

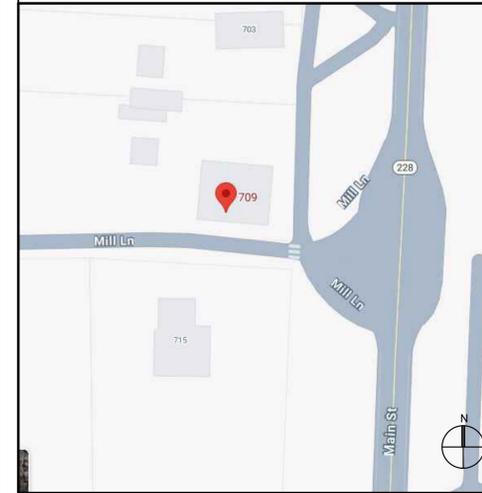
GRAPHIC SYMBOLS

| | | | | | | | | | |
|--|--|--|--|--|--|--|---|--|----------------------|
| | ENLARGED DETAIL REFERENCE NUMBER SHEET NUMBER | | CEILING 10'-0" | | DATUM POINT LOCATION ELEVATION | | SMOKE DETECTOR | | EXISTING PARTITION |
| | SECTION DETAIL REFERENCE I.D. SHEET NUMBER | | MATCH LINE SHEET NUMBER | | REVISION INDICATOR REVISION NUMBER | | CARBON MONOXIDE & SMOKE COMBO DETECTOR | | DEMOLITION PARTITION |
| | INTERIOR ELEVATION REFERENCE I.D. SHEET NUMBER | | PARTITION INDICATOR PARTITION TYPE | | FIRE DOOR SYMBOL 90MIN FIRE RATED DOOR (3HR FIRE WALL) | | HEAT DETECTOR | | NEW PARTITION |
| | WINDOW SYMBOL REFERENCE I.D. SHEET NUMBER | | FIRE DOOR SYMBOL 60MIN FIRE RATED DOOR (2HR FIRE WALL) | | FIRE DOOR SYMBOL 45MIN FIRE RATED DOOR (1HR FIRE WALL) | | | | |
| | CEILING HEIGHT KEY HEIGHT MATERIAL TYPE | | | | | | | | |

