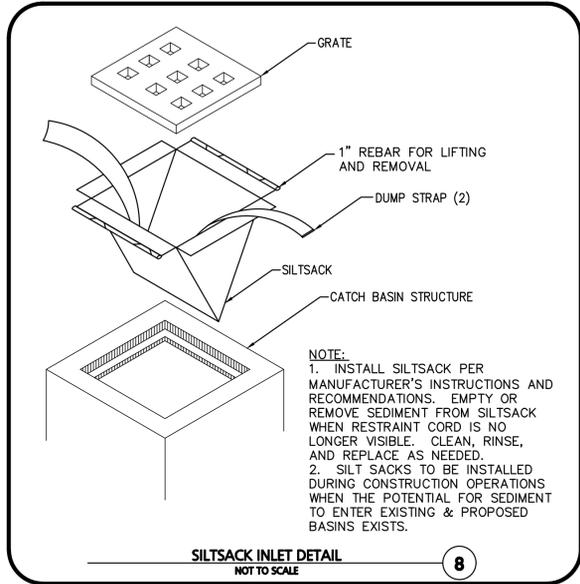
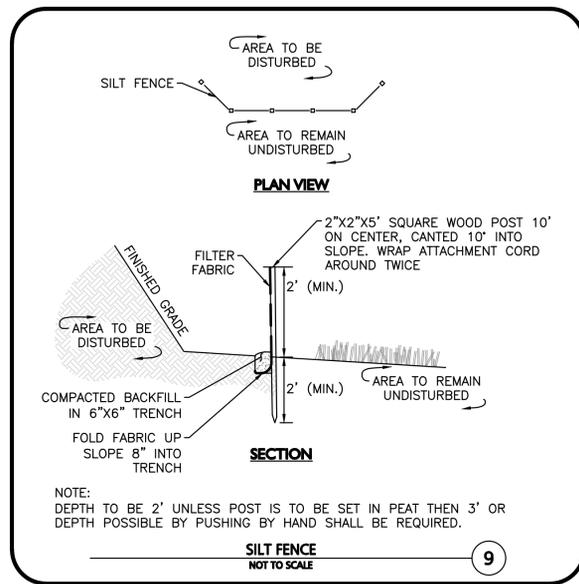
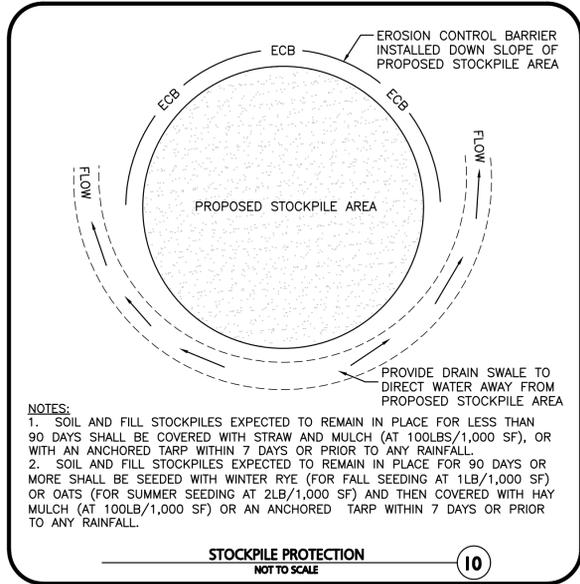
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| LIGHTING PLAN | C-107 |

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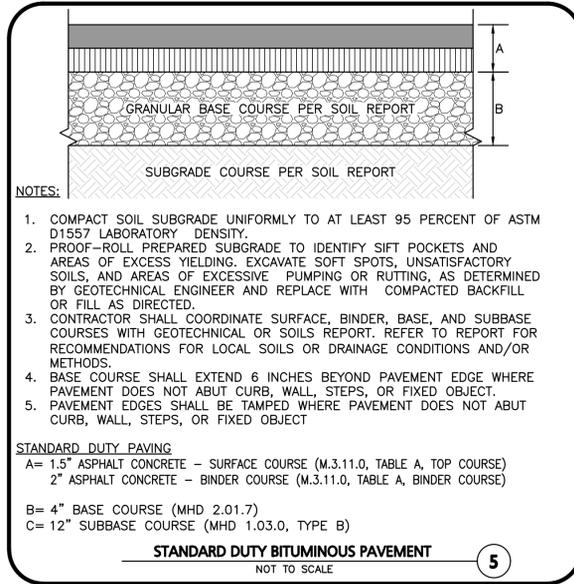
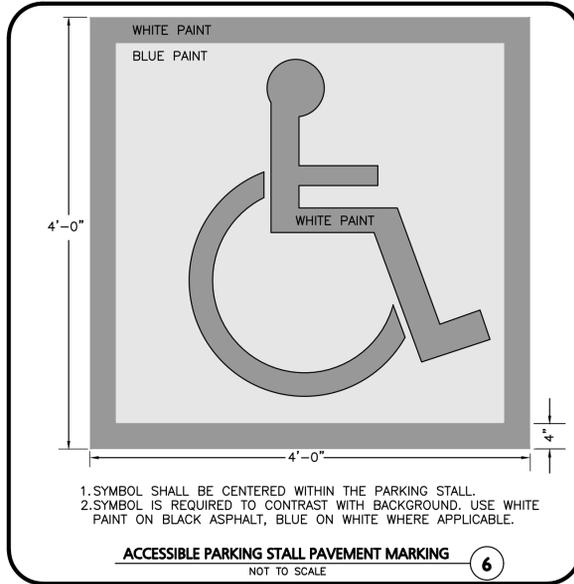
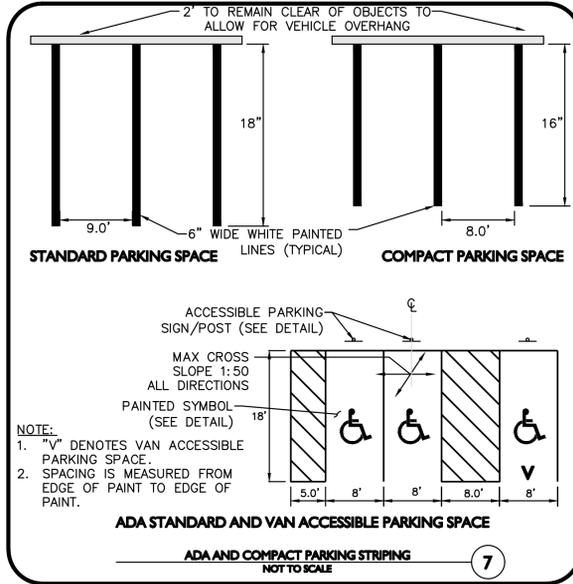
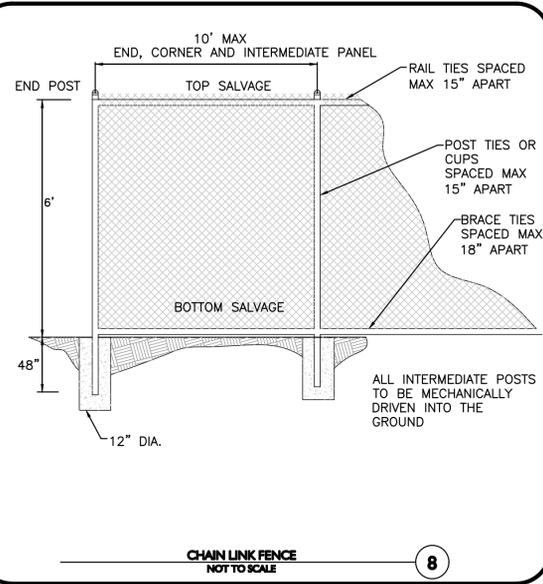
PROJECT:
 OFFICE BUILDING
 55 INDUSTRIAL
 PARK ROAD
 HINGHAM, MA

