

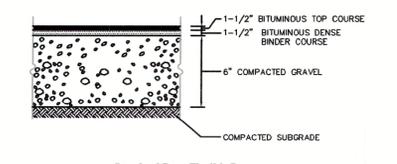
DIMENSIONAL REQUIREMENTS

ZONING ITEM	RES B	EXISTING	PROPOSED
MIN. LOT AREA	30,000 SF	35,060 SF	35,060 SF
MIN. LOT FRONTAGE	150 FT	267 FT	267 FT
MIN. YARD - FRONT	35 FT	97.7 FT	55.2 FT
MIN. YARD - SIDE	20 FT	64.4 FT	42.9 FT
MIN. YARD - REAR	20 FT	30 FT	31.1 FT
MAX. BUILDING HEIGHT	35 FT/2.5 ST		

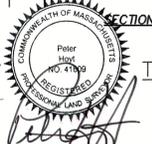
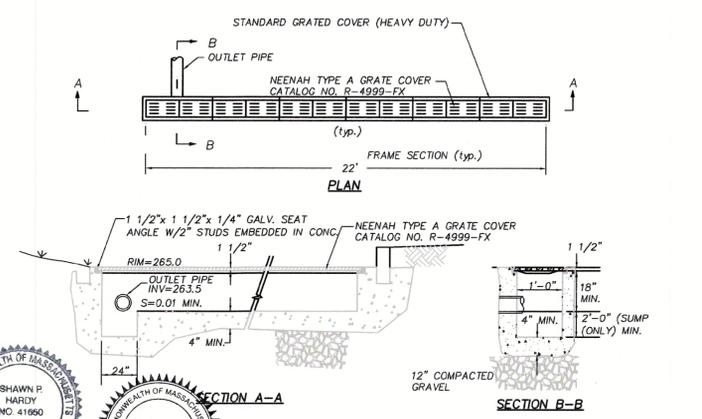
LOCUS INFORMATION
 CURRENT OWNER:
 ROBERT HEDLUND
 OWNERS REFERENCE:
 BOOK 56703 PAGE 317
 ASSESSORS REFERENCE:
 MAP 43 LOT 1
 LOT AREA:
 35,060 S.F.
 ZONE:
 RES B
 FEMA REFERENCE:
 FIRM 25023C003BK AND
 FIRM 25023C0101L
 DATE 7-3-2024

DRAINAGE AREAS

EXISTING	PROPOSED
HOUSE	701 SF
GARAGE	600 SF
DRIVEWAY	792 SF
SHED	131 SF
GREEN SPACE	32,841
EXISTING IMPERVIOUS AREA = 2,224 SF	
HOUSE/GARAGE	2,499 SF
PORCH	525 SF
DRIVEWAY	1,133 SF
EXISTING SHED	131 SF
GREEN SPACE	30,908 SF
PROPOSED IMPERVIOUS AREA = 4,288 SF	
NET CHANGE IN IMPERVIOUS AREA = +2,064	
NEW IMPERVIOUS AREA WITHIN THE 100' BUFFER	
ZONE = 1,268 SF	

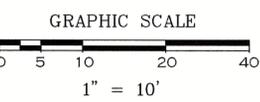


Standard Duty Flexible Pavement
 Note:
 PAVEMENT SECTIONS ARE SUBJECT TO CHANGE AND WILL BE BASED ON THE RESULTS OF FURTHER GEOTECHNICAL INVESTIGATIONS.
Bituminous Concrete Pavement Sections
 N.T.S. REV



- GENERAL NOTES:**
- EXISTING CONDITIONS DEPICTED WERE OBTAINED FROM A SURVEY PREPARED BY HOYT LAND SURVEYING, DATED APRIL 26, 2022.
 - UTILITY INFORMATION AS SHOWN WAS OBTAINED FROM A SITE SURVEY OF SURFACE OBSERVABLE INFORMATION AND RECORDS AVAILABLE WITH THE TOWN OF HINGHAM. SUBSURFACE LOCATIONS AS SHOWN ARE NOT WARRANTED TO BE CORRECT. ADDITIONAL UTILITIES MAY BE LOCATED ON SITE.
 - THE MAJORITY OF THE SITE IS LOCATED WITHIN FEMA FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) AS SHOWN ON FIRM 25023C003BK EFFECTIVE 7/3/2024 AND FIRM 25023C0101L EFFECTIVE 7/3/2024.
 - A PORTION OF THE SITE IS WITHIN FEMA FLOOD ZONE A AS SHOWN ON FIRM 25023C0101L EFFECTIVE 7/3/2024.
 - THE WETLAND LINE AS SHOWN WAS FLAGGED BY MCSWEENEY ASSOCIATES ON 8-12-2025 AND LOCATED BY HOYT LAND SURVEYING ON 8-20-2025.