GENERAL NOTES

- ALL WORK SHALL COMPLY WITH THE INTERNATIONAL BUILDING CODE AND COMMONWEALTH OF MASSACHUSETTS STATE BUILDING CODE, THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH STANDARDS AND ALL OTHER APPLICABLE REGULATIONS, LAWS, ORDINANCES, ETC. GOVERNING THIS WORK.
- PRIOR TO BUILDING, ALL CONTRACTORS MUST THOROUGHLY EXAMINE THE DRAWINGS AND SPECIFICATIONS AND INSPECT THE BUILDING TO FULLY UNDERSTAND THE FACILITY, DIFFICULTIES AND RESTRICTIONS AFFECTING THE EXECUTION OF THE WORK UNDER THIS CONTRACT. THE FAILURE OF ANY CONTRACTORS TO RECEIVE OR EXAMINE ANY FORM OF INSTRUMENT OR DOCUMENT OR TO VISIT THE SITE SHALL IN NO WAY RELIEVE ANY OBLIGATION WITH RESPECT TO THIS WORK. NO CLAIMS FOR ANY ADDITIONAL COST WILL BE ALLOWED DUE TO LACK OF FULL KNOWLEDGE OF EXISTING CONDITIONS.
- CONTRACTOR'S BID PRICE SHALL REFLECT ALL SPECIFIED WORK.
- INFORMATION ON THESE PLANS ARE SCHEMATIC. INDIVIDUAL ROOF MANUFACTURES HAVE DIFFERENT DETAILS AND THESE MAY VARY DEPENDING ON WHICH MANUFACTURING SYSTEM IS SELECTED. CONTRACTOR SHOULD VISIT SITE TO ENSURE THAT HE IS FAMILIAR WITH THE PROJECT REQUIREMENT TO DO A COMPLETE ATTENTION SHOULD BE MADE AT THE MECHANICAL EQUIPMENT WITH RESPECT TO DISCONNECTION, MOVING, ROOF INSTALLATION AND RE-INSTALLING.
- ALL EXISTING CONDITIONS AND PLAN AND DETAIL DIMENSIONS SHOULD BE VERIFIED IN THE FIELD PRIOR TO COMMENCING THE WORK. THE CONTRACTOR SHALL NOTIFY THE CONTRACTING OFFICER OF ANY DISCREPANCIES FOUND IN THE PLANS OR SPECIFICATIONS BEFORE PROCEEDING WITH AFFECTED PART OF THE WORK.
- THE GENERAL CONTRACTOR MUST RECONFIRM THE DIMENSIONS OF THE DEMISING PARTITIONS AND COLUMN LOCATIONS.
- THE GENERAL CONTRACTOR SHALL UPON INITIAL SITE VISIT VERIFY ALL EXISTING CONDITIONS (I.E., OVERALL DIMENSIONS, CONDITION OF CONCRETE SLAB, LOCATION OF SERVICES, STRUCTURE, CLEARANCES, ETC.) AND REPORT ANY DISCREPANCIES, OMISSIONS, OR OBSTRUCTIONS THAT WILL AFFECT THE LAYOUT OR DESIGN OF THE SPACE IMMEDIATELY TO THE OWNER OR OWNER'S PROJECT MANAGER.
- CONTRACTOR SHALL LAY OUT PARTITION LINES ON FLOOR AT BEGINNING OF JOB AND NOTIFY ARCHITECT OF ANY OMISSIONS OR DISCREPANCIES IN THE CONTRACT DOCUMENTS IMMEDIATELY.
- G.C. TO PATCH AND REPAIR EXISTING WALLS AFFECTED BY DEMOLITION OR NEW CONSTRUCTION WITH LIKE CONSTRUCTION MATERIALS TO MATCH EXISTING.
- THE CONTRACTOR SHALL TAKE ADEQUATE PRECAUTION TO PROTECT ADJOINING PROPERTY AND STRUCTURES FROM DAMAGE. ALL ABUTTING WORK SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO EXTRA COST TO THE OWNER.
- IT IS NOT INTENDED THAT THESE DRAWINGS SHOW EVERY CUT, CONDITION ETC., OF THIS SYSTEM. HOWEVER, THE CONTRACTOR SHALL FURNISH A COMPLETE PRODUCT IN ACCORDANCE WITH THE BEST PRACTICE OF THE TRADE AND IN STRICT CONFORMANCE WITH ALL APPLICABLE INTERNATIONAL CODE AND STATE BUILDING CODE REGULATIONS.
- CONTRACTOR SHALL ADHERE TO A SCHEDULE FOR ALL WORK WHICH DOES NOT INTERFERE WITH NORMAL OPERATIONS OF THE FACILITY.
- CONTRACTOR SHALL ENSURE THAT MEMBRANE ROOFING MANUFACTURE'S REPRESENTATIVE IS PRESENT ON SITE DURING INSTALLATION OF THE ENTIRE ROOF.
- ROOF SLOPES AS NOTED ON DRAWINGS ARE BASED ON AVAILABLE EXISTING INFORMATION. CONTRACTOR SHALL VERIFY ALL ELEVATIONS AND SLOPES AND SUBMIT TO DESIGNER ALL EXISTING ELEVATIONS PRIOR TO INSTALLATION OF INSULATION. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE MINIMUM SLOPES TOWARDS ROOF FRAMING AS NOTED. USE TAPERED INSULATION AT FLAT AREAS AS REQUIRED TO ACHIEVE POSITIVE SLOPES.
- COMPLETE SYSTEM WARRANTIES INCLUDING ROOFING, INSULATION AND OTHER RELATED ITEMS ARE REQUIRED FOR THIS PROJECT. REFER TO MANUFACTURER'S SPECIFICATION.
- DO NOT PUT DISSIMILAR METALS IN CONTACT WITH EACH OTHER.
- UNLESS SPECIFICALLY NOTED AS EXISTING, ALL ITEMS ARE NEW.
- USE ONLY MASONRY MATERIALS FOR MASONRY PATCHING AND USE ONLY ROOFING MATERIALS FOR ROOF WORK.