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| PROJECT NO. | 1179-20A | DATE: | 02/13/2025 |
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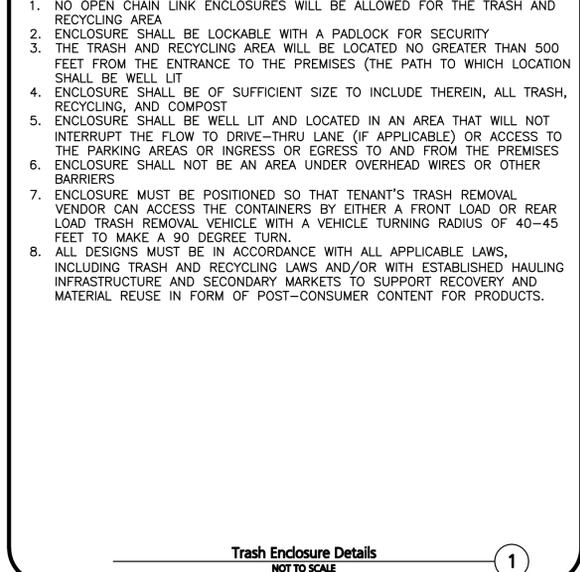
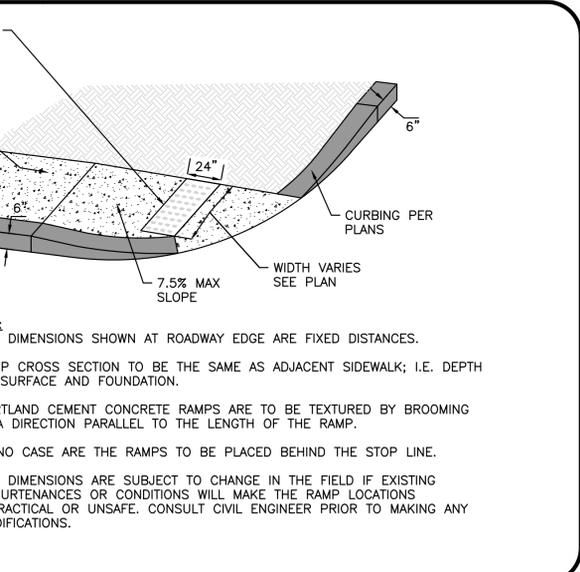
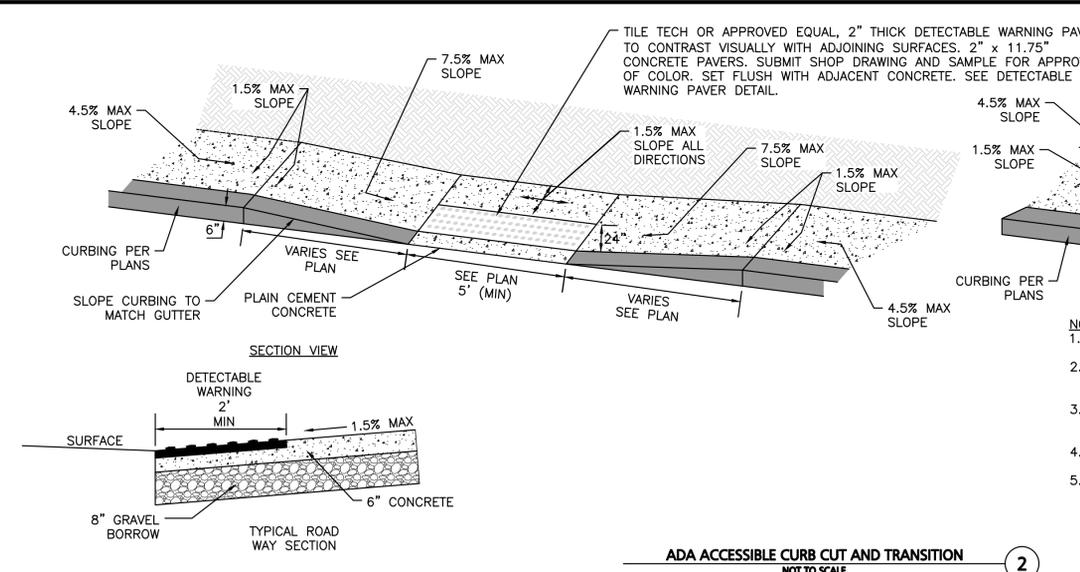
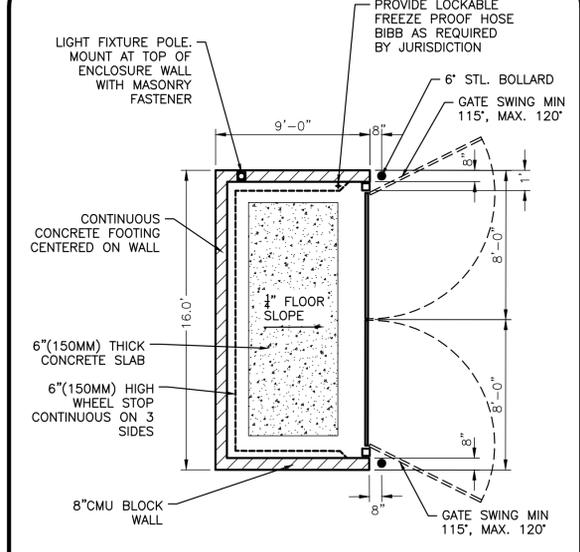
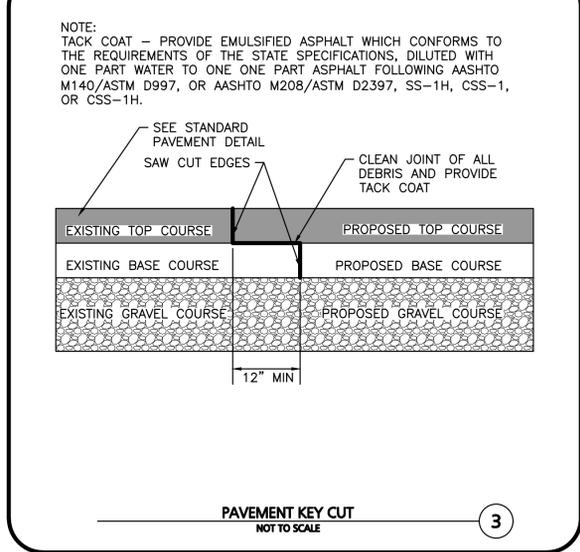
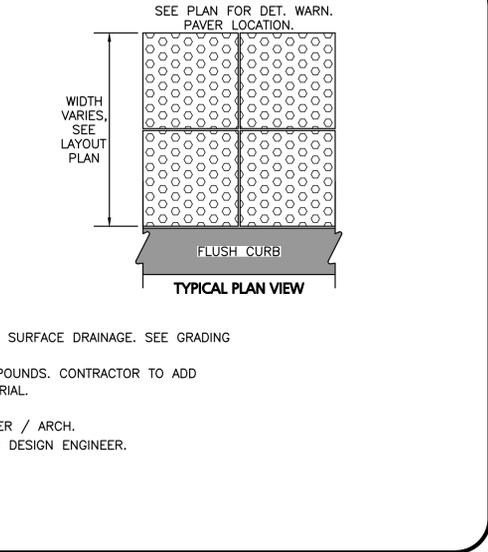
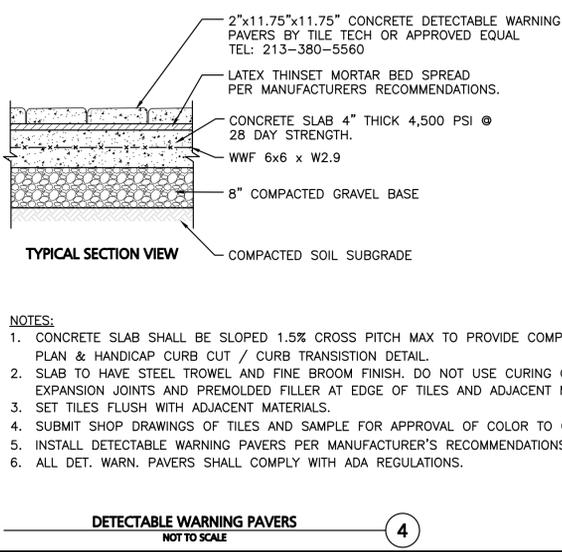
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DRAWING TITLE: **DETAILS** SHEET No. **C-502**



