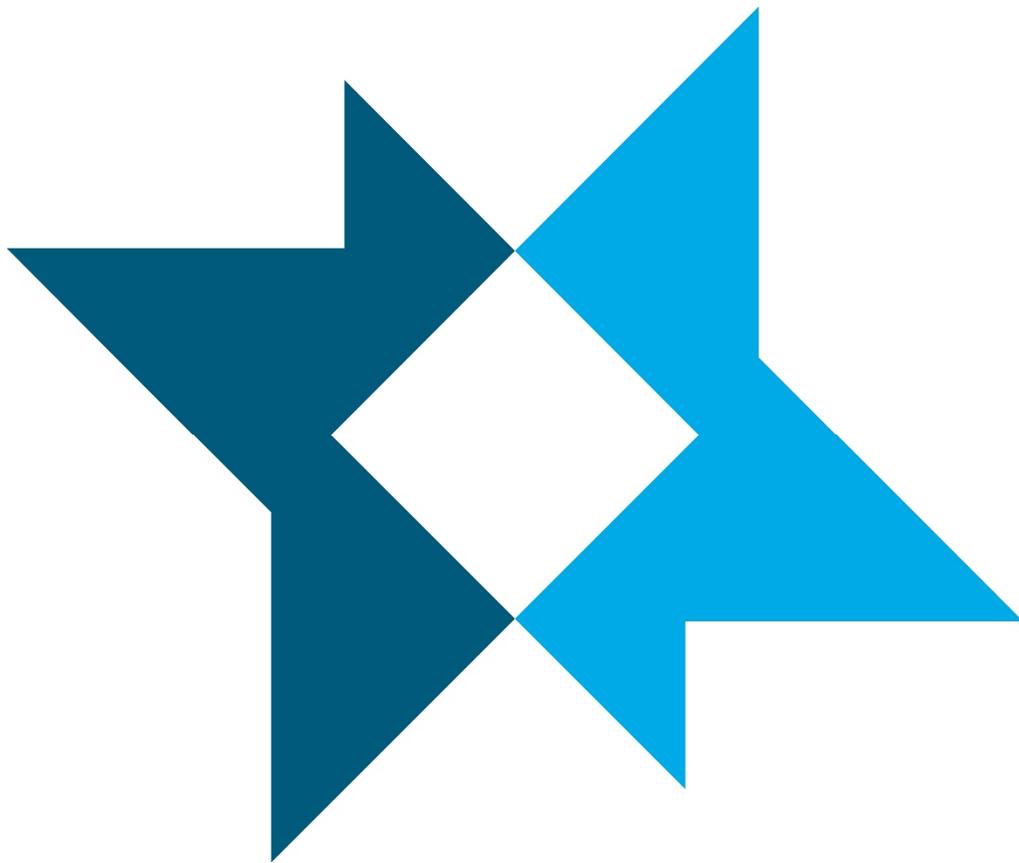




Notice of Intent

**Hingham Shipyard Marina  
Maintenance & Repairs  
Hingham, MA**



**24 Shipyard Drive**

Hingham, MA

August 2025

Project ID: 007H063.24

Solving our clients' toughest  
science and engineering challenges.

# **Hingham Shipyard Marina Maintenance and Repairs**

Project ID: 007H063.24

Prepared for  
**Hingham Shipyard Marinas, LLC**  
24 Shipyard Drive  
Hingham, MA 02043

Prepared by  
**Foth Infrastructure & Environment, LLC**

August 2025

#### **REUSE OF DOCUMENTS**

This document (including any enclosures and attachments) has been prepared for the exclusive use and benefit of the addressee(s) and solely for the purpose for which it is provided. Any use outside of said purpose and/or by anyone other than the addressee(s) is at the unauthorized user's sole risk.

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114 Touro St. • Newport, RI 02840 • (401) 236-0360  
foth.com

# Hingham Shipyard Marina Maintenance and Repairs

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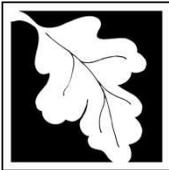
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**Massachusetts Department of Environmental Protection**  
 Bureau of Resource Protection - Wetlands  
**WPA Form 3 – Notice of Intent**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

\_\_\_\_\_  
 MassDEP File Number

\_\_\_\_\_  
 Document Transaction Number

\_\_\_\_\_  
 City/Town

**Important:**  
 When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:  
 Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

**A. General Information**

1. Project Location (**Note:** electronic filers will click on button to locate project site):

24 Shipyard Drive Hingham 02043  
 a. Street Address b. City/Town c. Zip Code

Latitude and Longitude:  
42.1511 70.5518  
 d. Latitude e. Longitude

Map 35 Lot 55  
 f. Assessors Map/Plat Number g. Parcel /Lot Number

2. Applicant:

Cherie Rudzinsky  
 a. First Name b. Last Name

Sea Chain Marina, LLC c/o Hingham Shipyard Marinas, LLC  
 c. Organization

24 Shipyard Drive  
 d. Street Address

Hingham MA 02043  
 e. City/Town f. State g. Zip Code

781-749-6647 cherie@hinghamshipyardmarinas.com  
 h. Phone Number i. Fax Number j. Email Address

3. Property owner (required if different from applicant):  Check if more than one owner

\_\_\_\_\_  
 a. First Name b. Last Name

\_\_\_\_\_  
 c. Organization

\_\_\_\_\_  
 d. Street Address

\_\_\_\_\_  
 e. City/Town f. State g. Zip Code

\_\_\_\_\_  
 h. Phone Number i. Fax Number j. Email address

4. Representative (if any):

Fiona Vardy  
 a. First Name b. Last Name

Foth Infrastructure & Environment, LLC (Foth)  
 c. Company

114 Touro Street  
 d. Street Address

Newport RI 02840  
 e. City/Town f. State g. Zip Code

401-910-7720 fiona.vardy@foth.com  
 h. Phone Number i. Fax Number j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

\$2,000.00 \$987.50 \$1,012.50  
 a. Total Fee Paid b. State Fee Paid c. City/Town Fee Paid



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

# WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

---

MassDEP File Number

---

Document Transaction Number

---

City/Town

## A. General Information (continued)

6. General Project Description:

Hingham Shipyard Marinas, LLC (HSM) is submitting this NOI to authorize ongoing maintenance, repair, and replacement activities as necessary to ensure the continued compliance, safety, and functionality of the existing marina infrastructure. Please see the attached project narrative and site plan for additional details.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1.  Single Family Home
- 2.  Residential Subdivision
- 3.  Commercial/Industrial
- 4.  Dock/Pier
- 5.  Utilities
- 6.  Coastal engineering Structure
- 7.  Agriculture (e.g., cranberries, forestry)
- 8.  Transportation
- 9.  Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

1.  Yes  No      If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

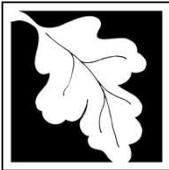
8. Property recorded at the Registry of Deeds for:

Plymouth	
a. County	b. Certificate # (if registered land)
34014	53
c. Book	d. Page Number

## B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1.  Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2.  Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

**WPA Form 3 – Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

City/Town

**B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)**

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet	2. square feet
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet	2. square feet
	3. cubic yards dredged	

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet	2. square feet
	3. cubic feet of flood storage lost	4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet	
	2. cubic feet of flood storage lost	3. cubic feet replaced
f. <input type="checkbox"/> Riverfront Area	1. Name of Waterway (if available) - <b>specify coastal or inland</b>	

2. Width of Riverfront Area (check one):

- 25 ft. - Designated Densely Developed Areas only
- 100 ft. - New agricultural projects only
- 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: \_\_\_\_\_ square feet

4. Proposed alteration of the Riverfront Area:

a. total square feet	b. square feet within 100 ft.	c. square feet between 100 ft. and 200 ft.
----------------------	-------------------------------	--

5. Has an alternatives analysis been done and is it attached to this NOI?  Yes  No

6. Was the lot where the activity is proposed created prior to August 1, 1996?  Yes  No

3.  Coastal Resource Areas: (See 310 CMR 10.25-10.35)

**Note:** for coastal riverfront areas, please complete **Section B.2.f.** above.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 - Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File Number
Document Transaction Number
City/Town

B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users: Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

Table with 3 columns: Resource Area, Size of Proposed Alteration, Proposed Replacement (if any). Rows include Designated Port Areas, Land Under the Ocean, Barrier Beach, Coastal Beaches, Coastal Dunes.

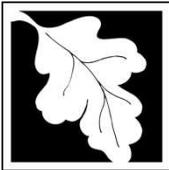
Table with 3 columns: Resource Area, Size of Proposed Alteration, Proposed Replacement (if any). Rows include Coastal Banks, Rocky Intertidal Shores, Salt Marshes, Land Under Salt Ponds, Land Containing Shellfish, Fish Runs, Land Subject to Coastal Storm Flowage.

4. [ ] Restoration/Enhancement
If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.

a. square feet of BVW b. square feet of Salt Marsh

5. [ ] Project Involves Stream Crossings

a. number of new stream crossings b. number of replacement stream crossings



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

# WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

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Document Transaction Number

City/Town

## C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

### Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

- Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to [http://maps.massgis.state.ma.us/PRI\\_EST\\_HAB/viewer.htm](http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm).

- a.  Yes  No **If yes, include proof of mailing or hand delivery of NOI to:**

**Natural Heritage and Endangered Species Program  
Division of Fisheries and Wildlife  
1 Rabbit Hill Road  
Westborough, MA 01581**

b. Date of map \_\_\_\_\_

Phone: (508) 389-6360

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review\*

- Percentage/acreage of property to be altered:

(a) within wetland Resource Area \_\_\_\_\_  
percentage/acreage

(b) outside Resource Area \_\_\_\_\_  
percentage/acreage

- Assessor's Map or right-of-way plan of site

- Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work \*\*

(a)  Project description (including description of impacts outside of wetland resource area & buffer zone)

(b)  Photographs representative of the site

\* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <https://www.mass.gov/endangered-species-act-mesa-regulatory-review>).

Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

\*\* MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.





**Massachusetts Department of Environmental Protection**  
Bureau of Resource Protection - Wetlands

**WPA Form 3 – Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

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City/Town

**C. Other Applicable Standards and Requirements (cont'd)**

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
- a.  Yes  No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
- b. ACEC
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
- a.  Yes  No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
- a.  Yes  No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
- a.  Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
1.  Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
  2.  A portion of the site constitutes redevelopment
  3.  Proprietary BMPs are included in the Stormwater Management System.
- b.  No. Check why the project is exempt:
1.  Single-family house
  2.  Emergency road repair
  3.  Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

**D. Additional Information**

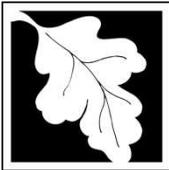
- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

**Online Users:** Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1.  USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2.  Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.

**Online Users:**  
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

**WPA Form 3 – Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

City/Town

**D. Additional Information (cont'd)**

3.  Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4.  List the titles and dates for all plans and other materials submitted with this NOI.

Site Plan

a. Plan Title

Foth Infrastructure & Environment, LLC

Carlos G. Peña, P.E.

b. Prepared By

c. Signed and Stamped by

July 2025

As noted

d. Final Revision Date

e. Scale

f. Additional Plan or Document Title

g. Date

5.  If there is more than one property owner, please attach a list of these property owners not listed on this form.

6.  Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.

7.  Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.

8.  Attach NOI Wetland Fee Transmittal Form

9.  Attach Stormwater Report, if needed.

**E. Fees**

1.  Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

2768

8/11/25

2. Municipal Check Number

3. Check date

2767

8/11/25

4. State Check Number

5. Check date

Hingham Shipyard Marinas LLC

Hingham Shipyard Marinas LLC

6. Payor name on check: First Name

7. Payor name on check: Last Name



# WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

MassDEP File Number

Document Transaction Number

City/Town

## F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

*Cherie Sue Zepstky, marina manager*

1. Signature of Applicant

*Aug 2, 2025*

2. Date

*Jane C. Hirsch*

3. Signature of Property Owner (if different)

*Aug 4, 2025*

4. Date

*Fin Vaey*

5. Signature of Representative (if any)

*8/4/25*

6. Date

### For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

### For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

### Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



**Massachusetts Department of Environmental Protection**  
 Bureau of Resource Protection - Wetlands  
**NOI Wetland Fee Transmittal Form**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**Important:** When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



**A. Applicant Information**

1. Location of Project:

24 Shipyard Drive  
 a. Street Address

Hingham  
 b. City/Town

c. Check number

d. Fee amount

2. Applicant Mailing Address:

Cherie  
 a. First Name

Rudzinsky  
 b. Last Name

Sea Chain Marina, LLC c/o Hingham Shipyard Marinas, LLC  
 c. Organization

24 Shipyard Drive  
 d. Mailing Address

Hingham  
 e. City/Town

MA  
 f. State

02043q  
 g. Zip Code

781-749-6647  
 h. Phone Number

i. Fax Number

cherie@hinghamshipyardmarinas.com  
 j. Email Address

3. Property Owner (if different):

a. First Name

b. Last Name

c. Organization

d. Mailing Address

e. City/Town

f. State

g. Zip Code

h. Phone Number

i. Fax Number

j. Email Address

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).