LOCUS PLAN



DOCUMENT LIST

| | | | |
|------|------------------------|-------|----|
| A0.1 | TITLE SHEET | SHEET | 1 |
| A1.1 | DEMOLITION FLOOR PLANS | SHEET | 2 |
| A1.2 | DEMOLITION FLOOR PLAN | SHEET | 3 |
| A1.3 | PROPOSED FLOOR PLAN | SHEET | 4 |
| A1.4 | PROPOSED FLOOR PLAN | SHEET | 5 |
| A1.5 | PROPOSED FLOOR PLAN | SHEET | 6 |
| A1.6 | PROPOSED FLOOR PLAN | SHEET | 7 |
| A1.7 | PROPOSED FLOOR PLAN | SHEET | 8 |
| A2.1 | EXISTING ELEVATIONS | SHEET | 9 |
| A2.2 | EXISTING ELEVATIONS | SHEET | 10 |
| A2.3 | PROPOSED ELEVATIONS | SHEET | 11 |
| A2.4 | PROPOSED ELEVATIONS | SHEET | 12 |
| A3.1 | ARCHITECTURAL DETAILS | SHEET | 13 |
| A3.2 | ARCHITECTURAL DETAILS | SHEET | 14 |
| A3.3 | ARCHITECTURAL DETAILS | SHEET | 15 |

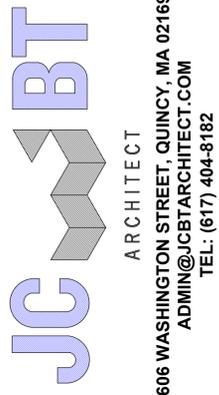
ABBREVIATION

| | | | |
|---|-------------------------------|---|------------------------------|
| ABI ACCENT BUILT-IN | FAO FINISHED ALL OVER | MAX MAXIMUM | RM ROOM |
| ACT ACOUSTIC CEILING TILE | FE FIRE EXTINGUISHER | MB MERCHANDISE BAY | RO ROUGH OPENING |
| AFF ABOVE FINISH FLOOR | FEC FIRE EXTINGUISHER CABINET | MDO MEDIUM DENSITY OVERLAY | SBC STANDARD BUILDING CODE |
| AL ALUMINUM | FIN FINISH | MECH MECHANICAL | SCH SCHEDULE |
| AVG AVERAGE | FT FEET | MFR MANUFACTURER | SECT SECTION |
| BD BOARD | FL FLOOR | MIN MINIMUM | SHT SHEET |
| BLDG BUILDING | FLUOR FLUORESCENT | MISC MISCELLANEOUS | SIM SIMILAR |
| BOCA BUILDING OFFICIALS CODE ADMINISTRATION | FRT FIRE RETARDANT TREATED | MLDG MOLDING | SMF STRUCTURAL METAL FRAMING |
| BR BRASS | FS FULL SIZE | MO MASONRY OPENING | SPECS SPECIFICATIONS |
| BRZ BRONZE | FSU FREE STANDING UNIT | MR MOISTURE RESISTANT | SQ SQUARE |
| CAB CABINET | FURN FURNISH | MTL METAL | SQ FT SQUARE FEET |
| CH CHROME | FW FEATURE WALL | MULL MULLION | SQ IN SQUARE INCHES |
| CL CENTER LINE | GA GAUGE | NAT NATURAL | SS STAINLESS STEEL |
| CLG CEILING | G.C. CONTRACTOR | NIC NOT IN CONTRACT | STD STANDARD |
| CLR CLEAR | GL GLASS | NFPA NATIONAL FIRE PROTECTION ASSOCIATION | SUSP SUSPENDED |
| CMU CONCRETE MASONRY UNIT | GRG GLASS REINFORCED GYPSUM | NO NUMBER | SYS SYSTEM |
| COL COLUMN | GWB GYPSUM BOARD | NOM NOMINAL | T THICK |
| CONC CONCRETE | H HEIGHT | NTS NOT TO SCALE | T&G TONGUE AND GROOVE |
| CONST CONSTRUCTION | HC HOLLOW CORE | OC ON CENTER | TEL TELEPHONE |
| CONT CONTINUOUS | HDWD HARDWARE | OFI OWNER FURNISHED ITEM | TEMP TEMPERATURE |
| D DEEP | HDWD HARDWOOD | OPNG OPENING | TR TREAD |
| DEMO DEMOLITION | HR HANGRAIL | OPP OPPOSITE | TYP TYPICAL |
| DET DETAIL | IN INCH | PL PLASTIC LAMINATE | UBC UNIFORM BUILDING CODE |
| DIA DIAMETER | INSUL INSULATION | PLBG PLUMBING | UNO UNLESS NOTED OTHERWISE |
| DIV PNL DIVIDER PANEL | INT INTERIOR | PLYWD PLYWOOD | UR URINAL |
| DWG DRAWING | JB JUNCTION BOX | PNL PANEL | VB VAPOR BARRIER |
| EA EACH | L LONG | PT PRESSURE TREATED | VIF VERIFY IN THE FIELD |
| ELEC ELECTRIC | LAV LAVATORY | QTY QUANTITY | W WIDE |
| EQ EQUAL | LIN LINEAR | R RADIUS | WC WATER CLOSET |
| EST ESTIMATE | LL LANDLORD | REF REFERENCE | WD WOOD |
| EXIST EXISTING | LT LIGHT | REQD REQUIRED | WI WROUGHT IRON |
| | LTG LIGHTING | REV REVISION | WT WEIGHT |
| | | | W/O WITHOUT |