CULTEC Recharger® 280HD Stormwater Chamber

The Recharger® 280HD is a 26.5" (673 mm) tall, mid-size chamber and is typically used for installations with depth restrictions or when a larger infiltrative area is required. The Recharger® 280HD has the side portal internal manifold feature. HVLV® FC-24 Feed Connectors are inserted into the side portals to create the internal manifold.

| | |
|------------------------------------|---------------------------|
| Size (L x W x H) | 8' x 47" x 26.5" |
| Installed Length | 7' |
| Length Adjustment per Run | 1' |
| Chamber Storage | 0.30 m ³ |
| 6.08 ft ³ /ft | |
| 0.56 m ³ /m | |
| 42.55 ft ³ /unit | |
| 1.21 m ³ /unit | |
| Min. Installed Storage | 9.21 ft ³ /ft |
| 0.86 m ³ /m | |
| 64.46 ft ³ /unit | |
| 1.83 m ³ /unit | |
| Min. Area Required | 30.33 ft ² |
| 2.82 m ² | |
| Chamber Weight | 64.0 lbs |
| 29.03 kg | |
| Shipping | 35 chambers/skid |
| 2,345 lbs/skid | |
| 12 skids/48' flatbed | |
| Min. Center-to-Center Spacing | 4.33' |
| 1.32 m | |
| Max. Allowable Cover | 12' |
| 3.66 m | |
| Max. Inlet Opening in End Wall | 21" HDPE, PVC |
| 525 mm HDPE, PVC | |
| Max. Allowable O.D. in Side Portal | 10" HDPE, 12" PVC |
| 250 mm HDPE, 300 mm PVC | |
| Compatible Feed Connector | HVLV FC-24 Feed Connector |



Recharger® 280HD Bare Chamber Storage Volumes

| Elevation | Incremental Storage Volume | Cumulative Storage |
|-----------|----------------------------|--------------------|
| ft. | m ³ | ft ³ |
| 26.5 | 0.000 | 0.000 |
| 26 | 0.018 | 0.018 |
| 25 | 0.047 | 0.065 |
| 24 | 0.100 | 0.165 |
| 23 | 0.134 | 0.299 |
| 22 | 0.159 | 0.458 |
| 21 | 0.179 | 0.637 |
| 20 | 0.195 | 0.832 |
| 19 | 0.209 | 1.041 |
| 18 | 0.221 | 1.262 |
| 17 | 0.232 | 1.494 |
| 16 | 0.241 | 1.735 |
| 15 | 0.249 | 1.984 |
| 14 | 0.253 | 2.237 |
| 13 | 0.257 | 2.494 |
| 12 | 0.271 | 2.765 |
| 11 | 0.275 | 3.040 |
| 10 | 0.279 | 3.319 |
| 9 | 0.287 | 3.606 |
| 8 | 0.292 | 3.898 |
| 7 | 0.294 | 4.192 |
| 6 | 0.305 | 4.497 |
| 5 | 0.327 | 4.824 |
| 4 | 0.368 | 5.192 |
| 3 | 0.430 | 5.622 |
| 2 | 0.512 | 6.134 |
| 1 | 0.626 | 6.760 |
| Total | 6.079 | 42.553 |

Calculations are based on installed chamber length. All above values are nominal. Min. installed storage includes 6" (152 mm) stone above crown of chamber and typical stone surround at 52"(1321 mm) center-to-center spacing of chamber and typical stone surround at 52"(1321 mm) center-to-center spacing.