**B. Fees**

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

**Step 1/Type of Activity:** Describe each type of activity that will occur in wetland resource area and buffer zone.

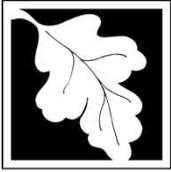
**Step 2/Number of Activities:** Identify the number of each type of activity.

**Step 3/Individual Activity Fee:** Identify each activity fee from the six project categories listed in the instructions.

**Step 4/Subtotal Activity Fee:** Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

**Step 5/Total Project Fee:** Determine the total project fee by adding the subtotal amounts from Step 4.

**Step 6/Fee Payments:** To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.



**Massachusetts Department of Environmental Protection**  
 Bureau of Resource Protection - Wetlands  
**NOI Wetland Fee Transmittal Form**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**B. Fees** (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
Category 5 (work on docks)	1	\$4/LF	\$2,000.00
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

**Step 5/Total Project Fee:** \_\_\_\_\_

**Step 6/Fee Payments:**

Total Project Fee:	\$2,000.00
State share of filing Fee:	\$987.50
City/Town share of filing Fee:	\$1,012.50
	a. Total Fee from Step 5
	b. 1/2 Total Fee <b>less</b> \$12.50
	c. 1/2 Total Fee <b>plus</b> \$12.50

**C. Submittal Requirements**

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection  
 Box 4062  
 Boston, MA 02211

- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and the city/town fee payment.

**To MassDEP Regional Office** (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)

**HINGHAM SHIPYARD MARINAS LLC  
OPERATING ACCOUNT**

24 SHIPYARD DR STE 100  
HINGHAM, MA 02043-1673

2767

53-13/110 MA  
56559

DATE 8/11/25

PAY  
TO THE  
ORDER OF

Town of Hingham  
Two thousand Dollars +  $\frac{20}{100}$

\$ 2,000.00

DOLLARS



**BANK OF AMERICA**

ACH R/T 011000138

FOR

NOT Submittal August 2025

Amie Melville



**HINGHAM SHIPYARD MARINAS LLC  
OPERATING ACCOUNT**

24 SHIPYARD DR STE 100  
HINGHAM, MA 02043-1673

2768

53-13/110 MA  
56559

DATE 8/11/25

PAY  
TO THE  
ORDER OF

Town of Hingham  
one thousand twelve Dollars +  $\frac{50}{100}$

\$ 1012.50

DOLLARS



**BANK OF AMERICA**

ACH R/T 011000138

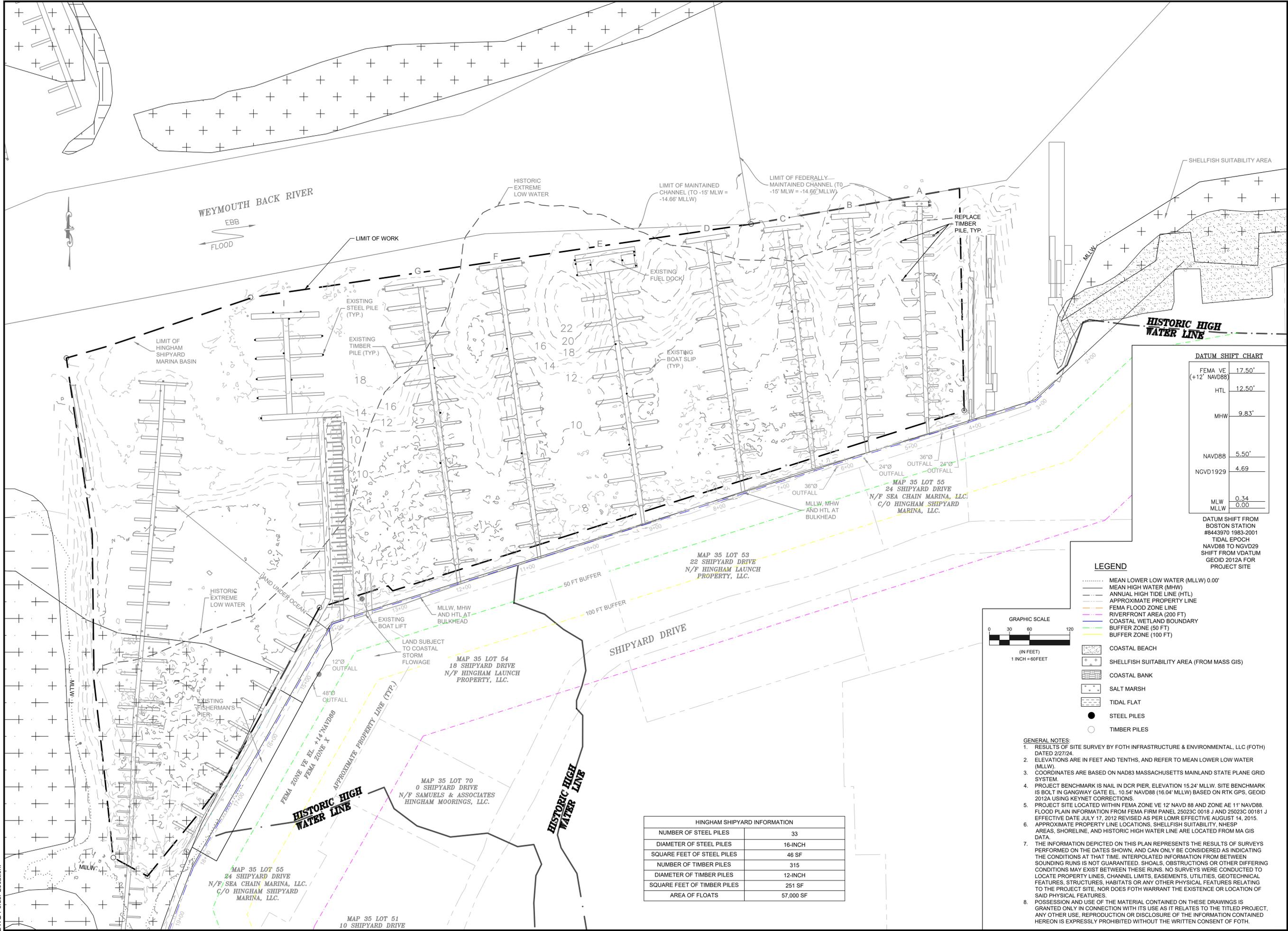
FOR

NOT Submittal August 2025

Amie Melville



**Attachment A**  
**Site Plan**



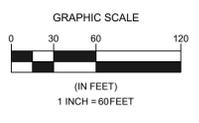
**DATUM SHIFT CHART**

FEMA VE (+12' NAVD88)	17.50'
HTL	12.50'
MHW	9.83'
NAVD88	5.50'
NGVD1929	4.69'
MLW	0.34'
MLLW	0.00'

DATUM SHIFT FROM BOSTON STATION #8443970 1983-2001 TIDAL EPOCH NAVD88 TO NGVD29 SHIFT FROM VDATUM GEOID 2012A FOR PROJECT SITE

**LEGEND**

- ..... MEAN LOWER LOW WATER (MLLW) 0.00'
- MEAN HIGH WATER (MHW)
- ANNUAL HIGH TIDE LINE (HTL)
- APPROXIMATE PROPERTY LINE
- FEMA FLOOD ZONE LINE
- RIVERFRONT AREA (200 FT)
- COASTAL WETLAND BOUNDARY
- BUFFER ZONE (50 FT)
- BUFFER ZONE (100 FT)
- [Symbol] COASTAL BEACH
- [Symbol] SHELLFISH SUITABILITY AREA (FROM MASS GIS)
- [Symbol] COASTAL BANK
- [Symbol] SALT MARSH
- [Symbol] TIDAL FLAT
- [Symbol] STEEL PILES
- [Symbol] TIMBER PILES



**GENERAL NOTES:**

- RESULTS OF SITE SURVEY BY FOTH INFRASTRUCTURE & ENVIRONMENTAL, LLC (FOTH) DATED 2/27/24.
- ELEVATIONS ARE IN FEET AND TENTHS, AND REFER TO MEAN LOWER LOW WATER (MLLW).
- COORDINATES ARE BASED ON NAD83 MASSACHUSETTS MAINLAND STATE PLANE GRID SYSTEM.
- PROJECT BENCHMARK IS NAIL IN DCR PIER, ELEVATION 15.24' MLLW. SITE BENCHMARK IS BOLT IN GANGWAY GATE EL. 10.54' NAVD88 (16.04' MLLW) BASED ON RTK GPS, GEOID 2012A USING KEYNET CORRECTIONS.
- PROJECT SITE LOCATED WITHIN FEMA ZONE VE 12' NAVD 88 AND ZONE AE 11' NAVD88. FLOOD PLAIN INFORMATION FROM FEMA FIRM PANEL 25023C 0018 J AND 25023C 00181 J EFFECTIVE DATE JULY 17, 2012 REVISED AS PER LOMR EFFECTIVE AUGUST 14, 2015.
- APPROXIMATE PROPERTY LINE LOCATIONS, SHELLFISH SUITABILITY, NHESP AREAS, SHORELINE, AND HISTORIC HIGH WATER LINE ARE LOCATED FROM MA GIS DATA.
- THE INFORMATION DEPICTED ON THIS PLAN REPRESENTS THE RESULTS OF SURVEYS PERFORMED ON THE DATES SHOWN, AND CAN ONLY BE CONSIDERED AS INDICATING THE CONDITIONS AT THAT TIME. INTERPOLATED INFORMATION FROM BETWEEN SOUNDING RUNS IS NOT GUARANTEED. SHOALS, OBSTRUCTIONS OR OTHER DIFFERING CONDITIONS MAY EXIST BETWEEN THESE RUNS. NO SURVEYS WERE CONDUCTED TO LOCATE PROPERTY LINES, CHANNEL LIMITS, EASEMENTS, UTILITIES, GEOTECHNICAL FEATURES, STRUCTURES, HABITATS OR ANY OTHER PHYSICAL FEATURES RELATING TO THE PROJECT SITE. NOR DOES FOTH WARRANT THE EXISTENCE OR LOCATION OF SAID PHYSICAL FEATURES.
- POSSESSION AND USE OF THE MATERIAL CONTAINED ON THESE DRAWINGS IS GRANTED ONLY IN CONNECTION WITH ITS USE AS IT RELATES TO THE TITLED PROJECT. ANY OTHER USE, REPRODUCTION OR DISCLOSURE OF THE INFORMATION CONTAINED HEREON IS EXPRESSLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF FOTH.

**HINGHAM SHIPYARD INFORMATION**

NUMBER OF STEEL PILES	33
DIAMETER OF STEEL PILES	16-INCH
SQUARE FEET OF STEEL PILES	46 SF
NUMBER OF TIMBER PILES	315
DIAMETER OF TIMBER PILES	12-INCH
SQUARE FEET OF TIMBER PILES	251 SF
AREA OF FLOATS	57,000 SF

**REVISIONS**

NO.	DATE	DESCRIPTION

**DATE OF PREPARATION**

BY	DATE
SURVEYED JER	02/27/24
DRAWN CJS	03/15/24
DESIGNED	-
CHECKED	-

**SHEET TITLE:**  
**SITE PLAN**

**ISSUANCE:**  
**FOR PERMITTING PURPOSES ONLY**

PROJECT NO: 007H063.24  
 SHEET NUMBER  
**C-101**

**Attachment B**  
**Project Narrative**

# 1. Project Overview

Hingham Shipyard Marinas, LLC (HSM) is submitting this Notice of Intent (NOI) application in accordance with the Massachusetts Wetlands Protection Act (WPA) and Hingham Wetlands Regulations to comprehensively address the maintenance, repair, and replacement needs of the marina. This NOI encompasses all necessary actions to ensure the continued functionality and safety of the existing marina components. HSM will notify the Hingham Conservation Commission (Commission) and all applicable agencies for each activity. The proposed maintenance activities are anticipated to occur over the standard timeframe of an Order of Conditions (OOC), which is typically three (3) years. During this period, it is expected that up to six (6) piles may need to be replaced annually.

## 1.1 Site Description and Existing Conditions

The Hingham Shipyard Marina (HSM) is located within the Weymouth Back River on the south side of the existing channel. The east end of the channel adjacent to the marina is a federal navigation channel that is maintained by the U.S. Army Corps of Engineers (USACE), which is maintained to 15 feet (ft) Mean Low Water (MLW). Using Mean Lower Low Water (MLLW) as a reference datum (MLLW = 0.0), the Mean High Water (MHW) and Annual High Tide (HTL) elevations are +9.83 ft and +12.50 ft, respectively. Routine maintenance dredging of the marina basin was completed in 2019 to restore safe access and navigability within waterfront areas located within the marina.

Review of the most up to date Natural Heritage & Endangered Species Program (NHESP) mapping viewer (August 1, 2021) indicated there are no Priority or Estimated Habitats of rare or endangered species located in the vicinity of the project site (Attachment E). The site is not located within an Area of Critical Environmental Concern (ACEC)(see Attachment E). The site is located in Zone AE (El. +11 NAVD88) and Zone VE (El. +12 NAVD88) in accordance with Federal Emergency Management Agency (FEMA) Map 25023C0018J, effective July 17, 2012 (revised as per FEMA LOMR effective August 14, 2015) (see Attachment F).