MAIN HOUSE SQUARE FOOTAGE CALCULATION

| EXISTING CONDITION | |
|--------------------------------------|---------------------|
| ATTIC @ 7'-3" CEILING HEIGHT OR MORE | 316 SF +/- |
| ATTIC | 1,163 SF +/- |
| 2ND FLOOR | 2,326SF +/- |
| 1ST FLOOR | 2,519 SF +/- |
| TOTAL GROSS LIVING AREA | 5,161 SF +/- |
| BEDROOM | 7 |
| FULL BATHROOM | 4 |
| PROPOSED CONDITION | |
| ATTIC @ 7'-3" CEILING HEIGHT OR MORE | 316 SF +/- |
| ATTIC | 4,389 SF +/- |
| 2ND FLOOR | 4,570 SF +/- |
| 1ST FLOOR | 4,074 SF +/- |
| ATTACHED GARAGE | 1,228 SF +/- |
| TOTAL GROSS LIVING AREA | 8,960 SF +/- |
| BEDROOM | 9 |
| FULL BATHROOM | 7 |
| HALF BATHROOM | 1 |

EXISTING 3-FAMILY ALTERATION & ADDITION 709 MAIN ST, HINGHAM, MA



ARCHITECT
606 WASHINGTON STREET, QUINCY, MA 02169
ADMIN@JCBTARCHITECT.COM
TEL: (617) 404-8182

CONSULTANT

REGISTRATION



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| 1 | JZ | HISTORICAL SUBMISSION #2 | 8/25/2025 |
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PROJECT

EXISTING 3-FAMILY
ALTERATION & ADDITION

709 MAIN ST,
HINGHAM, MA

PROJECT NO. 25065

SHEET TITLE

TITLE SHEET

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| DRAWN: J.Z. | DRAWING NO: |
| SCALE: NOTED | |
| DATE: 6/9/2025 | |
| CHECKED: | A0.1 |
| SHEET 1 OF 15 | |

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PROJECT

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ALTERATION & ADDITION

709 MAIN ST,
HINGHAM, MA

PROJECT NO. 25065

SHEET TITLE

DEMOLITION
FLOOR PLAN

DRAWN: K.T.

DRAWING NO:

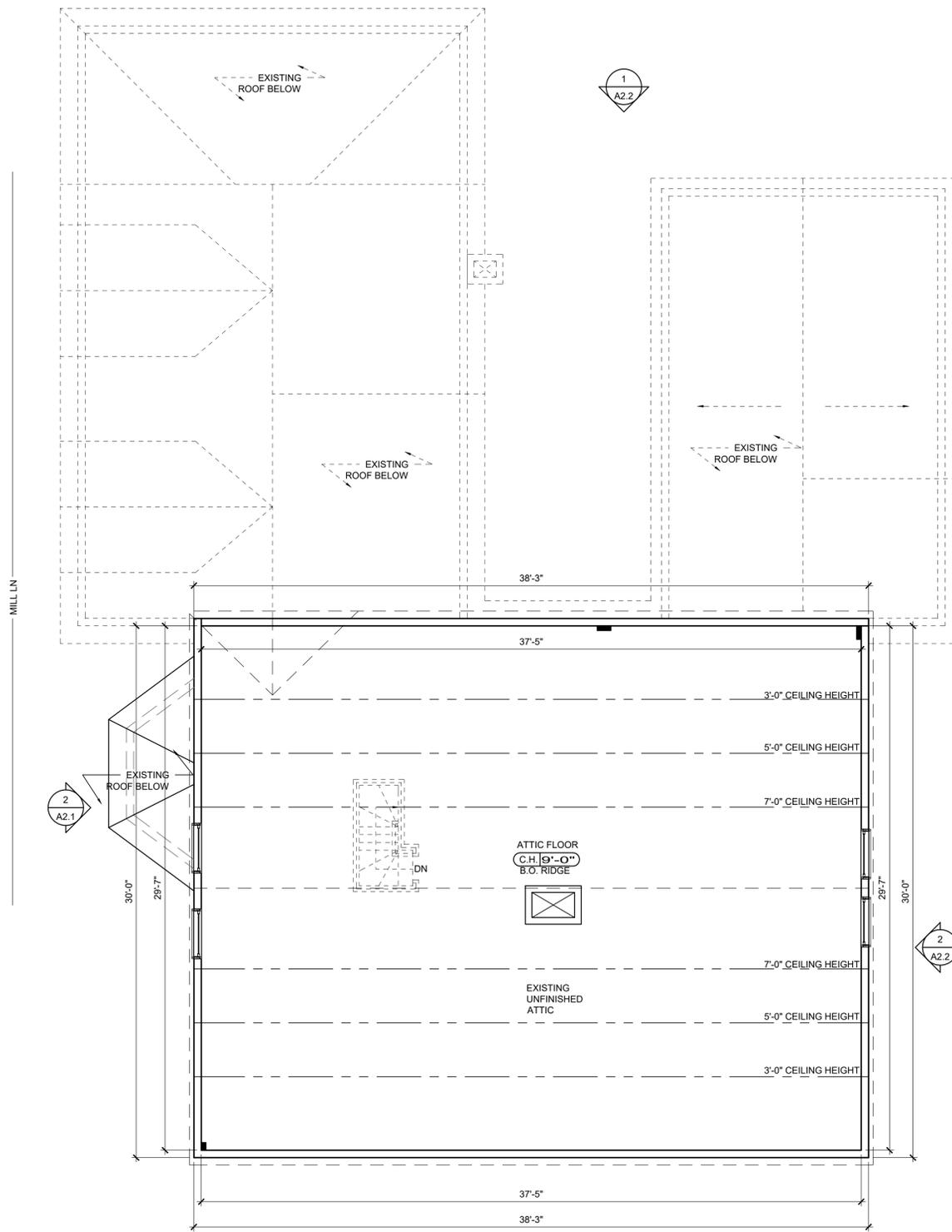
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SHEET 3 OF 15