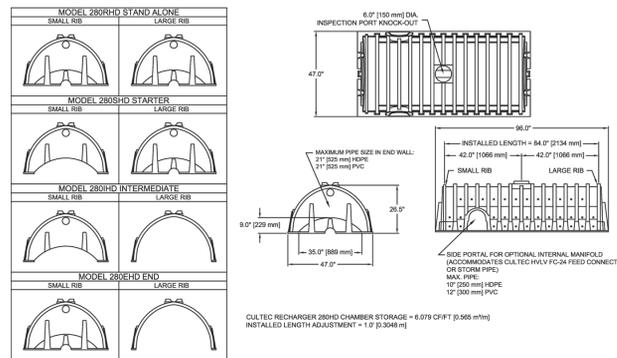
| Stone Foundation Depth | 6" | 12" | 18" |
|---------------------------------------|-----------------------|-----------------------|-----------------------|
| 152 mm | 305 mm | 457 mm | |
| Chamber and Stone Storage Per Chamber | 64.46 ft ³ | 70.53 ft ³ | 76.59 ft ³ |
| 1.83 m ³ | 2.00 m ³ | 2.17 m ³ | |
| Min. Effective Depth | 3.21' | 3.71' | 4.21' |
| 0.98 m | 1.13 m | 1.28 m | |
| Stone Required Per Chamber | 2.03 yd ³ | 2.59 yd ³ | 3.15 yd ³ |
| 1.55 m ³ | 1.98 m ³ | 2.41 m ³ | |

Calculations are based on installed chamber length. Includes 6" (152 mm) stone above crown of chamber and typical stone surround at 52"(1321 mm) center-to-center spacing and stone foundation as listed in table. Stone void calculated at 40%.

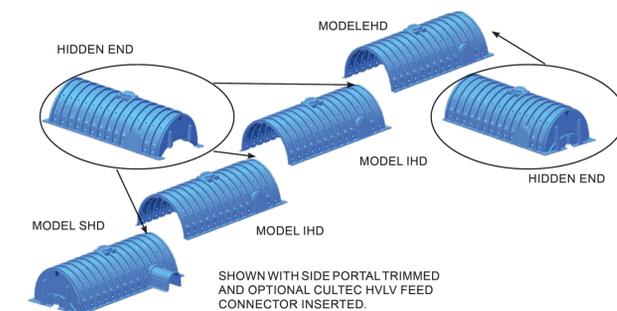
For more information, contact CULTEC at (203) 775-4416 or visit www.cultec.com. © CULTEC, Inc., June 2020 SUB280HD 06-20

CULTEC Recharger® 280HD Stormwater Chamber

Three View Drawing



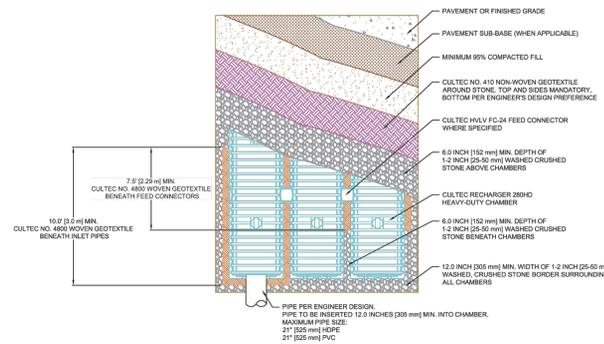
Typical Interlock Installation



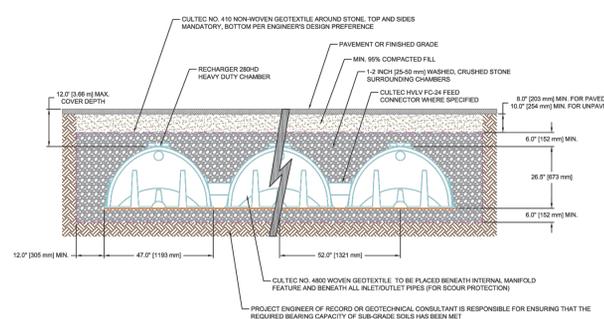
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CULTEC Recharger® 280HD Stormwater Chamber

Plan View Drawing



Typical Cross Section for Traffic Application



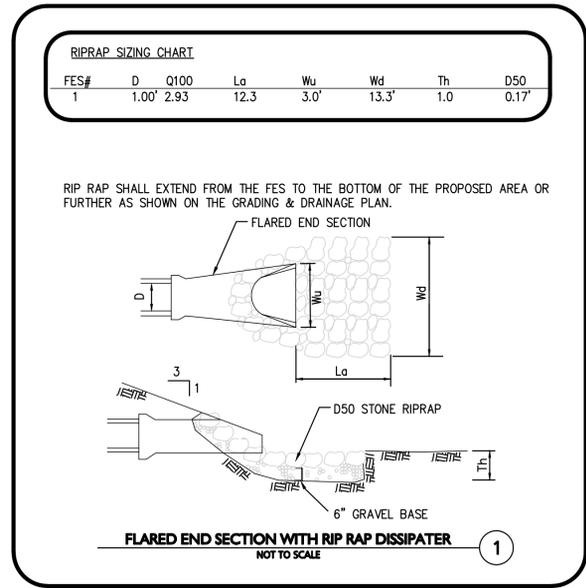
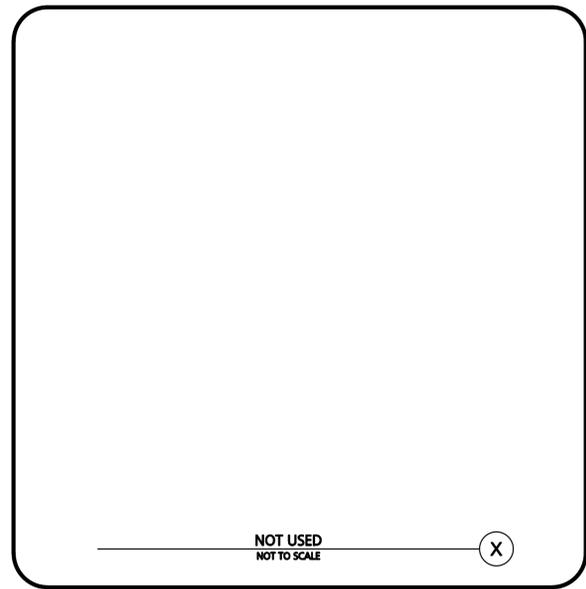
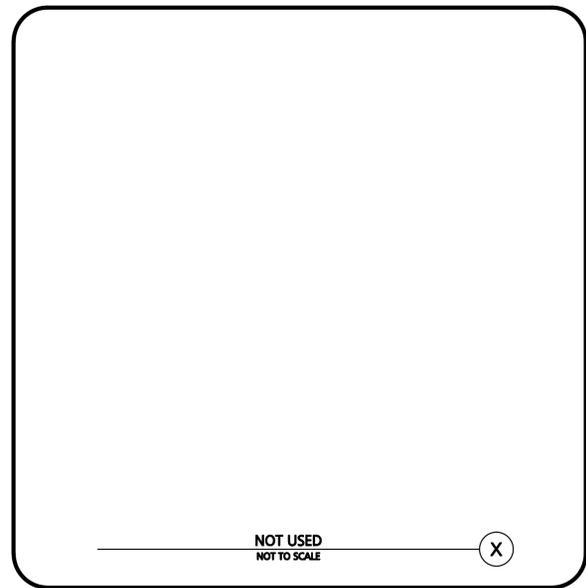
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CULTEC Recharger® 280HD Stormwater Chamber