The HSM is located within a very active waterfront area of the Weymouth Back River. The marina is privately owned and operated providing 500 slips and 100 moorings as well as transient and guest dockage for small to large sized vessels. The floating dock system includes approximately 57,000 square feet (sf). The marina also has a boat lift facility used to launch marina customer vessels as well as local law enforcement and privately owned vessels. The majority of in-water boat storage lasts about 22 weeks from the May to October boating season, while a number of vessels including both commercial fishing and private vessels stay in the water year-round. The marina also provides dry storage for boats in the existing parking lot areas which are located on the western portion of the marina. Attachment C includes existing site photographs taken during a site visit conducted by Foth Infrastructure & Environment, LLC (Foth) on February 27, 2024. Table 1 and the site plan included in Attachment A include the HSM facility information.

**Table 1: Hingham Shipyard Marina Facility Information**

Component	Dimensions
Timber Piles (12" diameter piles)	315 (±251 sf)
Steel Piles (16" diameter piles)	33 (±46 sf)
Floating Dock System	±57,000 sf

## **1.2 Purpose and Need**

The purpose of the project is to enable HSM to promptly and efficiently address maintenance needs of the marina infrastructure. By ensuring that all marina components are consistently updated and maintained, the project aims to uphold optimal functionality and upkeep of the facilities. Ongoing maintenance is essential to extending the design life of the marina infrastructure and avoiding more costly repairs in the future. This proactive approach also contributes to the resilience of the marina by allowing for timely responses to specific needs as they arise.

## **1.3 Regulatory Context**

### **1.3.1 Local Permits**

HSM will promptly notify the Commission of any maintenance needs NAD activities occurring within the coastal areas subject to protection under the Hingham Wetlands Regulations and the Massachusetts Wetlands Protection Act (M.G.L. c. 131, § 40). HSM is committed to maintaining proactive communication with the Commission and all relevant agencies to ensure full regulatory compliance and to safeguard the integrity of the marina infrastructure.

### **1.3.2 State Permits**

The project site has a current Chapter 91 license with the Massachusetts Department of Environmental Protection (MassDEP) Waterways Program for the maintenance and operation of the marina facilities.

### **1.3.3 Federal Permits**

To replace any of the existing and pre-authorized steel piles, the project will apply for a Nationwide Permit (NWP) 3 from the U.S. Army Corps of Engineers (USACE), as applicable. This permit encompasses maintenance activities such as the repair, rehabilitation, or replacement of any previously authorized, currently serviceable structure or fill, as stipulated by 33 CFR 330.3.

## **2. Coastal Resource Impacts**

The project is a water-dependent project, and the maintenance, repairs, and replacement of piles and/or floating dock components will be implemented using the best available measures to avoid and minimize adverse impacts to coastal resource areas. The following coastal wetland resource areas have been identified in the vicinity of the project site as defined under the Massachusetts Wetlands Protection Act (MA WPA) 310 CMR 10.00 and Hingham Wetland Regulations: Land Under the Ocean, Land Containing Shellfish, Land Subject to Coastal Storm Flowage, Buffer Zone, and Riverfront Area. Coastal resource areas are identified on the site plan included in Attachment A.

There are no anticipated permanent impacts related to maintenance or repairs on the floating dock system or piles. In the event that piles require replacement, minimal impacts are anticipated to resource areas. As previously noted, HSM will notify the Commission and any other applicable agencies prior to commencing work. The project will incorporate Best Management Practices (BMPs) to avoid, minimize and mitigate any potential impacts to resource areas. For any maintenance performed from a boat, temporary and indirect impacts are anticipated due to shading while work is underway.

Pursuant to 310 CMR 10.00, the aforementioned coastal resource areas are to be regulated in order to contribute to the following public interests:

- Flood control;
- Storm damage prevention; and/or
- Protection of marine fisheries and wildlife habitat.

## 2.1.1 Performance Standards

The project will meet the performance standards applicable to the impacted resource areas protected under the MA WPA and Town of Hingham Wetlands Regulations (HWR), as described below.

**Land Under Ocean (310 CMR 10.25)(HWR 17.1):** Land under the Ocean means land extending from the MLW line seaward to the boundary of the municipality's jurisdiction and includes land under estuaries. Land under the ocean is likely to be significant to the protection of marine fisheries and, where there are shellfish, to the protection of land containing shellfish. Nearshore activities of land under the ocean are likely to be significant to storm damage prevention, flood control, and protection of wildlife habitat. There are no anticipated impacts to LUO associated with maintenance activities conducted on the floating dock system. For any maintenance performed from a boat, temporary and indirect impacts are anticipated due to shading while work is underway.

The project will meet the performance standards for LUO as follows:

- ✓ Water Circulation: the maintenance of the existing marina site components will not alter the water circulation with the LUO resource area.
- ✓ Distribution of Sediment Grain Size: the maintenance of the existing marina site components will not alter the sediment quality within the LUO resource area.
- ✓ Water Quality: temporary turbidity of the re-suspension may occur during removal and replacement of piles; however, this turbidity will be short-term (limited) in nature. Impacts will be minimized by slow hammer starts to reduce turbidity impacts and erosion measures will be implemented as required by local and state authorities.
- ✓ Finfish Habitat: the maintenance of the existing marina site components may have minimal temporary impacts to finfish habitat within the LUO; however, impacts are anticipated to be short-term (limited) in nature.
- ✓ Important Food for Wildlife: No eelgrass beds or other subaquatic vegetation is present within the project site.

**Land Containing Shellfish (310 CMR 10.34)(HWR 18.5):** The MA WPA defines Land Containing Shellfish (LCS) as land under the ocean, tidal flats, rocky intertidal shores, salt marshes and land under salt ponds when any such land contains shellfish. As shown on the site plan (Attachment A), portions of the limit of work are located within LCS.

WHEN A RESOURCE AREA, INCLUDING LAND UNDER THE OCEAN, TIDAL FLATS, ROCKY INTERTIDAL SHORES, SALT MARSHES, OR LAND UNDER SALT PONDS IS DETERMINED TO BE SIGNIFICANT TO THE PROTECTION OF LAND CONTAINING SHELLFISH AND THEREFORE TO THE PROTECTION OF MARINE FISHERIES, 310 CMR 10.34(4) THROUGH (8) SHALL APPLY:

*(4) Except as provided in 310 CM 10.34(5), any project on land containing shellfish shall not adversely affect such land or marine fisheries by a chance in the productivity of such land caused by:*

- (a) alteration of water circulation;*
- (b) alterations in relief elevation;*
- (c) the compacting of sediment by vehicular traffic;*
- (d) alterations in the distribution of sediment grain size;*

- (e) alterations in natural drainage from adjacent land; or
- (f) changes in water quality, including, but not limited to, other than natural fluctuations in the levels of salinity, dissolved oxygen, nutrients, temperature or turbidity, or the addition of pollutants.

The project is not anticipated to affect the LCS due to a change in productivity of the land caused by items (a) through (f) listed in 10.34(4).

*(5) Notwithstanding the provisions of 310 CMR 10.34(4), projects which temporarily have an adverse effect on shellfish productivity but which do not permanently destroy the habitat may be permitted if the land containing shellfish can and will be returned substantially to its former productivity in less than one year from the commencement of work, unless an extension of the Order of Conditions is granted, in which case such restoration shall be completed within one year of such extension.*

The proposed project is not anticipated to result in long-term adverse impacts to LCS. While temporary impacts may occur during construction activities, such as increased turbidity associated with pile removal or replacement, impacts are anticipated to be short-term (limited) in nature, and localized. The project will incorporate BMPs to minimize potential impacts to water quality, sediment transport, and shellfish habitat. These BMPs will be implemented in accordance with applicable regulatory guidance and may include turbidity curtains, time-of-year restrictions, and sediment control measures. In accordance with 310 CMR 10.34(4), the project will not permanently destroy shellfish habitat. The affected area is expected to return substantially to its former productivity within one year of the commencement of work. Should an extension of the Order of Conditions be required, restoration will be completed within one year of such extension, as stipulated by the regulation.

*(6) In the case of land containing shellfish defined as significant in 310 CMR 10.34(3)(b)(i.e., those areas identified in the basis of maps and designations of the Shellfish Constable), except in Areas of Critical Environmental Concern, the issuing authority may, after consultation with the Shellfish Constable, permit the shellfish to be moved from such area under the guidelines of, and to a suitable location approved by, the Division of Marine Fisheries, in order to permit a proposed project on such land. Any such project shall not be commenced until after the moving and replacing of the shellfish have been commenced.*

Maintenance work will be conducted using BMPs to avoid, minimize, and mitigate disturbance to the substrate and protect any shellfish resources.

*(7) Notwithstanding 310 CMR 10.34(4) through (6), projects approved by the Division of Marine Fisheries that are specifically intended to increase the productivity of land containing shellfish may be permitted. Aquaculture projects approved by the appropriate local and state authority may also be permitted.*

This standard is not applicable. The project is not intended to increase the productivity of land containing shellfish.

*(8) Notwithstanding the provisions of 310 CMR 10.34(4) through (7), no project may be permitted which will have any adverse effect on specified habitat of rare vertebrate or invertebrate species, as identified by procedures established under 310 CMR 10.37.*

The project area does not contain any known habitats of rare vertebrate or invertebrate species.

**Land Subject to Coastal Storm Flowage (310 CMR 10.02)(HWR 20.0):** The MA WPA defines Land Subject to Coastal Storm Flowage (LSCSF) as land subject to inundation caused by coastal storms up to and including that caused by the 100-year storm, surge of record or storm of record, whichever is greater. Areas within the coastal zone that are mapped by the Federal Emergency Management Agency (FEMA) as the

100-year floodplain on Flood Insurance Rate Maps (FIRMs) are considered LSCSF. LSCSF is significant to storm damage prevention and flood control. LSCSF is also likely to be significant to the protection of wildlife habitat and the prevention of water pollution. There are currently no performance standards for work in LSCSF included in the MA WPA.

As shown on the site plan in Attachment A, the site lies within the mapped FEMA Zone VE (El. 14 ft NAVD88) flood zone which is considered LSCSF. The project involves maintenance, repairs, and replacement of seaward marina components. These activities are not anticipated to adversely impact LSCSF, as the work will be limited to existing developed areas and will utilize BMPs to minimize disturbance to coastal resource areas.

**Riverfront Area (310 CMR 10.58)(HWR 21.1):** The MA WPA defines Riverfront Area as the area of land between a river's mean annual high water line and a parallel line measured horizontally. The riverfront area may include or overlap other resource areas or their buffer zones. The riverfront area does not have a buffer zone.

*(4) General Performance Standard. Where the presumption set forth in 310 CMR 10.58(3) is not overcome, the applicant shall prove by a preponderance of evidence that there are no practicable and substantially equivalent economic alternatives to the proposed project with less adverse effects on the interests identified in M.G.L. c.131 §40 and that the work, including proposed mitigation, will have no significant adverse impact on the riverfront area to protect the interests identified in M.G.L. c.131 §40. In the event that the presumption is partially overcome, the issuing authority shall make a written determination setting forth its grounds in the Order of Conditions and the partial rebuttal shall be taken into account in the application of 310 CMR 10.58(4)(d)1.a. and c.; the issuing authority shall impose conditions in the Order of Conditions that contribute to the protection of interests for which the riverfront area is significant.*

- (a) Protection of Other Resource Areas. The work shall meet the performance standards for all other resource areas within the riverfront area, as identified in 310 CMR 10.30 (Coastal Bank), 10.32 (Salt Marsh), 10.55 (Bordering Vegetated Wetland), and 10.57 (Land Subject to Flooding). When work in the riverfront area is also within the buffer zone to another resource area, the performance standards for the riverfront area shall contribute to the protection of the interests of M.G.L. c.131 §40 in lieu of any additional requirements that might otherwise be imposed on work in the buffer zone within the riverfront area.*
- (b) Protection of Rare Species. No project may be permitted within the riverfront area which will have any adverse effect on specified habitat sites of rare wetland or upland, vertebrate or invertebrate species, as identified by the procedures established under 310 CMR 10.59 or 10.37, or which will have any adverse effect on vernal pool habitat certified prior to the filing of the Notice of Intent.*
- (c) Practicable and Substantially Equivalent Economic Alternatives. There must be no practicable and substantially equivalent economic alternative to the proposed project with less adverse effects on the interests identified in M.G.L. c.131 §40.*

The project involves maintenance, repairs, and replacement of marina infrastructure components as needed, all of which are located entirely seaward of the Riverfront Area. As such, no work is proposed within the Riverfront Area, and no temporary or permanent impacts to this resource area are anticipated. The project is consistent with the performance standards of 310 CMR 10.58, as it does not alter natural vegetation, degrade water quality, or interfere with the ecological functions of the Riverfront Area. The project is not anticipated to result in any adverse impacts to the interests protected under the MA WPA.

**Buffer Zone (HWR 22.0):** The HWR defines the Buffer Zone as the area within 100 horizontal feet of Resource Areas specified in the Hingham Wetland Regulations (HWR), Section 2.0(1-4), excluding the buffer zone itself, Land Subject to Coastal Storm Flowage, and the Riverfront Area.