DATUM:
 ALL ELEVATIONS ARE ON NAVD 88 DATUM.
SURVEY:
 BASE PLAN IS BASED ON A FIELD SURVEY BY HOYT LAND SURVEYING, INC. ON APRIL 26 2022.
GENERAL NOTES:
 1. NOTIFY DIG-SAFE AT 1-888-DIG-SAFE PRIOR TO EXCAVATION.

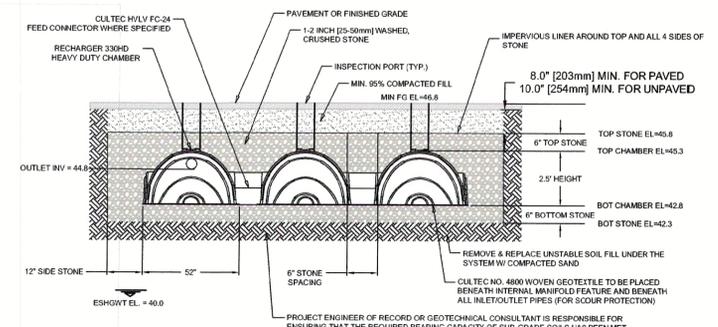
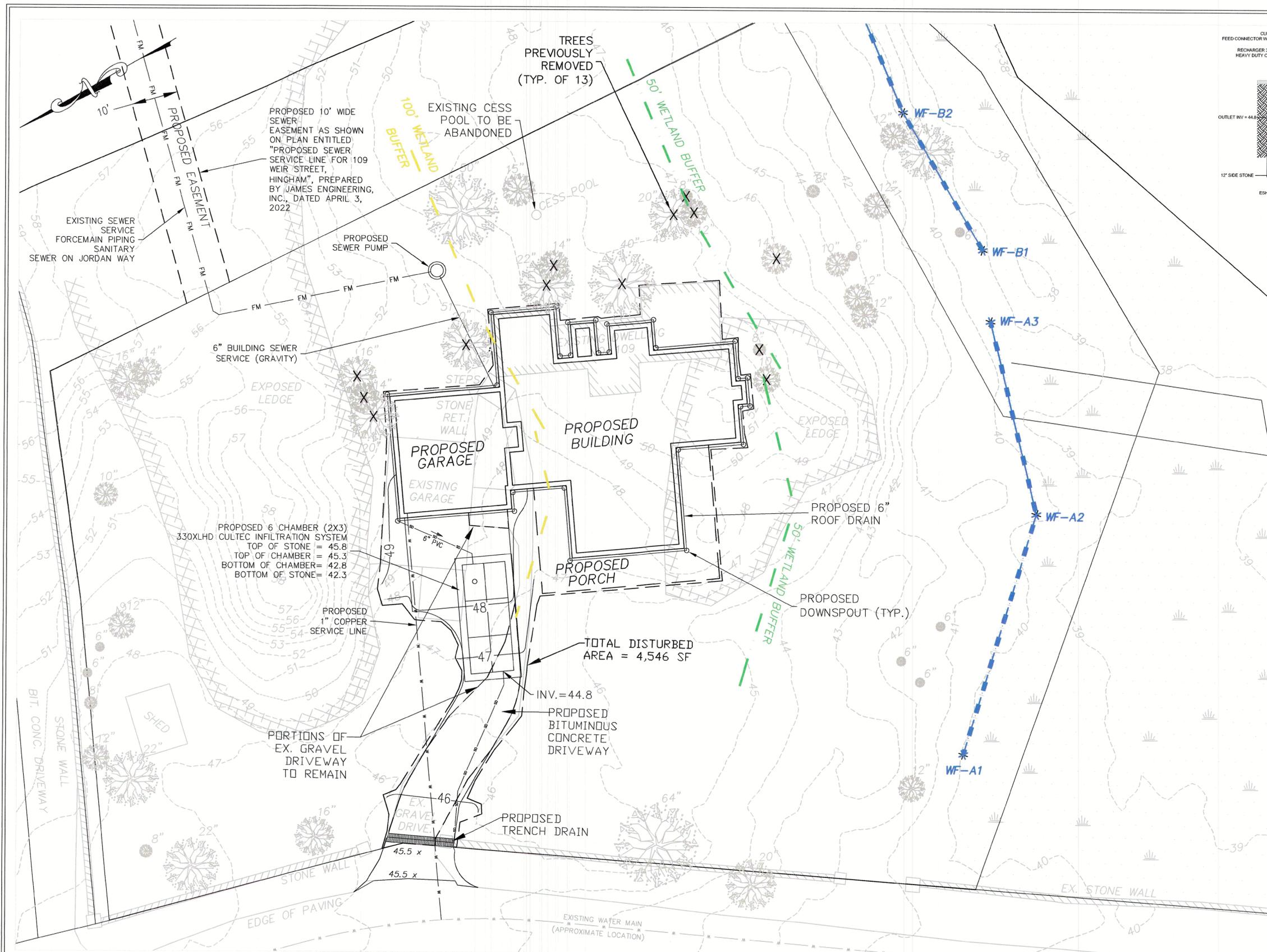