CULTEC Recharger® 280HD Specifications

- GENERAL**
CULTEC Recharger® 280HD chambers are designed for underground stormwater management. The chambers may be used for retention, recharging, detention or controlling the flow of on-site stormwater runoff.
- CHAMBER PARAMETERS**
- The chambers shall be manufactured in the U.S.A. by CULTEC, Inc. of Brookfield, CT (cultec.com, 203-775-4416).
 - The chamber shall be vacuum thermoformed of polyethylene with a black interior and blue exterior.
 - The chamber shall be arched in shape.
 - The chamber shall be open-bottomed.
 - The chamber shall be joined using an interlocking overlapping rib method. Connections must be fully shouldered overlapping ribs, having no separate couplings or separate end walls.
 - The nominal chamber dimensions of the CULTEC Recharger® 280HD shall be 26.5 inches (673 mm) tall, 47 inches (1194 mm) wide and 8 feet (2.44 m) long. The installed length of a joined Recharger® 280HD shall be 7 feet (2.13 m).
 - Maximum inlet opening on the chamber end wall is 21 inches (525 mm) HDPE, PVC.
 - The chamber shall have two side portals to accept CULTEC HVLV® FC-24 Feed Connectors to create an internal manifold. Maximum allowable O.D. in the side portal is 10 inches (250 mm) HDPE, 12 inches (300 mm) PVC.
 - The nominal chamber dimensions of the CULTEC HVLV® FC-24 Feed Connector shall be 12 inches (305 mm) tall, 16 inches (406 mm) wide and 24.2 inches (614 mm) long.
 - The nominal storage volume of the Recharger® 280HD chamber shall be 6.079 ft³ / ft (0.565 m³ / m) - without stone. The nominal storage volume of a single Recharger 280HD Stand Alone unit shall be 46.63 ft³ (1.38 m³) - without stone. The nominal storage volume of a joined Recharger® 280HD Intermediate unit shall be 42.553 ft³ (1.205 m³) - without stone. The nominal storage volume of the length adjustment amount per run shall be 6.08 ft³ (0.56 m³) - without stone.
 - The nominal storage volume of the HVLV® FC-24 Feed Connector shall be 0.913 ft³ / ft (0.085 m³ / m) - without stone.
 - The Recharger® 280HD chamber shall have seventy-two discharge holes bored into the sidewalls of the unit's core to promote lateral conveyance of water.
 - The Recharger® 280HD chamber shall have 15 corrugations.
 - The end wall of the chamber, when present, shall be an integral part of the continuously formed unit. Separate end plates cannot be used with this unit.
 - The Recharger® 280HD Stand Alone unit must be formed as a whole chamber having two fully formed integral end walls and having no separate end plates or separate end walls.
 - The Recharger® 280HD Starter unit must be formed as a whole chamber having one fully formed integral end wall and one partially formed integral end wall with a lower transfer opening of 9 inches (229 mm) high x 35 inches (889 mm) wide.
 - The Recharger® 280HD Intermediate unit must be formed as a whole chamber having one fully open end wall and one partially formed integral end wall with a lower transfer opening of 9 inches (229 mm) high x 35 inches (889 mm) wide.
 - The Recharger® 280HD End unit must be formed as a whole chamber having one fully formed integral end wall and one fully open end wall and having no separate end plates or end walls.
 - The HVLV® FC-24 Feed Connector must be formed as a whole chamber having two open end walls and having no separate end plates or separate end walls. The unit shall fit into the side portals of the Recharger® 280HD and act as cross feed connections.
 - Chambers must have horizontal stiffening flex reduction steps between the ribs.
 - The chamber shall have a raised integral cap at the top of the arch in the center of each unit to be used as an optional inspection port or clean-out.
 - The units may be trimmed to custom lengths by cutting back to any corrugation on the large rib end.
 - The chamber shall be manufactured in an ISO 9001:2015 certified facility.
 - The chamber shall be designed and manufactured to meet the material and structural requirements of IAPMO PS 63-2019, including resistance to AASHTO H-10 and H-20 highway live loads, when installed in accordance with CULTEC's installation instructions.
 - Maximum allowable cover over the top of the chamber shall be 12' (3.66 m).
 - The chamber shall be designed to withstand traffic loads when installed according to CULTEC's recommended installation instructions.

For more information, contact CULTEC at (203) 775-4416 or visit www.cultec.com. © CULTEC, Inc., June 2020 SUB280HD 06-20



ISSUED FOR PERMIT MODIFICATION
FEBRUARY 13, 2025
REV. 4 - JUNE 10, 2026

PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

| REV | DATE | DESCRIPTION |
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| 3 | 01-09-2025 | PER REVIEW COMMENTS |
| 2 | 12-23-2024 | PER REVIEW COMMENTS |
| 1 | 11-12-2024 | PER MASSDEP INITIAL REVIEW |

APPLICANT/OWNER:
FIFTY-FIVE SAXON HINGHAM LLC
25 RECREATION PARK DRIVE, SUITE 204
HINGHAM, MA 02043

PROJECT:
OFFICE BUILDING
55 INDUSTRIAL PARK ROAD
HINGHAM, MA

| | | | |
|--------------|----------|-------------|------------|
| PROJECT NO. | 1179-20A | DATE: | 02/13/2025 |
| SCALE: | AS SHOWN | DWG. NAME: | C-1179-20 |
| DESIGNED BY: | PLC | CHECKED BY: | PLC |

PREPARED BY:

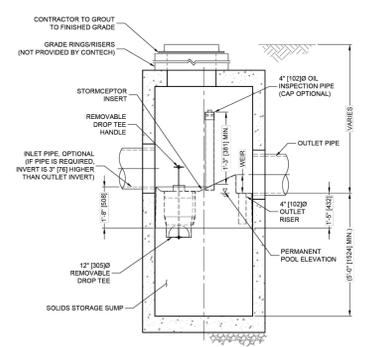
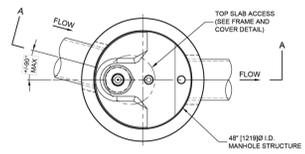
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STORMCEPTOR DESIGN NOTES

THE STANDARD STC450I CONFIGURATION WITH ROUND, SOLID FRAME AND COVER, AND INLET PIPE IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

STORMCEPTOR STC450I RATED TREATMENT CAPACITY IS 0.40 CFS, OR PER LOCAL REGULATIONS.