All maintenance, repair, and replacement activities would be limited to the seaward marina components located outside of the Buffer Zone. As such, no direct work is proposed within the Buffer Zone. The project will incorporate BMPs to ensure protection of all adjacent resource areas and Buffer Zones. These measures, included in Section 3.0 below, will prevent erosion, sedimentation, and other potential indirect impacts.

### **3. Construction Methodology & Protection of Resources**

Summarized below is the general construction methodology anticipated for the any required maintenance, as well as mitigation measures that will be implemented for the protection of resources.

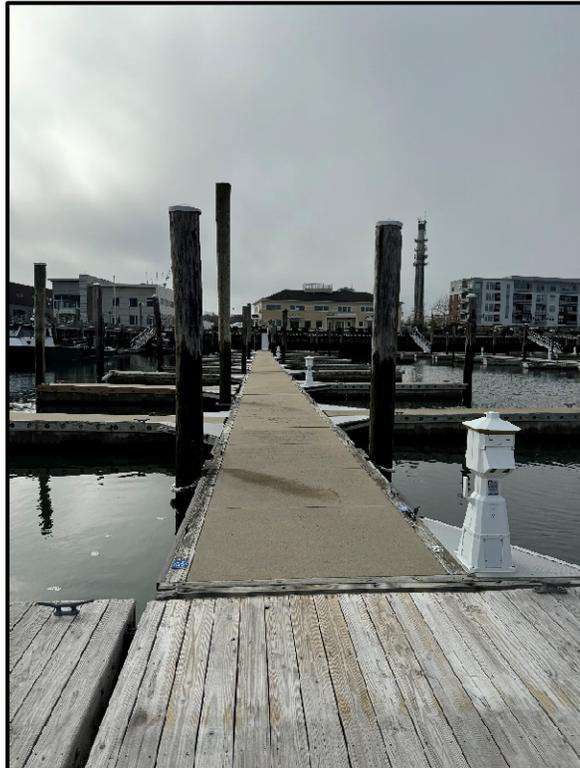
- It is anticipated that any replacement piles will be driven via impact or vibratory methods (no jetting) from a construction barge. Water-based support equipment will not be permitted to ground out at any time so as to avoid impacts to coastal resource areas.
- Slow hammer starts will be implemented for pile installations to provide adequate time for wildlife to leave the vicinity of the project site.
- Absolutely no release will be allowed into the waterway of any petroleum product, epoxies, resins, admixtures, touch-up coatings, or the like. Accidental releases shall be reported to the Harbormaster, engineer, and if applicable, the U.S. Coast Guard. The contractor shall have on site sufficient sorbent pads and booms to contain an accidental spill.
- No refueling of construction equipment shall be permitted within 100 ft of any resource area.
- No direct or indirect increases or other changes in local or regional air quality are likely to occur with construction of the proposed project.
- The Contractor will be required to contain construction materials used during repairs at the project site. Construction materials and debris will be cleaned up and removed from the site daily after the completion of work.
- Construction activities will be scheduled to minimize noise impacts on nearby residents and wildlife, with work limited to daylight hours whenever possible.
- All waste materials generated during construction will be properly disposed of in accordance with local, state, and federal regulations.

### **4. Summary**

Hingham Shipyard Marinas, LLC is submitting this Notice of Intent (NOI) under the Massachusetts Wetlands Protection Act (M.G.L. c. 131, § 40) and the Hingham Wetlands Regulations to authorize ongoing maintenance, repair, and replacement activities necessary to ensure the continued safety and functionality of the existing marina infrastructure. The project will allow HSM to promptly and efficiently address maintenance needs as they arise, thereby extending the design life of the marina, preventing costly future repairs, and enhancing overall resiliency. All work will be conducted in compliance with applicable regulations, and HSM will notify the Hingham Conservation Commission and all applicable agencies prior to any maintenance activities within jurisdictional areas. The project will incorporate Best Management Practices to avoid, minimize, and mitigate potential impacts to resource areas. No permanent impacts are anticipated from maintenance or repairs to the floating dock system or piles. If pile replacement is required, only minimal impacts are expected. Temporary and indirect impacts may occur from vessel shading during boat-based maintenance activities.

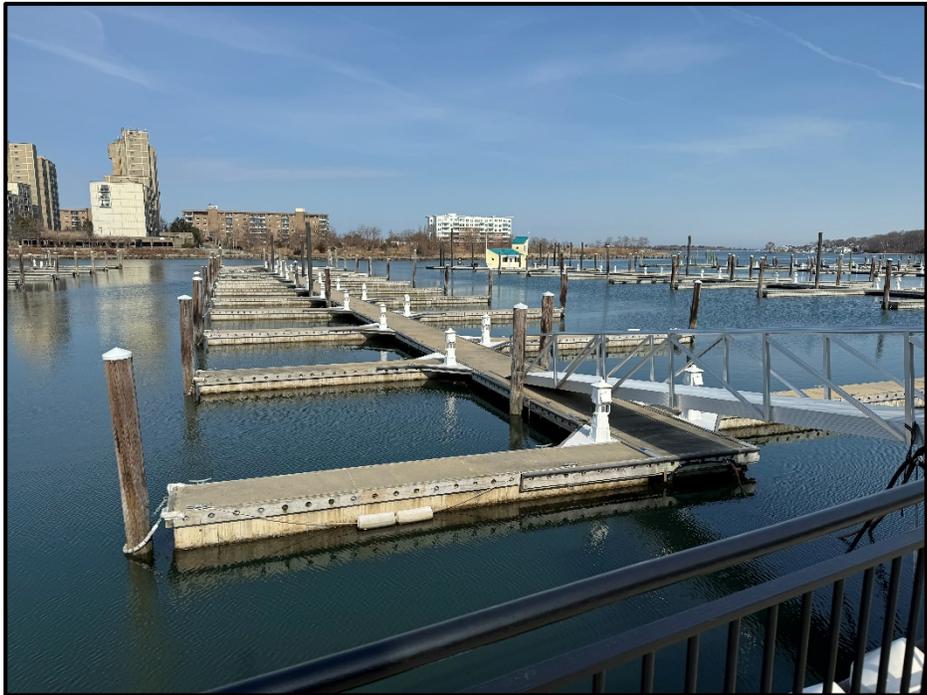
# Attachment C

## Site Photographs









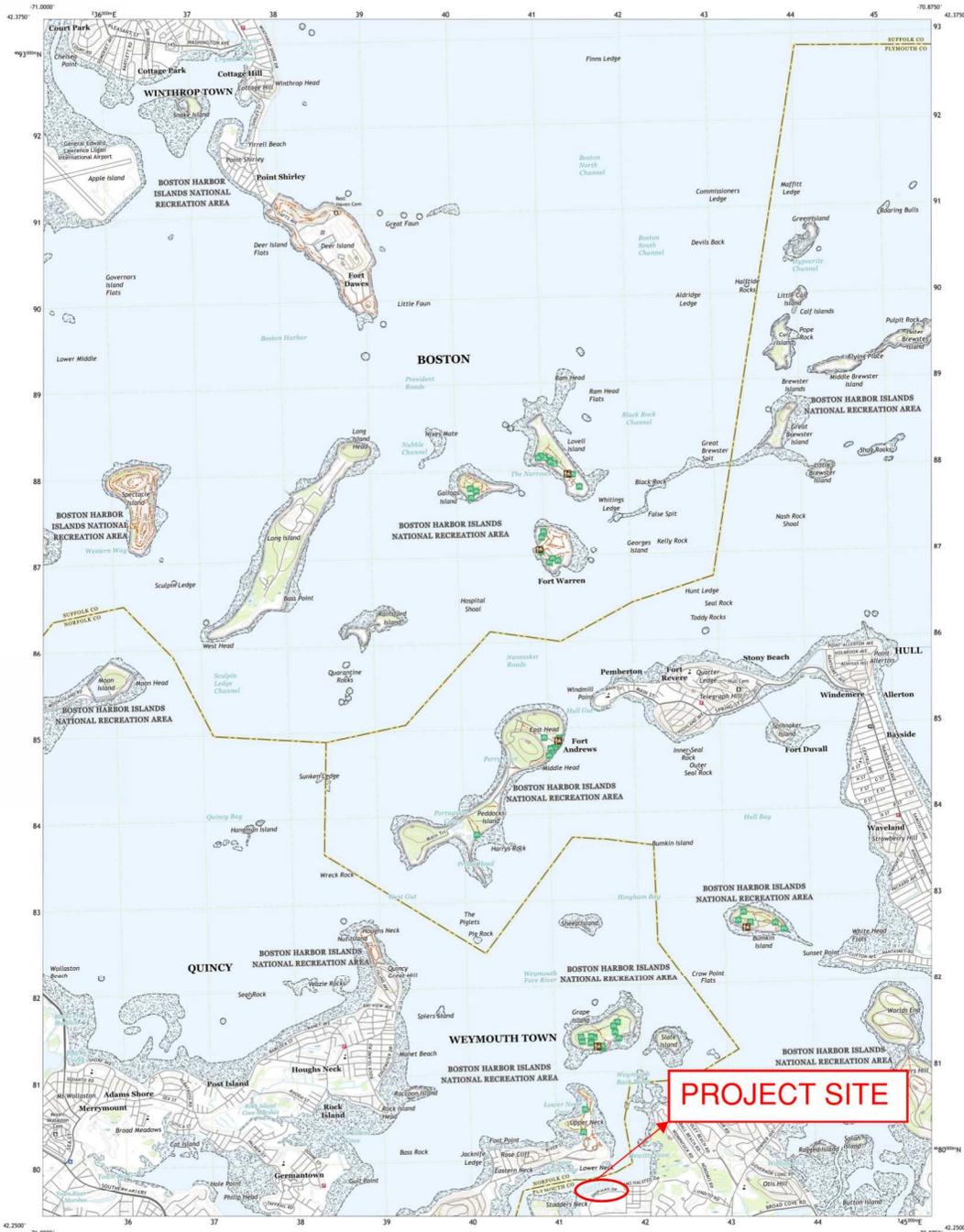
**Attachment D**  
**USGS Quadrangle Map**



U.S. DEPARTMENT OF THE INTERIOR  
U.S. GEOLOGICAL SURVEY

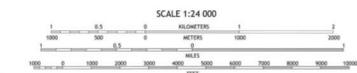
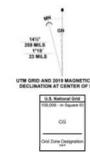


HULL QUADRANGLE  
MASSACHUSETTS  
7.5-MINUTE SERIES



Produced by the United States Geological Survey  
North American Datum of 1983 (NAD83)  
World Geodetic System of 1984 (WGS84) Projection and  
1 000-meter grid Universal Transverse Mercator, Zone 18T  
This map is not a legal document. Boundaries may be  
generalized for this map scale. Private lands within government  
jurisdiction may not be shown. Other restrictions apply  
affecting private lands.

Imagery: NADP, July 2016 - September 2016  
Base: U.S. Census Bureau, 2016  
Names: U.S. Census Bureau, 2016  
Hydrography: National Hydrography Dataset, 2005 - 2016  
Contours: National Elevation Dataset, 2008 - 2012  
Boundaries: Multiple sources; see metadata file 2016 - 2017  
Wetlands: FWS National Wetlands Inventory 2008 - 2011



ROAD CLASSIFICATION

Expressway	Local Connector
Secondary Hwy	Local Road
Artery	400'
Interstate Route	US Route
	State Route

1	1	1
4	1	1
4	1	1

4-DIGIT GRID  
HULL, MA

HULL, MA  
2021



**Attachment E**  
**NHESP, ACEC, and Shellfish Suitability Areas Map**

# NHESP, ACEC and Shellfish Suitability Areas



NHESP Priority Habitats of Rare Species



NHESP Estimated Habitats of Rare Wildlife



Areas of Critical Environmental Concern ACECs



Shellfish Suitability Areas

- AMERICAN OYSTER
- BAY SCALLOP
- BLUE MUSSEL
- EUROPEAN OYSTER
- OCEAN QUAHOG
- QUAHOG
- RAZOR CLAM
- SEA SCALLOP
- SOFT-SHELLED CLAM
- SURF CLAM