A1.2



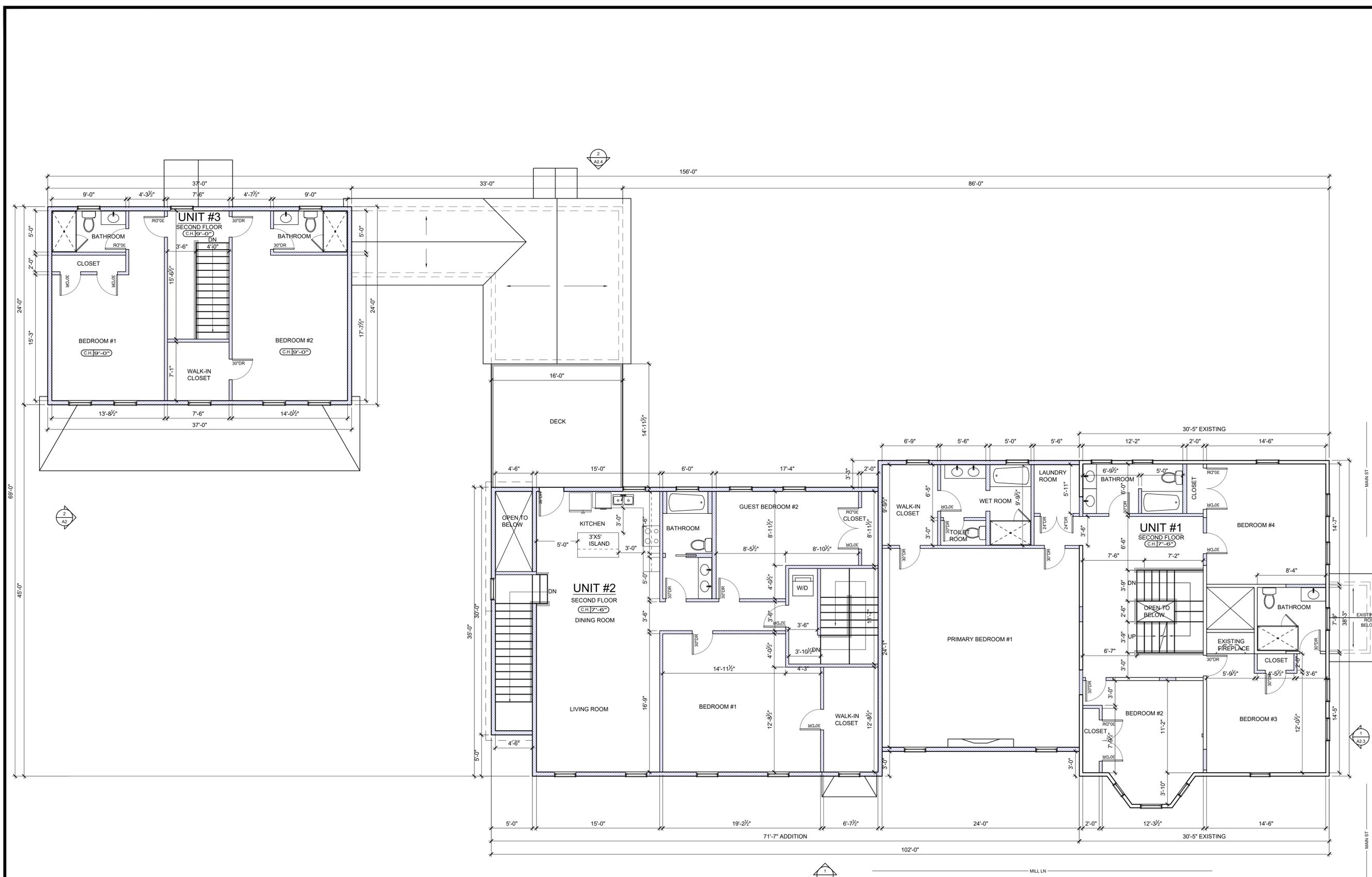
MILL LN

MAIN ST

EXISTING ATTIC FLOOR PLAN
SCALE: 1/4"=1'-0"

1
A1.2





PROPOSED SECOND FLOOR PLAN
SCALE: 3/16"=1'-0"



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PROJECT

EXISTING 3-FAMILY
ALTERATION & ADDITION

709 MAIN ST,
HINGHAM, MA
PROJECT NO. 25065

SHEET TITLE

PROPOSED
FLOOR PLAN

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| DRAWN: K.T.J.Z | DRAWING NO: |
| SCALE: NOTED | |
| DATE: 05/14/2025 | |
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| SHEET 6 OF 15 | A1.5 |