CONFIGURATION DESCRIPTION

- GRATED INLET ONLY (NO INLET PIPE)
- GRATED INLET WITH INLET PIPE OR PIPES
- CURB INLET ONLY (NO INLET PIPE)
- CURB INLET WITH INLET PIPE OR PIPES

SITE SPECIFIC DATA REQUIREMENTS

| STRUCTURE ID | INVERT | MATERIAL | DIAMETER |
|--------------|--------|----------|----------|
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

GENERAL NOTES

- CONTACT TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND HEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.conteches.com
- STORMCEPTOR WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
- STORMCEPTOR STRUCTURE SHALL MEET AASHTO H2010/2010 LOAD RATING, ASSUMING EARTH COVER OF 2' @ 120 PSI AND GROUNDWATER ELEVATION AT OR BELOW THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M240 AND BE CAST WITH THE CONTECH LOGO.
- STORMCEPTOR STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C475 AND AASHTO LOAD FACTOR DESIGN METHOD. ALTERNATE UNITS ARE SHOWN IN MILLIMETERS (mm).

INSTALLATION NOTES

- ANY SUB-BASE BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMCEPTOR MAN-HOLE STRUCTURE.
- CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLY STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINE.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

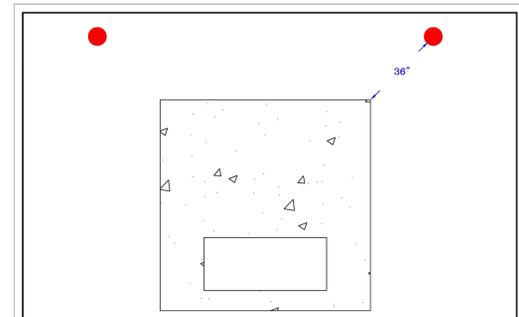
CONTECH
ENGINEERED SOLUTIONS LLC
9025 Centre Park Dr., Suite 400, West Chester, OH 43089
800-333-1122 513-545-2000 513-545-7701 FAX

STC450I
STORMCEPTOR
STANDARD DETAIL

- NOTES:
- STC 450I SHALL BE FOR PCBs 1 AND 2.
 - SEE GRADING AND DRAINAGE SHEET FOR INVERT ELEVATIONS.

CONTECH STC 450I WATER QUALITY STRUCTURE
NOT TO SCALE

7



- NOTES**
- BOLLARDS TO BE MINIMUM SIX INCHES IN DIAMETER. STEEL PIPE FILLED WITH CONCRETE.
 - BOLLARDS TO BE MINIMUM THREE FEET IN THE GROUND ENCASED IN CONCRETE.
 - BOLLARDS TO EXTEND THREE FEET ABOVE FINAL GRADE LEVEL.
 - BOLLARDS TO BE THREE FEET AWAY FROM THE CORNERS OF THE EQUIPMENT VAULTS AS SHOWN IN THE FIGURE ABOVE AS TO NOT INTERFERE WITH THE OPERATION OF THE EQUIPMENT DOORS.
 - BOLLARDS TO BE INSTALLED WHERE THE EQUIPMENT VAULTS ARE LESS THAN FIVE FEET AWAY FROM THE EDGE OF PAVEMENT.
- HINGHAM MUNICIPAL LIGHTING PLANT
ENGINEERING DEPARTMENT
HINGHAM, MASSACHUSETTS
- FIGURE 18