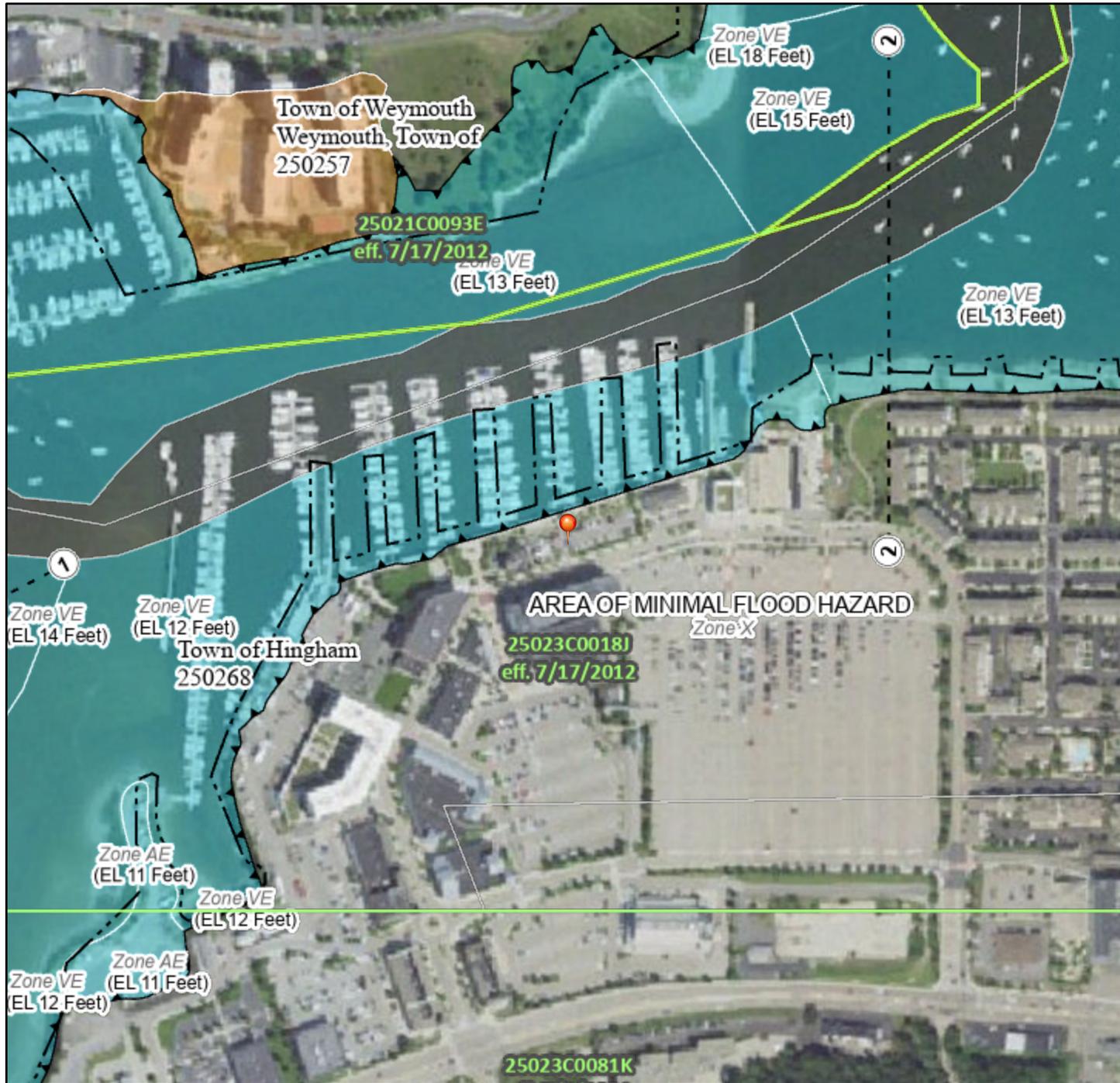
Map Features for Imagery

**Attachment F**  
**FEMA FIRMette**

# National Flood Hazard Layer FIRMMette



70°55'36"W 42°15'22"N



## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5 Cross Sections with 1% Annual Chance Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped

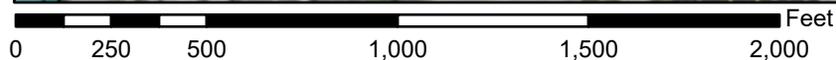


The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **7/16/2025 at 3:08 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



1:6,000

70°54'59"W 42°14'56"N

Basemap Imagery Source: USGS National Map 2023

**Attachment G**  
**Previous Authorizations**



# TOWN OF HINGHAM

## CONSERVATION COMMISSION

---

### ORDER OF CONDITIONS: DEP #034-1489

TO: Cherie Rudzinsky  
FROM: Shannon Palmer, Conservation Officer  
DATE: April 29, 2024  
TITLE: Order of Conditions for 24 Shipyard Drive, Hingham, MA 02043

---

The Hingham Conservation Commission has issued an Order of Conditions pursuant to the Massachusetts Wetlands Protection Act and the Town of Hingham Wetlands Bylaw for the above-referenced project. The original signed Order of Conditions is the permit to proceed with the approved project. The Order of Conditions is valid for three years from the date of issuance and will expire on April 29, 2027.

In order to begin work, you are responsible for the following actions:

1. Record the **original** signed Order of Conditions at the Plymouth Registry of Deeds after the appeal period ends on May 13, 2024. The Registry will not accept a printed copy. The Registry charges a fee to record.  
A satellite office of the Registry of Deeds is located at 900 Hingham Street, Rockland, MA. The satellite office can only process recorded land documents (documents with a book and page). Registered land documents, which have a certificate or document number, must be processed by the Registry in Plymouth, MA.
2. Submit **proof** that the Order of Conditions was recorded to the Conservation Office at 210 Central Street, Hingham, MA.
3. Please refer to pages 5 through 9E for conditions related to your project.

To complete your project, you will need to take the following actions:

1. If you need an extension to complete the project within the approval period, submit a request to extend the Order of Conditions, in writing, to our office at least 30 days prior to the expiration date.
2. When the project is fully constructed and the terms of the Order of Conditions have been met, submit a Request for Certificate of Compliance to the Conservation Office. Please use the most recent DEP form to submit the request.

For your convenience, a guide to permitting is available at the Town of Hingham's Conservation Commission webpage at <http://www.hingham-ma.gov/DocumentCenter/Home/View/3157>. If you have questions about the Order of Conditions or any of the required actions, please call the Conservation Office.

C: SERO (via email only [SERO\\_NOI@mass.gov](mailto:SERO_NOI@mass.gov))





**Massachusetts Department of Environmental Protection**  
**Bureau of Resource Protection - Wetlands**  
**WPA Form 5 – Order of Conditions**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

034-1489

MassDEP File #

eDEP Transaction #

HINGHAM

City/Town

## A. General Information (cont.)

6. Property recorded at the Registry of Deeds for (attach additional information if more than one parcel):  
Plymouth
- |              |  |
|--------------|--|
| a. County    | b. Certificate Number (if registered land) |
| <u>34014</u> | <u>53</u>                                  |
| c. Book      | d. Page                                    |
7. Dates: 3/25/24 4/8/24 4/29/24  
 a. Date Notice of Intent Filed      b. Date Public Hearing Closed      c. Date of Issuance
8. Final Approved Plans and Other Documents (attach additional plan or document references as needed):  
Site Plan, sheets C-101 and C-102
- |   |                |                          |
|---|----------------|--------------------------|
| a. Plan Title                                     | b. Prepared By | c. Signed and Stamped by |
| <u>Foth Infrastructure &amp; Environment, LLC</u> | <u>3/15/24</u> | <u>Carlos G. Peña PE</u> |
| d. Final Revision Date                            | e. Scale       |                          |
| <u>3/15/24</u>                                    | <u>1"=60'</u>  |                          |
- |                                      |         |
|--------------------------------------|---------|
| f. Additional Plan or Document Title | g. Date |
|                                      |         |

## B. Findings

1. Findings pursuant to the Massachusetts Wetlands Protection Act:
- Following the review of the above-referenced Notice of Intent and based on the information provided in this application and presented at the public hearing, this Commission finds that the areas in which work is proposed is significant to the following interests of the Wetlands Protection Act (the Act). Check all that apply:
- |  |  |   |
|--|--|---|
| a. <input type="checkbox"/> Public Water Supply  | b. <input checked="" type="checkbox"/> Land Containing Shellfish | c. <input checked="" type="checkbox"/> Prevention of Pollution        |
| d. <input type="checkbox"/> Private Water Supply | e. <input checked="" type="checkbox"/> Fisheries                 | f. <input checked="" type="checkbox"/> Protection of Wildlife Habitat |
| g. <input type="checkbox"/> Groundwater Supply   | h. <input checked="" type="checkbox"/> Storm Damage Prevention   | i. <input type="checkbox"/> Flood Control                             |
2. This Commission hereby finds the project, as proposed, is: (check one of the following boxes)

### Approved subject to:

- a.  the following conditions which are necessary in accordance with the performance standards set forth in the wetlands regulations. This Commission orders that all work shall be performed in accordance with the Notice of Intent referenced above, the following General Conditions, and any other special conditions attached to this Order. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, these conditions shall control.



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**Bureau of Resource Protection - Wetlands**  
**WPA Form 5 – Order of Conditions**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

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**B. Findings (cont.)**

Denied because:

- b.  the proposed work cannot be conditioned to meet the performance standards set forth in the wetland regulations. Therefore, work on this project may not go forward unless and until a new Notice of Intent is submitted which provides measures which are adequate to protect the interests of the Act, and a final Order of Conditions is issued. **A description of the performance standards which the proposed work cannot meet is attached to this Order.**
- c.  the information submitted by the applicant is not sufficient to describe the site, the work, or the effect of the work on the interests identified in the Wetlands Protection Act. Therefore, work on this project may not go forward unless and until a revised Notice of Intent is submitted which provides sufficient information and includes measures which are adequate to protect the Act's interests, and a final Order of Conditions is issued. **A description of the specific information which is lacking and why it is necessary is attached to this Order as per 310 CMR 10.05(6)(c).**
- 3.  Buffer Zone Impacts: Shortest distance between limit of project disturbance and the wetland resource area specified in 310 CMR 10.02(1)(a) \_\_\_\_\_ a. linear feet

**Inland Resource Area Impacts:** Check all that apply below. (For Approvals Only)

Resource Area	Proposed Alteration	Permitted Alteration	Proposed Replacement	Permitted Replacement
4. <input type="checkbox"/> Bank	a. linear feet _____	b. linear feet _____	c. linear feet _____	d. linear feet _____
5. <input type="checkbox"/> Bordering Vegetated Wetland	a. square feet _____	b. square feet _____	c. square feet _____	d. square feet _____
6. <input type="checkbox"/> Land Under Waterbodies and Waterways	a. square feet _____ e. c/y dredged _____	b. square feet _____ f. c/y dredged _____	c. square feet _____	d. square feet _____
7. <input type="checkbox"/> Bordering Land Subject to Flooding	a. square feet _____	b. square feet _____	c. square feet _____	d. square feet _____
Cubic Feet Flood Storage	e. cubic feet _____	f. cubic feet _____	g. cubic feet _____	h. cubic feet _____
8. <input type="checkbox"/> Isolated Land Subject to Flooding	a. square feet _____	b. square feet _____		
Cubic Feet Flood Storage	c. cubic feet _____	d. cubic feet _____	e. cubic feet _____	f. cubic feet _____
9. <input type="checkbox"/> Riverfront Area	a. total sq. feet _____	b. total sq. feet _____		
Sq ft within 100 ft	c. square feet _____	d. square feet _____	e. square feet _____	f. square feet _____
Sq ft between 100-200 ft	g. square feet _____	h. square feet _____	i. square feet _____	j. square feet _____



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## B. Findings (cont.)

**Coastal Resource Area Impacts:** Check all that apply below. (For Approvals Only)

	Proposed Alteration	Permitted Alteration	Proposed Replacement	Permitted Replacement
10. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below			
11. <input checked="" type="checkbox"/> Land Under the Ocean	<u>9</u> a. square feet	<u>9</u> b. square feet		
	<u></u> c. c/y dredged	<u></u> d. c/y dredged		
12. <input type="checkbox"/> Barrier Beaches	Indicate size under Coastal Beaches and/or Coastal Dunes below			
13. <input type="checkbox"/> Coastal Beaches	<u></u> a. square feet	<u></u> b. square feet	<u></u> c. nourishment cu yd	<u></u> d. nourishment cu yd
14. <input type="checkbox"/> Coastal Dunes	<u></u> a. square feet	<u></u> b. square feet	<u></u> c. nourishment cu yd	<u></u> d. nourishment cu yd
15. <input type="checkbox"/> Coastal Banks	<u></u> a. linear feet	<u></u> b. linear feet		
16. <input type="checkbox"/> Rocky Intertidal Shores	<u></u> a. square feet	<u></u> b. square feet		
17. <input type="checkbox"/> Salt Marshes	<u></u> a. square feet	<u></u> b. square feet	<u></u> c. square feet	<u></u> d. square feet
18. <input type="checkbox"/> Land Under Salt Ponds	<u></u> a. square feet	<u></u> b. square feet		
	<u></u> c. c/y dredged	<u></u> d. c/y dredged		
19. <input type="checkbox"/> Land Containing Shellfish	<u></u> a. square feet	<u></u> b. square feet	<u></u> c. square feet	<u></u> d. square feet
20. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, Inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above			
	<u></u> a. c/y dredged	<u></u> b. c/y dredged		
21. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	<u></u> a. square feet	<u></u> b. square feet		
22. <input type="checkbox"/> Riverfront Area	<u></u> a. total sq. feet	<u></u> b. total sq. feet		
Sq ft within 100 ft	<u></u> c. square feet	<u></u> d. square feet	<u></u> e. square feet	<u></u> f. square feet
Sq ft between 100-200 ft	<u></u> g. square feet	<u></u> h. square feet	<u></u> i. square feet	<u></u> j. square feet



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## B. Findings (cont.)

\* #23. If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.5.c (BVW) or B.17.c (Salt Marsh) above, please enter the additional amount here.

23.  Restoration/Enhancement \*:

a. square feet of BVW

b. square feet of salt marsh

24.  Stream Crossing(s):

a. number of new stream crossings

b. number of replacement stream crossings

## C. General Conditions Under Massachusetts Wetlands Protection Act

The following conditions are only applicable to Approved projects.