REVISIONS:

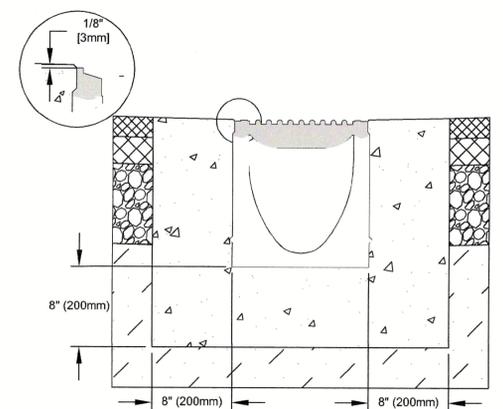
NO.	COMMENTS:	DATE:
1.	CONSERVATION COMMISSION COMMENTS	8-26-2025

NOI SITE LAYOUT PLAN
109 WEIR STREET
HINGHAM, MASSACHUSETTS
 DRAWN BY: JSG
 DESIGNED BY: JSG
 CHECKED BY: SPH
 DATE: 7-25-2025
 LATEST REVISION: 8-26-2025

HARDY - MAN DESIGN GROUP, PC
 CIVIL DEVELOPMENT CONSULTING
 1285 WASHINGTON STREET
 WEYMOUTH, MA
 (781) 335-1464
PREPARED FOR:
 NOI
SHEET
C-1

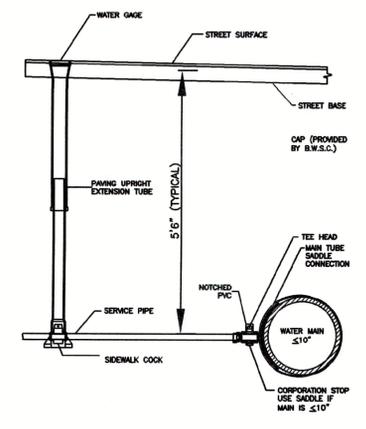


Culterc - Recharger 330 HD Chamber
N.T.S.

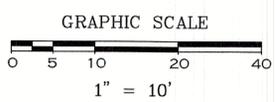


- NOTES:**
- IT IS NECESSARY TO ENSURE MINIMUM DIMENSIONS SHOWN ARE SUITABLE FOR EXISTING GROUND CONDITIONS.
 - MINIMUM CONCRETE STRENGTH OF 4,000 PSI IS RECOMMENDED. CONCRETE SHOULD BE VIBRATED TO ELIMINATE AIR POCKETS.
 - EXPANSION AND CONTRACTION CONTROL JOINTS AND REINFORCEMENT ARE RECOMMENDED TO PROTECT CHANNEL AND CONCRETE SURROUND.
 - THE FINISHED LEVEL OF THE CONCRETE SURROUND MUST BE APPROX. 1/8" (3mm) ABOVE THE TOP OF THE CHANNEL EDGE.
 - CONCRETE BASE THICKNESS SHOULD MATCH SLAB THICKNESS.
 - REFER TO ACO'S LATEST INSTALLATION INSTRUCTIONS FOR FURTHER DETAILS.

ACO S200K - CLASS C TRENCH DRAIN
N.T.S.



WATER SERVICE CONNECTION
N.T.S.