HMLP BOLLARDS
NOT TO SCALE

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NOTES

- ALL TRANSFORMER PADS OR OTHER UNDERGROUND OR COMPACTED EARTH, NO HOLE LARGER THAN 2 INCHES IN DIAMETER SHALL BE PRESENT IN THE FINISH GRADE OR THE MANHOLE MATERIALS.
- ALL PRIMARY AND SECONDARY CONDUITS MUST BE 4" SCH 40 PIPE ENCASED IN CONCRETE UNDER OVERHUNG STRUCTURE BY HMLP. CONCRETE SHALL BE A MINIMUM OF TWO FEET WITH 5/8" REBAR AND SHALL ENCASE THE CONDUIT WITH A MINIMUM OF 2" OF COVER.
- ALL OTHER UTILITIES SHALL HAVE A MINIMUM OF 18" COVER ABOVE THE CONCRETE TO EXPRESS CURBS OF CONCRETE WITH AN OVERLAP OF A MINIMUM OF 6" ON EACH SIDE.
- THE MINIMUM COVER FOR ALL UTILITIES SHALL BE TWENTY (20) INCHES. PREDEFINED SHALL ONLY BE USED ON RISES, WELLS, VAULTS AND PAD VAULTS. ALL OTHER UTILITIES SHALL BE FORMED BY BENDING STRAIGHT SECTIONS OF CONDUIT WITH A BENDING DEVICE.
- THE MINIMUM COVER FOR ALL HMLP CONDUITS SHALL BE FIFTEEN INCHES.
- SPACERS SHALL BE USED TO MAINTAIN THE COVERING AS SHOWN. SPACERS SHALL BE INSTALLED AT FIVE FOOT INTERVALS ALONG THE CONDUIT RUN. CONDUITS SHALL BE TIED TO THE SPACERS TO PREVENT THEM FROM FLOATING DURING THE CONCRETE POUR.
- THE MINIMUM SEPARATION BETWEEN ELECTRIC CONDUIT AND TELEPHONE CABLE SHALL BE TWELVE INCHES VERTICALLY AND TWENTY INCHES HORIZONTALLY. ALL OTHER UTILITIES SHALL HAVE A MINIMUM OF TWENTY INCHES OF SEPARATION FROM ELECTRIC CONDUITS.
- THE MINIMUM SEPARATION BETWEEN TELEPHONE CABLE SHALL BE TWENTY INCHES HORIZONTALLY FROM ALL OTHER UTILITIES.
- ALL CONDUITS MUST HAVE WEATHERPROOFING TAPES (TAPES INSTALLED BY CONTRACTOR). 4" CONDUITS MUST HAVE 1/2" WELLS TAPES INSTALLED. 2" AND 3" CONDUITS MUST HAVE 3/8" WELLS TAPES INSTALLED. ALL CONDUITS MUST BE MAINTAINED PROPERLY OPEN AND WEATHERED BY HMLP PERSONNEL. WELLS TAPES MUST BE ONE CONTINUOUS PIECE FOR EACH CONDUIT FOR ACCURATE WEATHERPROOFING. CONTRACTOR MUST TAKE MEASUREMENTS BEFORE THEM ON AN AS-BUILT AND PROVIDE THEM TO HMLP.
- ALL CONDUIT PAD AND VAULT INSTALLATION AS SHOWN IN THE PROVIDED PLAN MUST BE INSPECTED BY AN HMLP REPRESENTATIVE BEFORE ENCASED IN CONCRETE OR BACKFILLING. A NUMBER OF FIVE FOOT COVER NOTICE MUST BE OBTAIN FOR PROCEEDING INSPECTIONS.
- ALL TRANSFORMER PAD, SPICE VAULTS AND CABINETS SHALL BE LOCATED IN THE UTILITY BUILDING. A MINIMUM OF FIVE FEET AWAY FROM ANY DRIVEWAYS, DRIVEWAYS AND SIDEWALKS. SIDEWALKS MUST BE INSTALLED AS SHOWN AMONG ANY EQUIPMENT THAT IS LESS THAN TEN FEET AWAY FROM ANY DRIVEWAYS, DRIVEWAYS AND SIDEWALKS.
- CONCRETE SHALL ENTER THE SINGLE PHASE TRANSFORMER PADS, HAND-HOLDS AND CABINETS FROM THE BOTTOM AS SHOWN IN THE PLAN. CONDUITS SHALL NOT EXTEND ABOVE THE BASE OF THE PAD OR HAND-HOLD AND THREE PHASE TRANSFORMER VAULTS HAVE CONDUITS ON THE SIDE FOR CONDUIT ENTRY.
- ALL TRANSFORMER PADS, PRIMARY SPICE VAULTS AND CABINETS SHALL HAVE GROUNDING GRIDS INSTALLED AS SHOWN IN THE DETAIL DRAWING. THE GROUNDING GRID SHALL BE INSTALLED APPROXIMATELY TWO FEET BELOW GRADE LEVEL AND THE CONNECTIONS SHALL BE MECHANICAL. ENOUGH BLACK SHALL BE LEFT INSIDE THE VAULT TO EXTEND TWO FEET ABOVE THE VAULT SURFACE.
- ALL TRANSFORMER PADS, HAND-HOLDS, MANHOLES, AND PRIMARY SWITCH BASES AND CABINETS SHALL BE INSTALLED ON 10 INCHES OF 3/4" INCH STOVE FOR DRAINAGE PURPOSES.
- SWERS TO RISES CONDUITS AND RISES CONDUITS SHALL BE BOND STEEL. ONE CONDUIT SHALL BE EXTENDED TEN FEET UP THE POLE WITH INSULATED COLLAR INSTALLED ON THE SECONDARY SIDE OF THE CONDUIT SHOULD BE CAPTED AT THE TOP.
- WALL SHALL DETERMINE THE CONDITION AND STABILITY OF A POTENTIAL RISES POLE FROM TO ANY WARE PROHIBITED BY CONTRACTOR.
- FOR SINGLE PHASE TRANSFORMER PADS USE MORGAN FERRELLS PADS #25-97-43-260-25-2. MORGAN PRODUCTS 16-46-90-00 OR EQUIVALENT.
- FOR THREE-PHASE TRANSFORMER UP TO 500 KVA USE UTILITY PRODUCT FC-3-46-3 VALVE OR EQUIVALENT.
- FOR THREE-PHASE TRANSFORMER OVER 500 KVA USE UTILITY PRODUCT FC-3-46-3 VALVE OR EQUIVALENT.
- FOR SECONDARY SPICE VAULTS USE CARBON INSULATED 1/2" BORE 1/2" VALVE CODE J43-3046-1A OR EQUIVALENT UNLESS OTHERWISE NOTED BY HMLP. SECONDARY VAULTS SHALL BE EQUIPPED WITH TWO CONDUIT COVERS IN SERIALS AND WALKWAYS CARBON W-30000 WIDE, 248-PC OR EQUIVALENT FOR WET-TRAFFIC AREAS. USE CARBON L-30000 WIDE, 248-PC OR EQUIVALENT. INSTALL SECONDARY VALVES AT GRADE LEVEL.
- ALL SECONDARY MANHOLE COVERS MUST HAVE "ELECTRIC" EMBOSSED ON THEM.
- FOR ABOVE GROUND SPICING CABINETS USE MORGAN FERRELLS NO-10404-80-110-K-X OR EQUIVALENT FOR SINGLE-PHASE APPLICATIONS AND MORGAN FERRELLS NO-10404-80-110-K-X OR EQUIVALENT FOR THREE-PHASE APPLICATIONS.
- GROUNDING OF RISES CONDUITS SHALL BE THE SAME AS THE TRANSFORMER PAD GROUNDING.
- EACH STREET LIGHT FIXTURE SHALL BE TYPED AND FOUR FEET ABOVE THE FINISH GRADE. THE SECONDARY HAND-HOLE OF THE CONTAINER. STREET LIGHT WELLS SHALL BE INSTALLED FROM HAND-HOLE TO LIGHT BY CONTRACTOR. HMLP WILL REGRADE THE WELLS IN THE HAND-HOLE.
- UTILITY PRODUCT OF MORGAN 0200 201-1214 CARRIES THE BARRER FOR THE STREET LIGHTS. MORGAN PROGRAM LIGHT WELLS ORIGINALLY IN THE PLAN SHOULD BE AVAILABLE.
- TELEPHONE, CABLE AND FIRE ALARM CONDUITS SHOWN ON "TYPICAL UTILITY ELECTRIC CROSS SECTION" DRAWING ARE FOR REFERENCE PURPOSES ONLY. PLEASE CONSULT APPROPRIATE UTILITY COMPANY FOR THEIR REQUIREMENTS.
- QUANTITY AND LOCATION OF OTHER UTILITIES SHOWN ON RISES POLES MUST BE APPROVED BY HMLP BEFORE INSTALLATION.
- METER SOCKETS SHALL BE ON THE CORNER OF THE BUILDING ON THE FRONT HALF. NO EXCEPTIONS. THE LOCATION OF THE METER SOCKET MUST BE APPROVED BY HMLP PRIOR TO ANY WORK INITIATED BY CONTRACTOR.
- METER SOCKETS SHALL BE 30" ABOVE FINISH GRADE. NO EXCEPTIONS. THE LOCATION OF THE METER SOCKET MUST BE APPROVED BY HMLP PRIOR TO ANY WORK INITIATED BY CONTRACTOR.
- ALL METER SOCKETS (EXCEPT AS NOTED) SHALL BE EQUIPPED WITH A 3/4" BORE HANDLE.
- THE CENTER OF THE METER SOCKET OPENING SHALL BE A MINIMUM OF FOUR FEET AND A MAXIMUM OF SIX FEET ABOVE FINAL GRADE.
- DRIVER CONDUITS SHALL BE COPPER. ABSOLUTELY NO EXCEPTIONS.
- ANY METER SOCKET SEAL THAT IS NOT WELL REQUIRE AN HMLP TAG AND A PERMIT FROM THE TOWN OF HINGHAM DEPARTMENT OF WELLS.
- CONSULT WELLS INSPECTOR FOR OTHER SERVICE REQUIREMENTS.
- CONTACT HMLP FOR NEW REQUIREMENTS ON UNDERGROUND SERVICES.