1. Failure to comply with all conditions stated herein, and with all related statutes and other regulatory measures, shall be deemed cause to revoke or modify this Order.
2. The Order does not grant any property rights or any exclusive privileges; it does not authorize any injury to private property or invasion of private rights.
3. This Order does not relieve the permittee or any other person of the necessity of complying with all other applicable federal, state, or local statutes, ordinances, bylaws, or regulations.
4. The work authorized hereunder shall be completed within three years from the date of this Order unless either of the following apply:
  - a. The work is a maintenance dredging project as provided for in the Act; or
  - b. The time for completion has been extended to a specified date more than three years, but less than five years, from the date of issuance. If this Order is intended to be valid for more than three years, the extension date and the special circumstances warranting the extended time period are set forth as a special condition in this Order.
  - c. If the work is for a Test Project, this Order of Conditions shall be valid for no more than one year.
5. This Order may be extended by the issuing authority for one or more periods of up to three years each upon application to the issuing authority at least 30 days prior to the expiration date of the Order. An Order of Conditions for a Test Project may be extended for one additional year only upon written application by the applicant, subject to the provisions of 310 CMR 10.05(11)(f).
6. If this Order constitutes an Amended Order of Conditions, this Amended Order of Conditions does not extend the issuance date of the original Final Order of Conditions and the Order will expire on \_\_\_\_\_ unless extended in writing by the Department.
7. Any fill used in connection with this project shall be clean fill. Any fill shall contain no trash, refuse, rubbish, or debris, including but not limited to lumber, bricks, plaster, wire, lath, paper, cardboard, pipe, tires, ashes, refrigerators, motor vehicles, or parts of any of the foregoing.



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### **C. General Conditions Under Massachusetts Wetlands Protection Act**

8. This Order is not final until all administrative appeal periods from this Order have elapsed, or if such an appeal has been taken, until all proceedings before the Department have been completed.
9. No work shall be undertaken until the Order has become final and then has been recorded in the Registry of Deeds or the Land Court for the district in which the land is located, within the chain of title of the affected property. In the case of recorded land, the Final Order shall also be noted in the Registry's Grantor Index under the name of the owner of the land upon which the proposed work is to be done. In the case of the registered land, the Final Order shall also be noted on the Land Court Certificate of Title of the owner of the land upon which the proposed work is done. The recording information shall be submitted to the Conservation Commission on the form at the end of this Order, which form must be stamped by the Registry of Deeds, prior to the commencement of work.
10. A sign shall be displayed at the site not less than two square feet or more than three square feet in size bearing the words,
 

"Massachusetts Department of Environmental Protection" [or, "MassDEP"]  
 "File Number            034-1489 "
11. Where the Department of Environmental Protection is requested to issue a Superseding Order, the Conservation Commission shall be a party to all agency proceedings and hearings before MassDEP.
12. Upon completion of the work described herein, the applicant shall submit a Request for Certificate of Compliance (WPA Form 8A) to the Conservation Commission.
13. The work shall conform to the plans and special conditions referenced in this order.
14. Any change to the plans identified in Condition #13 above shall require the applicant to inquire of the Conservation Commission in writing whether the change is significant enough to require the filing of a new Notice of Intent.
15. The Agent or members of the Conservation Commission and the Department of Environmental Protection shall have the right to enter and inspect the area subject to this Order at reasonable hours to evaluate compliance with the conditions stated in this Order, and may require the submittal of any data deemed necessary by the Conservation Commission or Department for that evaluation.
16. This Order of Conditions shall apply to any successor in interest or successor in control of the property subject to this Order and to any contractor or other person performing work conditioned by this Order.



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**C. General Conditions Under Massachusetts Wetlands Protection Act (cont.)**

17. Prior to the start of work, and if the project involves work adjacent to a Bordering Vegetated Wetland, the boundary of the wetland in the vicinity of the proposed work area shall be marked by wooden stakes or flagging. Once in place, the wetland boundary markers shall be maintained until a Certificate of Compliance has been issued by the Conservation Commission.
18. All sedimentation barriers shall be maintained in good repair until all disturbed areas have been fully stabilized with vegetation or other means. At no time shall sediments be deposited in a wetland or water body. During construction, the applicant or his/her designee shall inspect the erosion controls on a daily basis and shall remove accumulated sediments as needed. The applicant shall immediately control any erosion problems that occur at the site and shall also immediately notify the Conservation Commission, which reserves the right to require additional erosion and/or damage prevention controls it may deem necessary. Sedimentation barriers shall serve as the limit of work unless another limit of work line has been approved by this Order.
19. The work associated with this Order (the "Project")
- (1)  is subject to the Massachusetts Stormwater Standards
- (2)  is NOT subject to the Massachusetts Stormwater Standards

**If the work is subject to the Stormwater Standards, then the project is subject to the following conditions:**

- a) All work, including site preparation, land disturbance, construction and redevelopment, shall be implemented in accordance with the construction period pollution prevention and erosion and sedimentation control plan and, if applicable, the Stormwater Pollution Prevention Plan required by the National Pollution Discharge Elimination System Construction General Permit as required by Stormwater Condition 8. Construction period erosion, sedimentation and pollution control measures and best management practices (BMPs) shall remain in place until the site is fully stabilized.
- b) No stormwater runoff may be discharged to the post-construction stormwater BMPs unless and until a Registered Professional Engineer provides a Certification that:
- i.* all construction period BMPs have been removed or will be removed by a date certain specified in the Certification. For any construction period BMPs intended to be converted to post construction operation for stormwater attenuation, recharge, and/or treatment, the conversion is allowed by the MassDEP Stormwater Handbook BMP specifications and that the BMP has been properly cleaned or prepared for post construction operation, including removal of all construction period sediment trapped in inlet and outlet control structures;
  - ii.* as-built final construction BMP plans are included, signed and stamped by a Registered Professional Engineer, certifying the site is fully stabilized;
  - iii.* any illicit discharges to the stormwater management system have been removed, as per the requirements of Stormwater Standard 10;



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**C. General Conditions Under Massachusetts Wetlands Protection Act (cont.)**

iv. all post-construction stormwater BMPs are installed in accordance with the plans (including all planting plans) approved by the issuing authority, and have been inspected to ensure that they are not damaged and that they are in proper working condition;

v. any vegetation associated with post-construction BMPs is suitably established to withstand erosion.

c) The landowner is responsible for BMP maintenance until the issuing authority is notified that another party has legally assumed responsibility for BMP maintenance. Prior to requesting a Certificate of Compliance, or Partial Certificate of Compliance, the responsible party (defined in General Condition 18(e)) shall execute and submit to the issuing authority an Operation and Maintenance Compliance Statement ("O&M Statement") for the Stormwater BMPs identifying the party responsible for implementing the stormwater BMP Operation and Maintenance Plan ("O&M Plan") and certifying the following:

i.) the O&M Plan is complete and will be implemented upon receipt of the Certificate of Compliance, and

ii.) the future responsible parties shall be notified in writing of their ongoing legal responsibility to operate and maintain the stormwater management BMPs and implement the Stormwater Pollution Prevention Plan.

d) Post-construction pollution prevention and source control shall be implemented in accordance with the long-term pollution prevention plan section of the approved Stormwater Report and, if applicable, the Stormwater Pollution Prevention Plan required by the National Pollution Discharge Elimination System Multi-Sector General Permit.

e) Unless and until another party accepts responsibility, the landowner, or owner of any drainage easement, assumes responsibility for maintaining each BMP. To overcome this presumption, the landowner of the property must submit to the issuing authority a legally binding agreement of record, acceptable to the issuing authority, evidencing that another entity has accepted responsibility for maintaining the BMP, and that the proposed responsible party shall be treated as a permittee for purposes of implementing the requirements of Conditions 19(f) through 19(k) with respect to that BMP. Any failure of the proposed responsible party to implement the requirements of Conditions 19(f) through 19(k) with respect to that BMP shall be a violation of the Order of Conditions or Certificate of Compliance. In the case of stormwater BMPs that are serving more than one lot, the legally binding agreement shall also identify the lots that will be serviced by the stormwater BMPs. A plan and easement deed that grants the responsible party access to perform the required operation and maintenance must be submitted along with the legally binding agreement.

f) The responsible party shall operate and maintain all stormwater BMPs in accordance with the design plans, the O&M Plan, and the requirements of the Massachusetts Stormwater Handbook.



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**C. General Conditions Under Massachusetts Wetlands Protection Act (cont.)**

- g) The responsible party shall:
1. Maintain an operation and maintenance log for the last three (3) consecutive calendar years of inspections, repairs, maintenance and/or replacement of the stormwater management system or any part thereof, and disposal (for disposal the log shall indicate the type of material and the disposal location);
  2. Make the maintenance log available to MassDEP and the Conservation Commission ("Commission") upon request; and
  3. Allow members and agents of the MassDEP and the Commission to enter and inspect the site to evaluate and ensure that the responsible party is in compliance with the requirements for each BMP established in the O&M Plan approved by the issuing authority.
- h) All sediment or other contaminants removed from stormwater BMPs shall be disposed of in accordance with all applicable federal, state, and local laws and regulations.
- i) Illicit discharges to the stormwater management system as defined in 310 CMR 10.04 are prohibited.
- j) The stormwater management system approved in the Order of Conditions shall not be changed without the prior written approval of the issuing authority.
- k) Areas designated as qualifying pervious areas for the purpose of the Low Impact Site Design Credit (as defined in the MassDEP Stormwater Handbook, Volume 3, Chapter 1, Low Impact Development Site Design Credits) shall not be altered without the prior written approval of the issuing authority.
- l) Access for maintenance, repair, and/or replacement of BMPs shall not be withheld. Any fencing constructed around stormwater BMPs shall include access gates and shall be at least six inches above grade to allow for wildlife passage.

Special Conditions (if you need more space for additional conditions, please attach a text document):

**See attached Findings A-D, Standard Conditions 1-22, and Special Conditions numbered 23-29 on pages 9A, 9B, 9C, 9D & 9E.**

20. For Test Projects subject to 310 CMR 10.05(11), the applicant shall also implement the monitoring plan and the restoration plan submitted with the Notice of Intent. If the conservation commission or Department determines that the Test Project threatens the public health, safety or the environment, the applicant shall implement the removal plan submitted with the Notice of Intent or modify the project as directed by the conservation commission or the Department.



**TOWN OF HINGHAM  
CONSERVATION COMMISSION**

**24 SHIPYARD DRIVE  
DEP File No. 034-1489**

**FINDINGS OF FACT:**

- A. The work described is within an Area Subject to Protection (Land Under the Ocean) under the Wetlands Protection Act, M.G.L. Ch. 131, § 40, and the Town of Hingham Wetlands Protection Bylaw (Article 22 of the General Bylaws), and will result in 9 square feet of alteration resulting from pile installation.
- B. The Conservation Commission finds the area in which work is proposed is significant to the following additional wetland values: flood control, erosion and sedimentation control, storm damage prevention including coastal storm flowage, prevention and abatement of water pollution, protection of fisheries, protection of shellfish, protection of wildlife and wildlife habitat, protection of rare species habitat, protection of recreation and open space, protection of aquaculture, and protection of aesthetics.
- C. With incorporation of the special conditions included in this Order, including the use of slow hammer starts during pile removal and installation, proposed work has been found to meet the performance standards set forth under 310 CMR 10.25 and Section 17.1(d) of the Hingham Wetland Regulations, and will not have any adverse effects on the wetland values of Land Under the Ocean.
- D. The Commission has determined the project complies with the Massachusetts Wetlands Protection Act, M.G.L. Ch. 131 §40 and Implementing Regulations 310 CMR 10.00 and the Hingham Wetlands Protection Bylaw (Article 22) and Wetland Regulations.



## TOWN OF HINGHAM CONSERVATION COMMISSION

### STANDARD CONDITIONS

#### Prior to Construction:

1. Display the DEP file number and/or Hingham By-Law number for this Order on a sign with minimum dimensions of two feet by two feet at a location clearly visible from the street. The sign shall remain in place and visible until a Certificate of Compliance is issued for the activity.
2. Prior to the commencement of any work activity on site, including clearing of vegetation or disturbance of soil, except what is necessary for installation of sediment controls, the applicant shall install erosion and sediment controls as shown on the approved plan (straw wattles and/or hay bales shall not be used) which shall be inspected by the Conservation Officer in accordance with standard condition #3.
3. Prior to the commencement of any work activity on site, the applicant shall submit a written request to the Conservation Office for a Pre-Construction Meeting/Erosion and Sediment Control Inspection to be held on the site with the applicant or applicant's representative, project supervisor or contractor responsible for the work, and the Conservation Officer, to review the limit of work, stormwater controls, construction schedule and other requirements of this Order. Work on site shall not commence until the erosion/sediment controls are approved by the Conservation Officer.
4. The Conservation Commission shall be notified in writing at least 48 hours prior to the start of work governed by these orders and shall be provided with the name, telephone number and email address of the person(s) responsible for compliance with this Order.
5. This Order shall be included in all construction contracts and subcontracts dealing with the work and shall supersede all other applicable contract requirements.