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PROJECT

EXISTING 3-FAMILY
ALTERATION & ADDITION

709 MAIN ST,
HINGHAM, MA

PROJECT NO. 25065

SHEET TITLE

PROPOSED
FLOOR PLAN

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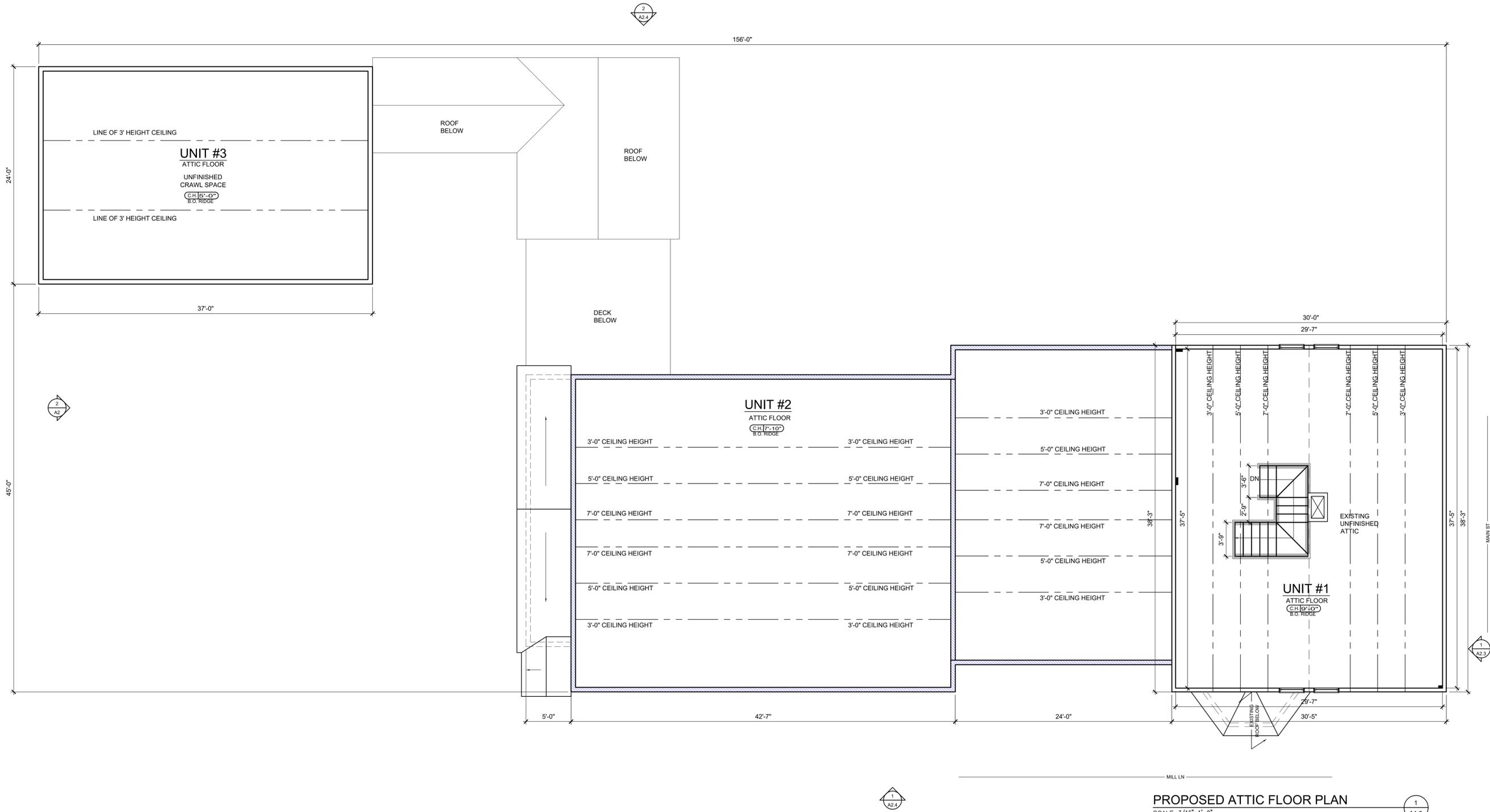
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A1.6

SHEET 7 OF 15



PROPOSED ATTIC FLOOR PLAN
SCALE: 3/16"=1'-0"



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PROJECT

EXISTING 3-FAMILY
ALTERATION & ADDITION

709 MAIN ST,
HINGHAM, MA

PROJECT NO. 25065

SHEET TITLE

PROPOSED
ELEVATIONS

DRAWN: K.T./J.Z.

DRAWING NO.

SCALE: NOTED

DATE: 06/03/2025

CHECKED:

A2.3

SHEET 11 OF 15



PROPOSED FRONT (EAST) ELEVATION (MAIN ST)

SCALE: 1/4"=1'-0"

1
A2.3

ALL NEW AND EXISTING WINDOWS SHALL BE 6/6 SDL.