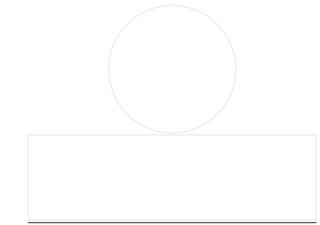
HINGHAM MUNICIPAL LIGHTING PLANT
ENGINEERING DEPARTMENT
HINGHAM, MASSACHUSETTS

FIGURE 19

HMLP CONSTRUCTION NOTES
NOT TO SCALE

5

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FEBRUARY 13, 2025
REV. 4 - JUNE 10, 2026



PROFESSIONAL ENGINEER FOR
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25 RECREATION PARK DRIVE, SUITE 204
HINGHAM, MA 02043

PROJECT:
OFFICE BUILDING
55 INDUSTRIAL
PARK ROAD
HINGHAM, MA

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| DESIGNED BY: | PLC | CHECKED BY: | PLC |

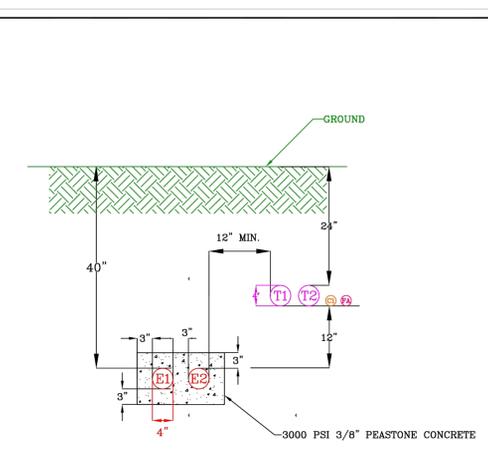
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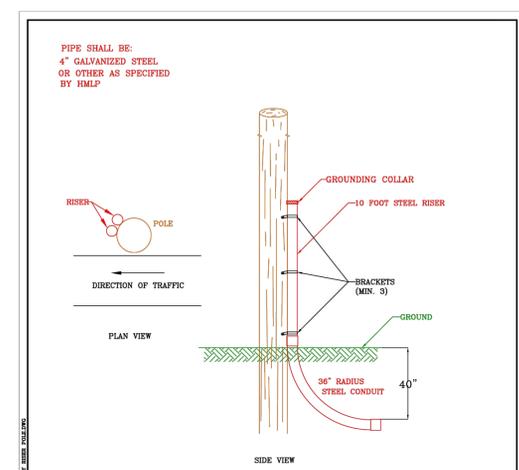
TYPICAL UTILITY DUCTBANK CROSS SECTION
(WORK BY CONTRACTOR)
NOT TO SCALE

HINGHAM MUNICIPAL LIGHTING PLANT
ENGINEERING DEPARTMENT
HINGHAM, MASSACHUSETTS

FIGURE 3

HMLP CONDUIT BANK
NOT TO SCALE

4



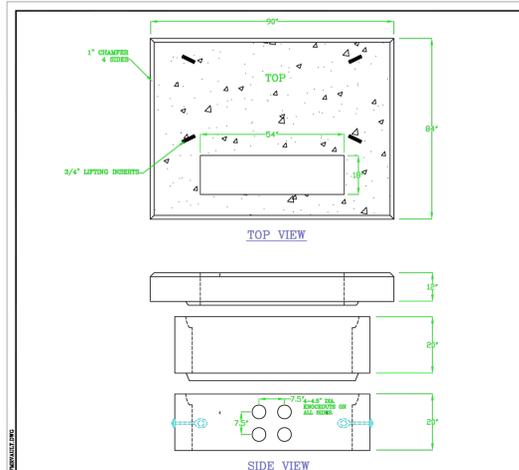
PRIMARY CONDUIT INSTALLATION ON RISER POLES
(WORK BY CONTRACTOR)
NOT TO SCALE

HINGHAM MUNICIPAL LIGHTING PLANT
ENGINEERING DEPARTMENT
HINGHAM, MASSACHUSETTS

FIGURE 1

HMLP RISER POLE
NOT TO SCALE

3



TRANSFORMER VAULT NOTES:

- CONCRETE TO BE GOOD FOR HIGH EARLY STRENGTH.
- WELLS SHALL BE REINFORCED WITH WELLS AND BOB.
- TOP TO BE REINFORCED TO SUPPORT 8-20 WELLS LOAD.
- CONCRETE TO BE COMPACTED WITH VIBRATOR.
- GALVANIZED PULL STEEL ON SPECIAL ORDER.
- ADDITIONAL HOOT OPENING ON SPECIAL ORDER.
- GROUNDING LEADS TO BE LARG ENOUGH TO EXTEND FIVE FEET ABOVE PAD OPENING.
- CONDUIT OPENING TO HAVE HELL END FLUSH WITH INSIDE WALL.
- PAD TO BE INSTALLED ON 18" BED OF 1/2" GRADE STONE.
- TOP OF PAD TO BE 4" ABOVE FINISHED GRADE.
- 3/4" DIA. x 45' LONG FILL WITHIN STRONGER STEEL TRAFFIC HEAD BOLT.
- CHIPPED NUMBER (4) PLACED.
- VAULT SHALL BE UTILITY PRODUCT FC-3-46-3 VALVE OR EQUIVALENT.

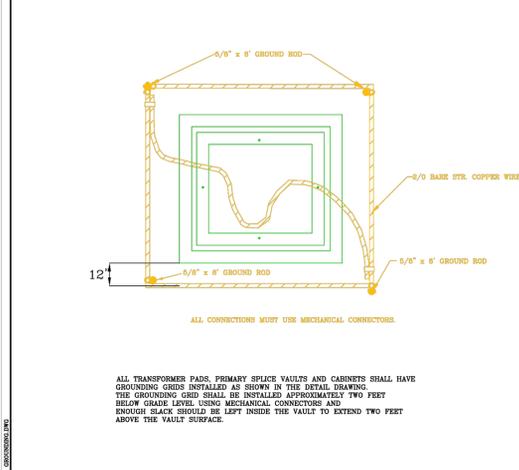
TRANSFORMER VAULT LARGER THAN 500 KVA
(WORK BY CONTRACTOR)
NOT TO SCALE

HINGHAM MUNICIPAL LIGHTING PLANT
ENGINEERING DEPARTMENT
HINGHAM, MASSACHUSETTS

FIGURE 7

HMLP TRANSFORMER VAULT
NOT TO SCALE

2



TYPICAL GROUND GRID FOR TRANSFORMER PADS AND PRIMARY SPICE VAULTS
(WORK BY CONTRACTOR)
NOT TO SCALE

HINGHAM MUNICIPAL LIGHTING PLANT
ENGINEERING DEPARTMENT
HINGHAM, MASSACHUSETTS

FIGURE 5

HMLP VAULT
NOT TO SCALE

1