#### During Construction:

6. Erosion and sediment control devices shall be inspected routinely and after each storm event and repaired or replaced as necessary. Any accumulated silt adjacent to the barriers shall be removed and properly disposed of. Sediment control devices shall remain in place and properly functioning until all exposed soils have been stabilized with final vegetative cover and the Conservation Officer has authorized their removal.
7. The Commission reserves the right to impose additional conditions on portions of this project to mitigate any impacts which could result from site erosion, or any noticeable degradation of surface water quality discharging from the site.
8. An adequate stockpile of erosion control materials shall be on site at all times for emergency or routine replacement and shall include materials to repair or replace silt fences, silt sock, erosion control blankets, stone riprap, filter berms or any other devices planned for use during construction.

9. Under no conditions shall operation of equipment, storage of materials, or other site disturbance take place on the wetland side of the limit of work line. Additionally, no vehicle, or other machinery, refueling, lubrication or maintenance, including concrete washout, shall take place within 100 feet of any resource area.
10. There shall be no stockpiling of soil or other materials within 100 feet of any resource area. All stockpiles of soils within the Commission's jurisdiction existing for more than one day shall be surrounded by a row of entrenched silt fence or equivalent. Stockpiles shall be temporarily stabilized (i.e. erosion control blankets, temporary loam and seed, straw mulch) if they are to remain undisturbed for 5 days or longer.
11. Any on-site dumpsters shall not be located within 50 feet of a wetland resource area.
12. The burial of stumps and any other type of construction refuse or other waste material is prohibited in any wetland resource area of buffer zone.
13. Any person performing work on the activity that is the subject of this Order is individually responsible for understanding and complying with the requirements of this Order, the Wetlands Protection Act, 310 CMR 10.00 and the Hingham Wetlands Protection By-Law and implementing Regulations. The Order of Conditions and approved plan(s) shall be retained on the site during construction and made known and available to all contractors.
14. Before executing any change or revision from the plan(s) of record, the applicant shall inquire from the Commission or its agent, prior to implementation, whether the change is significant enough to require the filing of a new Notice of Intent or Request for Amended Order of Conditions. Any errors found in the plans or information submitted by the applicant shall be considered as changes. Approval from other Town Agents or Inspectors does not relieve the applicant from obtaining approval from the Commission.
15. Upon completion of construction and grading (for each phase as applicable), disturbed areas shall be permanently stabilized with vegetative cover. Areas shall be loamed, seeded, and mulched with a layer of mulch hay, or, if outside the growing seasons, shall be mulched until climate conditions allow for seeding. Subsequent to seeding, disturbed areas will be covered with erosion control blanket or netting, or other suitable material, if deemed necessary, in order to provide an adequate surface protection until seed germination.

**Post Construction:**

16. This Order authorizes only the activity described on the approved plan(s) and approved documents referenced in this Order. Any other activity in areas within the jurisdiction of the Commission will require separate review and approval by the Commission or its agent.
17. The Conservation Commission shall be notified in writing within 48 hours of any transfer of ownership of any lot or property subject to these Orders.
18. Prior to the issuance of a Certificate of Compliance and upon any sale of the property to subsequent owners, the new owner shall provide a letter to the Conservation Commission acknowledging that he/she understands the wetland restrictions bound to this property, if applicable. A copy of this letter shall accompany the written request for a Certificate of Compliance. This condition shall survive the expiration of this Order, and shall be included as a continuing condition in perpetuity on the Certificate of Compliance.

19. Upon completion of construction and final soil stabilization and prior to the expiration of this Order, the applicant shall submit, at a minimum, the following to the Conservation Commission to request a Certificate of Compliance (COC): (a) completed WPA Form 8A, Request for a Certificate of Compliance Form and (b) A letter from a registered professional engineer, professional land surveyor or other qualified professional, certifying substantial compliance with the approved plans and special conditions of this Order, and detailing any deviations that exist, and their potential effect on the project. A statement that the work is in "substantial compliance" with no detailing of the deviations shall not be accepted. If all conditions cannot be fulfilled prior to the expiration of this Order, the applicant shall contact the Commission in writing to apply for an extension at least thirty days prior to the expiration date.
20. Pesticides, herbicides, fungicides, and fertilizers shall not be used within 100 feet of a freshwater or coastal Wetland, within the Riverfront Area, or within Bordering Land Subject to Flooding or Land Subject to Coastal Storm Flowage. Organic pesticides, herbicides, fungicides and fertilizers may be used subject to the review and approval of the Conservation Commission. This condition shall survive the expiration of this Order, and shall be included as a continuing condition in perpetuity on the Certificate of Compliance
21. De-icing chemicals (e.g. sodium, potassium, and calcium chloride) are prohibited on driveways located in wetland resource areas and buffer zones. This condition shall survive the expiration of this Order, and shall be included as a continuing condition in perpetuity on the Certificate of Compliance.
22. Dumping Prohibited: There shall be no dumping of leaves, grass clippings, brush, or other debris into any resource area, stream, or body of water. This condition shall survive the expiration of this Order, and shall be included as a continuing condition in perpetuity on the Certificate of Compliance.

**24 SHIPYARD DRIVE  
DEP File No. 034-1489**

**SPECIAL CONDITIONS**

*The following conditions are in support of the Commission's evaluation of this project under both the MA Wetlands Protection Act and Town of Hingham Wetlands Protection Bylaw unless specifically designated as By-Law only (see also DEP General Conditions 1-20 and Hingham Standard Conditions 1-22).*

23. Prior to commencement of work, copies of all federal, state, and local permits, certifications, and approvals, as applicable, shall be submitted to the Commission for review.
24. Prior to the commencement of work, silt curtains shall be installed around the pile sites as recommended by the Division of Marine Fisheries. Sediment controls shall be approved by the Conservation Officer prior to work in accordance with Standard Condition #3.
25. No vehicle or other machinery refueling, lubrication, or maintenance, or storage of fuel or maintenance chemicals shall take place within 100 feet of any resource area.
26. Water based support equipment (construction barge or any other associated equipment) shall not be allowed to ground out at any time to avoid impacts to coastal resource areas and marine fisheries.
27. Pile installation shall be conducted using slow hammer starts to minimize impacts to marine fisheries and wildlife. Verification of equipment shall be provided at the pre-activity meeting required by Standard Condition #3.
28. The contractor responsible for work shall contain all construction materials used for pile replacements at the project site. Construction materials and debris shall be cleaned up and removed from the site daily after the completion of work.
29. Absolutely no release of any petroleum product, epoxies, resins, admixtures, touch-up coatings, or the like shall be permitted. Accidental releases shall be reported to the Harbormaster, Conservation Commission, project engineer, and if applicable, the U.S. Coast Guard. The contractor shall have on site sufficient absorbent pads and booms to contain an accidental spill throughout the duration of pile work.



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**D. Findings Under Municipal Wetlands Bylaw or Ordinance**

1. Is a municipal wetlands bylaw or ordinance applicable?  Yes     No
2. The HINGHAM hereby finds (check one that applies):  
     Conservation Commission
  - a.  that the proposed work cannot be conditioned to meet the standards set forth in a municipal ordinance or bylaw, specifically:  
     Hingham Wetlands Protection Bylaw Article 22  
     1. Municipal Ordinance or Bylaw 2. Citation

Therefore, work on this project may not go forward unless and until a revised Notice of Intent is submitted which provides measures which are adequate to meet these standards, and a final Order of Conditions is issued.

  - b.  that the following additional conditions are necessary to comply with a municipal ordinance or bylaw:  
     Hingham Wetlands Protection Bylaw Article 22  
     1. Municipal Ordinance or Bylaw 2. Citation
3. The Commission orders that all work shall be performed in accordance with the following conditions and with the Notice of Intent referenced above. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, the conditions shall control.  
 The special conditions relating to municipal ordinance or bylaw are as follows (if you need more space for additional conditions, attach a text document):

See attached Findings A-D and Special Conditions numbered 23-29 on pages 9A & 9E



**Massachusetts Department of Environmental Protection**  
**Bureau of Resource Protection - Wetlands**  
**WPA Form 5 – Order of Conditions**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:  
 034-1489  
 MassDEP File #

eDEP Transaction #  
**HINGHAM**  
 City/Town

### E. Signatures

This Order is valid for three years, unless otherwise specified as a special condition pursuant to General Conditions #4, from the date of issuance.

Please indicate the number of members who will sign this form.  
 This Order must be signed by a majority of the Conservation Commission.

The Order must be mailed by certified mail (return receipt requested) or hand delivered to the applicant. A copy also must be mailed or hand delivered at the same time to the appropriate Department of Environmental Protection Regional Office, if not filing electronically, and the property owner, if different from applicant.

4/29/24

1. Date of Issuance

4

2. Number of Signers

Signature *Carl Kelly*  
 Signature *[Signature]*  
 Signature *[Signature]*  
 Signature \_\_\_\_\_  
 Signature \_\_\_\_\_  
 Signature \_\_\_\_\_  
 Signature \_\_\_\_\_

Printed Name Crystal Kelly  
 Printed Name Robert P Mosher  
 Printed Name H. R. HIDEI II  
 Printed Name Nina Villanova  
 Printed Name \_\_\_\_\_  
 Printed Name \_\_\_\_\_  
 Printed Name \_\_\_\_\_  
 Printed Name \_\_\_\_\_

by hand delivery on  
 Date 4/29/24

by certified mail, return receipt requested, on  
 Date \_\_\_\_\_



**Massachusetts Department of Environmental Protection**  
 Bureau of Resource Protection - Wetlands  
**WPA Form 5 – Order of Conditions**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

034-1489

MassDEP File #

eDEP Transaction #

**HINGHAM**

City/Town

## F. Appeals

The applicant, the owner, any person aggrieved by this Order, any owner of land abutting the land subject to this Order, or any ten residents of the city or town in which such land is located, are hereby notified of their right to request the appropriate MassDEP Regional Office to issue a Superseding Order of Conditions. The request must be made by certified mail or hand delivery to the Department, with the appropriate filing fee and a completed Request for Departmental Action Fee Transmittal Form, as provided in 310 CMR 10.03(7) within ten business days from the date of issuance of this Order. A copy of the request shall at the same time be sent by certified mail or hand delivery to the Conservation Commission and to the applicant, if he/she is not the appellant.

Any appellants seeking to appeal the Department's Superseding Order associated with this appeal will be required to demonstrate prior participation in the review of this project. Previous participation in the permit proceeding means the submission of written information to the Conservation Commission prior to the close of the public hearing, requesting a Superseding Order, or providing written information to the Department prior to issuance of a Superseding Order.

The request shall state clearly and concisely the objections to the Order which is being appealed and how the Order does not contribute to the protection of the interests identified in the Massachusetts Wetlands Protection Act (M.G.L. c. 131, § 40), and is inconsistent with the wetlands regulations (310 CMR 10.00). To the extent that the Order is based on a municipal ordinance or bylaw, and not on the Massachusetts Wetlands Protection Act or regulations, the Department has no appellate jurisdiction.



**Massachusetts Department of Environmental Protection**  
 Bureau of Resource Protection - Wetlands  
**WPA Form 5 – Order of Conditions**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

034-1489

MassDEP File #

eDEP Transaction #

HINGHAM

City/Town

## G. Recording Information

Prior to commencement of work, this Order of Conditions must be recorded in the Registry of Deeds or the Land Court for the district in which the land is located, within the chain of title of the affected property. In the case of recorded land, the Final Order shall also be noted in the Registry's Grantor Index under the name of the owner of the land subject to the Order. In the case of registered land, this Order shall also be noted on the Land Court Certificate of Title of the owner of the land subject to the Order of Conditions. The recording information on this page shall be submitted to the Conservation Commission listed below.

Hingham

Conservation Commission

Detach on dotted line, have stamped by the Registry of Deeds and submit to the Conservation Commission.

To:

Hingham

Conservation Commission

Please be advised that the Order of Conditions for the Project at:

24 Shipyard Drive

Project Location

034-1489

MassDEP File Number

Has been recorded at the Registry of Deeds of:

Plymouth

County

Book

Page

for:

Property Owner

and has been noted in the chain of title of the affected property in:

Book

Page

In accordance with the Order of Conditions issued on:

Date

If recorded land, the instrument number identifying this transaction is:

Instrument Number

If registered land, the document number identifying this transaction is:

Document Number

Signature of Applicant

Form WD 54

# The Commonwealth of Massachusetts

No. 613



Whereas, Colonial Coastal Corporation -----

of Waltham -----, in the County of Middlesex ----- and Commonwealth  
aforesaid, has applied to the Department of Environmental Quality Engineering for license to  
reinforce and maintain a steel bulkhead, maintain two existing piers with  
the removal of a portion of one, remove six existing piers and construct and  
maintain eight ramps, eight main pile-held floats and finger floats for a  
marina in Weymouth Back River, in the Town of Hingham -----  
and has submitted plans of the same; and whereas due notice of said application, and of the time and  
place fixed for a hearing thereon, has been given, as required by law, to the -----  
Board of Selectmen--of the Town ----- of Hingham -----;

Now said Department, having heard all parties desiring to be heard, and having fully considered  
said application, hereby, subject to the approval of the Governor, authorizes and licenses the said  
Colonial Coastal Corporation -----

-----, subject to the provisions of the ninety-first chapter  
of the General Laws, and of all laws which are or may be in force applicable thereto, to reinforce  
and maintain a steel bulkhead, maintain two existing piers with the removal  
of a portion of one, remove six piers and to construct and maintain eight  
ramps, eight main floats and finger floats for a marina in Weymouth Back  
River, at their property in the Town of Hingham, in conformity with the  
accompanying license plan no. 613 (five sheets)

An existing steel bulkhead may be reinforced and maintained in said river, having length of approximately 1415 feet and a top of concrete wall elevation of 16 feet above the mean low water datum, with details as indicated on sheets 3 and 4 of License Plan No. 613.