ALL DOORS SHALL MATCH THE EXISTING PROFILES.

ALL SIDING WILL BE REPLACED WITH CEDAR OR EQUAL SIDING TO MATCH THE EXISTING PROFILE

ALL WINDOW TRIMS TO BE INSTALLED OR REPLACED WITH SOLID CEDAR OR EQUAL TO MATCH THE EXISTING TRIMS.

ALL FASCIA AND SOFFIT TRIMS TO BE INSTALLED OR REPLACED WITH SOLID CEDAR TO MATCH EXISTING PROFILES

ALL GUTTERS SHALL BE INSTALLED OR REPLACED WITH NEW BLACK ALUMINUM GUTTERS, AND WHITE SMOOTH ROUND LEADERS

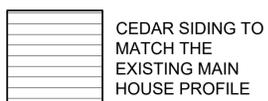


PROPOSED LEFT SIDE (SOUTH) ELEVATION (MILL LN)

SCALE: 1/4"=1'-0"

2
A2.3

GRAPHIC LEGEND



| WINDOW SCHEDULE | | | | | | |
|-----------------|---------------------|-----------|--------------------|------------------------|-----|-----------------------------|
| ITEM | BRAND | MODEL | ROUGH OPENING SIZE | WINDOW SIZE | QTY | REMARK |
| A | ANDERSEN OR SIMILAR | 244DH3050 | 2'-10" X 4'-10" | 2'-9 1/2" X 4'-9 1/2" | 27 | DOUBLE HUNG |
| B | ANDERSEN OR SIMILAR | 244DH2640 | 2'-10" X 3'-10" | 2'-9 1/2" X 3'-9 1/2" | 7 | DOUBLE HUNG |
| B.1 | ANDERSEN OR SIMILAR | 244DH2640 | 2'-10" X 3'-10" | 2'-9 1/2" X 3'-9 1/2" | 4 | DOUBLE HUNG, TEMPERED GLASS |
| C | ANDERSEN OR SIMILAR | 244DH3040 | 2'-6" X 3'-0" | 2'-5 1/2" X 2'-11 1/2" | 1 | DOUBLE HUNG, TEMPERED GLASS |



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PROJECT

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 ALTERATION & ADDITION

709 MAIN ST,
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PROJECT NO. 25065

SHEET TITLE

PROPOSED
 ELEVATIONS

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| DRAWN: K.T./J.Z. | DRAWING NO: |
| SCALE: NOTED | |
| DATE: 06/03/2025 | |
| CHECKED: | |
| SHEET 12 OF 15 | A2.4 |



EXISTING FRONT ENTRY



EXISTING CHIMNEY



EXISTING HISTORIC SIGN AND VINYL WINDOW



EXISTING CORNER AND FASCIA DETAIL



EXISTING OLDER WINDOW



EXISTING FRONT OF HOUSE LOOKING SOUTH WEST AND DOWN THE NORTHERN SIDE OF EXISTING DWELLING



EXISTING VINYL WINDOWS

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PROJECT

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ALTERATION & ADDITION

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PROJECT NO. 25065

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ARCHITECTURAL
DETAILS

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SHEET 13 OF 15

DRAWING NO:
A3.1

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PROJECT

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ALTERATION & ADDITION

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PROJECT NO. 25065

SHEET TITLE

ARCHITECTURAL
DETAILS

DRAWN: K.T.J.Z

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SHEET 14 OF 15

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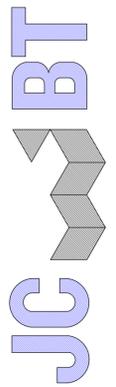
A3.2



REAR VIEW LOOKING EAST TOWARD MAIN STREET



SIDE VIEW LOOKING WEST DOWN MILL LANE



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PROJECT

EXISTING 3-FAMILY
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709 MAIN ST,
 HINGHAM, MA

PROJECT NO. 25065

SHEET TITLE

ARCHITECTURAL
 DETAILS

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| DRAWN: K.T.J.J.Z | DRAWING NO: |
| SCALE: NOTED | A3.3 |
| DATE: 06/03/2025 | |
| CHECKED: | |
| SHEET 15 OF 15 | |