REVISIONS:		
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NOI GRADING & UTILITIES
109 WEIR STREET
HINGHAM, MASSACHUSETTS

DRAWN BY: JSG
DESIGNED BY: JSG
CHECKED BY: SPH

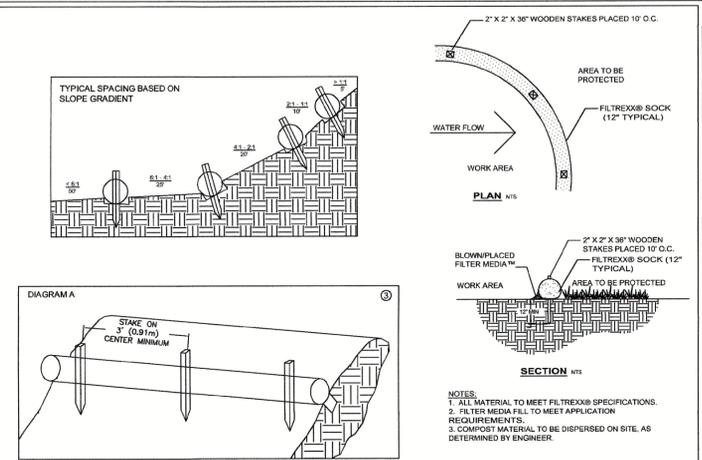
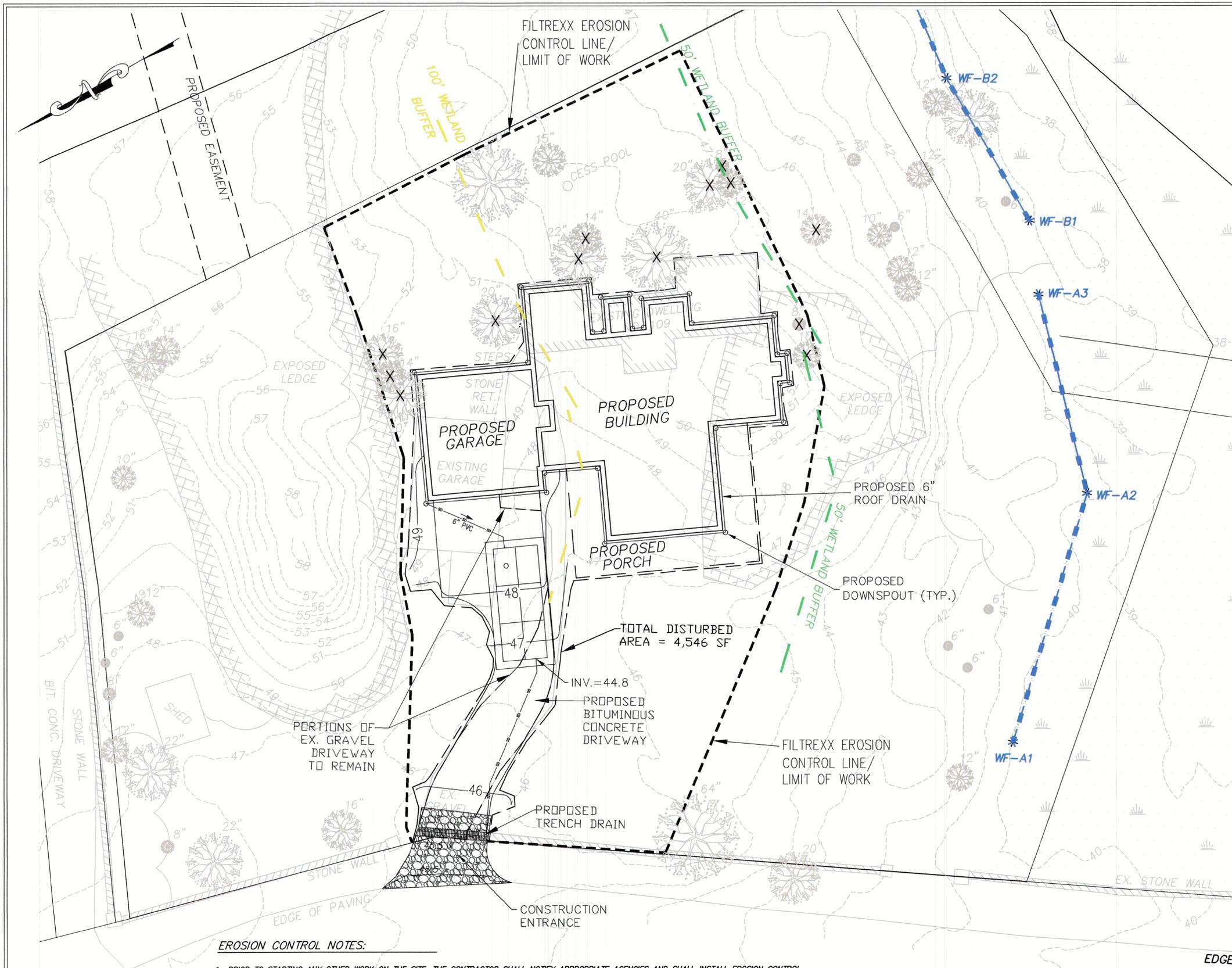
DATE: 7-25-2025
LATEST REVISION: 8-26-2025

HARDY + MAN DESIGN GROUP, PC
CIVIL DEVELOPMENT CONSULTING

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PREPARED FOR:
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FILTREXX SEDIMENT CONTROL

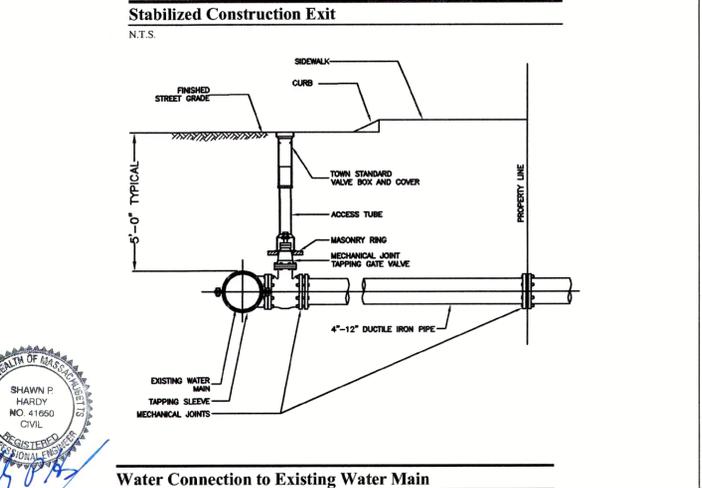
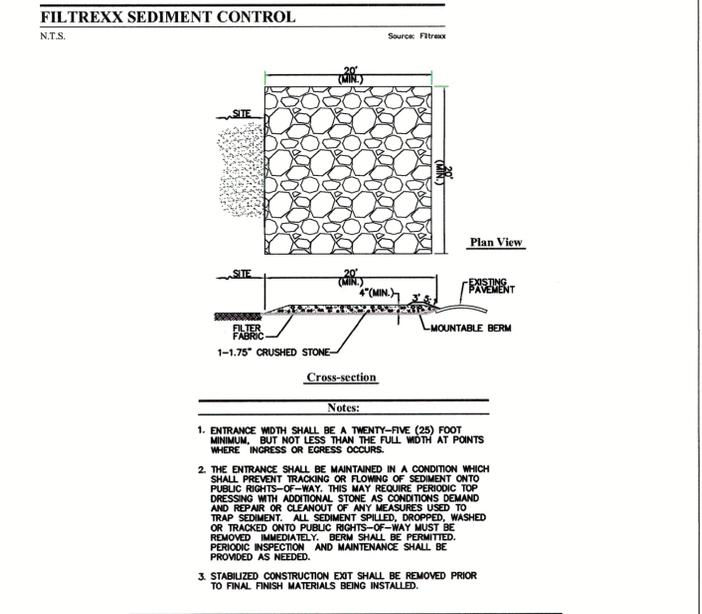
N.T.S. Source: Filtrexx

Plan View shows a cross-section of the sediment control structure with '20" (MIN.)' width and '36" (MIN.)' height.

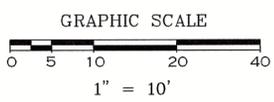
Cross-section shows a cross-section of the sediment control structure with '4" (MIN.)' width, '3" (MIN.)' height, '1-1.75" CRUSHED STONE', 'FILTER FABRIC', and 'MOUNTABLE BERM'.

Notes:

1. ENTRANCE WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
3. STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.



- EROSION CONTROL NOTES:**
1. PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
 2. CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES, AND REMOVE SEDIMENT THEREFROM ON A DAILY BASIS AND WITHIN TWELVE HOURS AFTER EACH STORM EVENT AND DISPOSE OF SEDIMENTS IN AN UPLAND AREA SUCH THAT THEY DO NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
 3. CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
 4. CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
 5. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.



REVISIONS:		
NO.:	COMMENTS:	DATE:
1.	CONSERVATION COMMISSION COMMENTS	8-26-2025

NOI EROSION CONTROL PLAN
109 WEIR STREET
HINGHAM, MASSACHUSETTS

DRAWN BY: JSG
 DESIGNED BY: JSG
 CHECKED BY: SPH

DATE: 7-25-2025
 LATEST REVISION: 8-26-2025

SHAWN P. HARDY
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