A commuter boat pier having a length of approximately 300 feet and an adjacent float may be maintained as constructed at the easterly end of said marina.

Six deteriorated piers to the west of said commuter boat pier may be removed and replaced with eight main floats having widths of seven feet, reached by 3 x 36 foot ramps from the reinforced bulkhead and lengths from east to west respectively of approximately 322, 320, 333, 353, 356, 364, 374, and 368 feet. Pile held finger floats may project from either side of said main floats, with spacings and lengths as indicated on Sheet 2 of License Plan No. 613.

A triangular-shaped portion of an existing outfitting pier may be removed, with the remaining section of said pier having a length of approximately 310 feet and a width varying from 7 feet to 35 feet at the existing bulkhead.

An existing travel lift to the east of said triangular-shaped pier may be removed and a new travel lift having a length of approximately 50 feet and a width of 4 feet with a top of lift elevation of 16 feet above the mean low water datum, may be constructed and maintained, located as indicated on the License Plan.

An existing timber pier to the southwest of said travel lift may be restored and maintained as constructed in said river.

A main float having a length of approximately 270 feet and a width of 5 feet may be placed and maintained adjacent to the westerly side of said reconstructed outfitting pier. Pile held finger floats having a width of four feet and varying lengths may project from said main float's westerly side, spaced as indicated on Sheet 5 of License Plan No. 613.

An angular float, reached by a 3 x 36 foot ramp from an existing bulkhead, having a total length of 60 feet and a width of 9 feet, may be placed and maintained at the southerly end of said 270 foot main float.

A second main float, adjacent to the existing timber pier to be restored, having a length of approximately 465 feet and a width of 5 feet, may be placed and maintained in said river at the southerly end of said angular float. Pile held finger floats having a width of 4 feet and varying lengths may project from said main float's northwesterly side, spaced as indicated on Sheet 5 of License Plan No. 613.

Duplicate of said plan, numbered ----6 1 3----- is on file in the office of said Department, and original of said plan accompanies this License, and is to be referred to as a part hereof.

The amount of tide-water displaced by the work hereby authorized has been ascertained by said Department, and compensation thereof has been made by the said Colonial Coastal Corporation ---

613/Colonial Coastal Corporation/page 3

All work authorized hereby shall be in the location shown and in accordance with the details given as indicated on License Plan No. 613.

Please see page four for additional conditions to this license.

License No. 613/Colonial Coastal Corporation/page 4

Nothing in this license shall be construed as authorizing encroachment on or over property not owned or controlled by the licensee, except with the consent of the owner or owners thereof.

Acceptance of this license shall constitute an agreement by the licensee, to conform to all terms and conditions herein stated.

This license is granted subject to all applicable Federal, State, County and Municipal laws, ordinances and regulations.

This license is granted upon the express condition that use by boats or otherwise of the structures hereby licensed shall involve no discharge of sewage or other polluting matter into the adjacent tidewaters, except in strict conformity with the requirements of the local and State health departments and the Division of Water Pollution Control.

This license is granted upon the further express condition that any other authorizations necessitated due to the provisions hereof shall be secured prior to the commencement of any work under this license.

This license is granted upon the further express condition that the authorization contained herein may be modified or may be revoked in whole or in part in the event of the licensee, its successors and assigns, failing to comply with said authorization or any provisions of the license or failing to maintain all authorized structures and installations in good condition, to the satisfaction of the Department of Environmental Quality Engineering or its successors. This condition permitting modification or revocation of the license shall also apply in the event of the failure of the licensee, its successors and assigns, to secure approval under all other applicable laws, ordinances or regulations or failure to adhere to the conditions of such approvals upon receipt of such failure provided by an agency having jurisdiction. Revocation or modification of this license as provided herein shall be without liability to the Commonwealth or claim for compensation by the licensee, its successors and assigns.

This license is granted upon the further express condition that the licensee, its successors and assigns, shall upon request in writing by the Department of Environmental Quality Engineering or its successors, change the location of said ~~lower it to such depth, or raise it to such height, as said~~ Department may prescribe or remove it entirely from said waters, and said licensee, by accepting this license shall be deemed to consent and agree to the condition herein set forth, and in case of any refusal or neglect on the part of the licensee, its successors and assigns, to comply with this condition, then this license shall be wholly void and the Commonwealth, by its proper officers, may proceed to remove or to cause the removal of said at the expense of said licensee, its successors and assigns, as an unauthorized and unlawful structure in said waters.

by paying into the treasury of the Commonwealth two dollars (\$2.00) for each cubic yard so displaced, being the amount hereby assessed by said Department.

Nothing in this License shall be so construed as to impair the legal rights of any person.

This License shall be void unless the same and the accompanying plan are recorded within one year from the date hereof, in the Registry of Deeds for the District of the County of Plymouth.

In Witness Whereof, said Department of Environmental Quality Engineering have hereunto set their hands this twenty-eighth day of November in the year nineteen hundred and seventy-nine.

Commissioner

Chief Engineer

*John J. Gannay*

Department of Environmental Quality Engineering

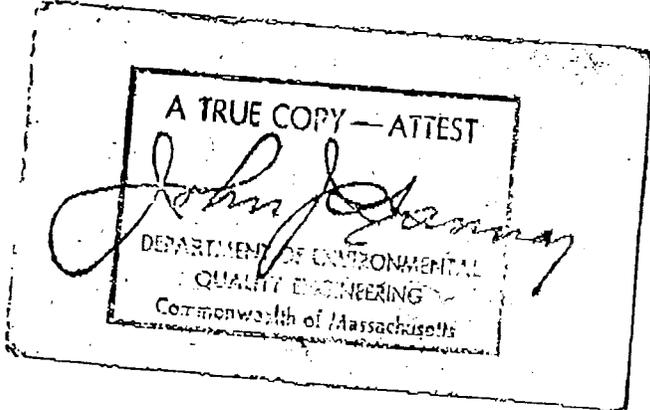
THE COMMONWEALTH OF MASSACHUSETTS

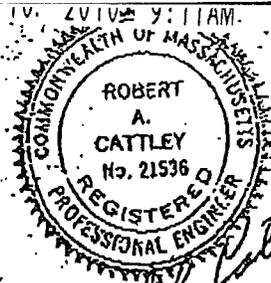
This license is approved in consideration of the payment into the treasury of the Commonwealth by the said Colonial Coastal Corporation of the further sum of six thousand, three hundred and thirty-eight dollars (6,338.00) the amount determined by the Governor as a just and equitable charge for rights and privileges hereby granted in land of the Commonwealth.

Approved by the Governor.

BOSTON, 12/7/79

*Edward J. King*  
Governor





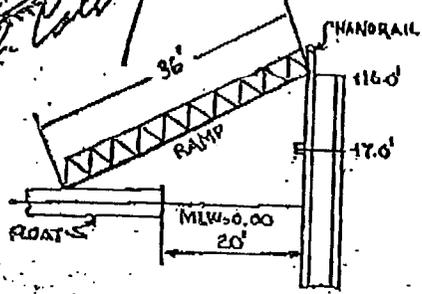
LICENSE PLAN NO. 613

No. 6440 P. 6

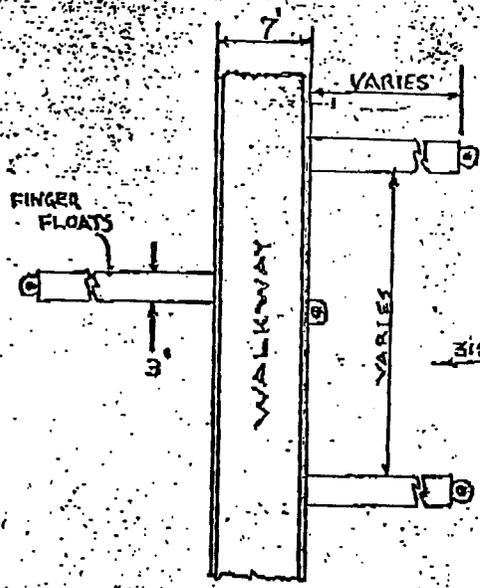
Approved by Department of Environmental Quality

NOV 28 1979

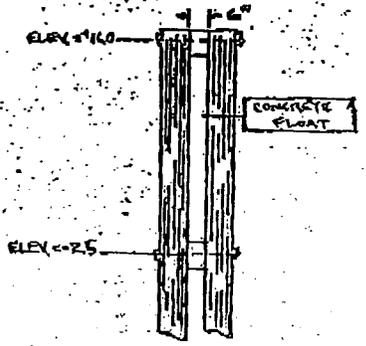
*Robert A. Cattley*



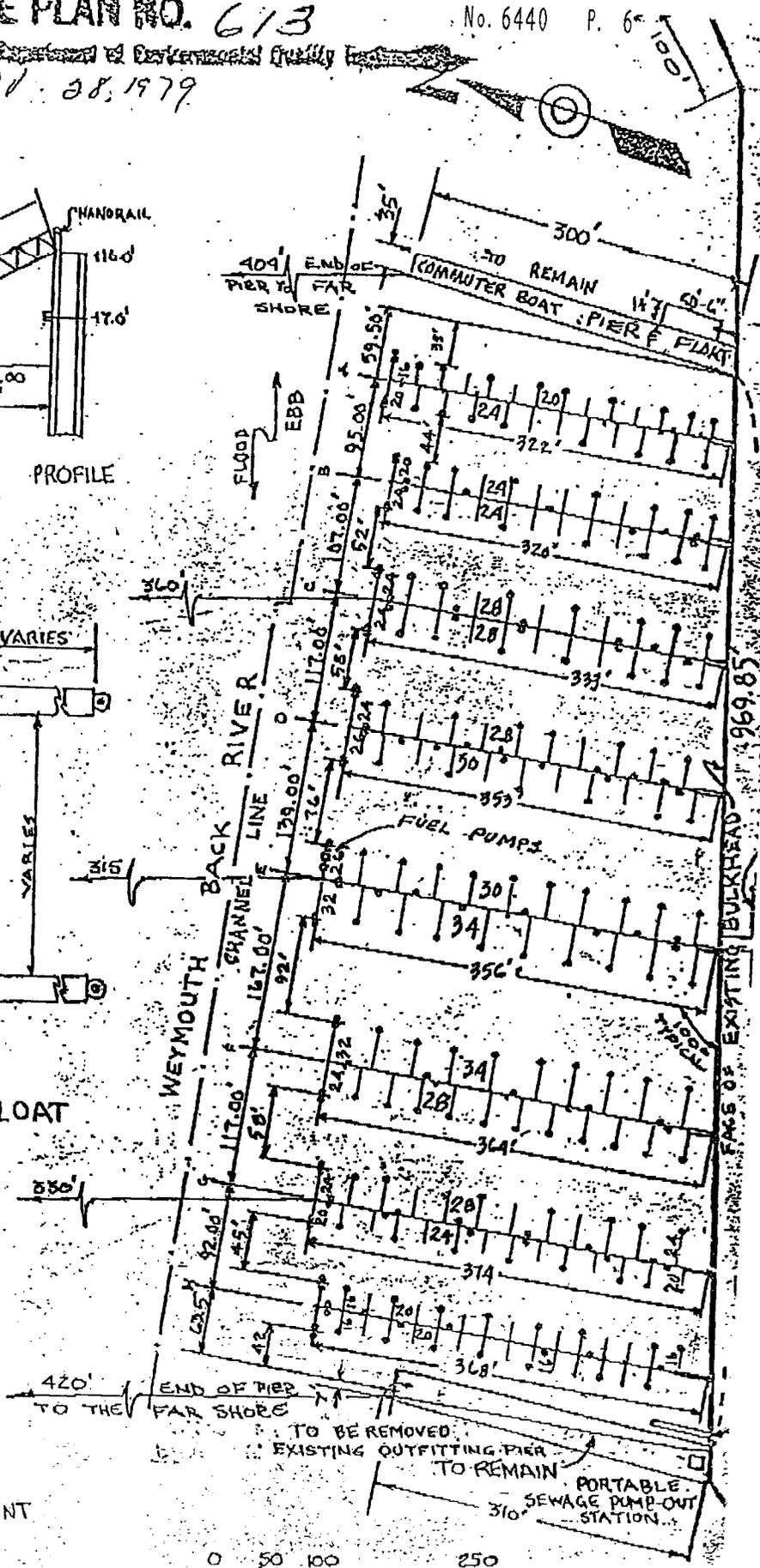
TYPICAL RAMP N.T.S. PROFILE



TYPICAL FLOAT N.T.S.



TYPICAL 2-PILE PIER END REINFORCEMENT N.T.S.



0 50 100 250

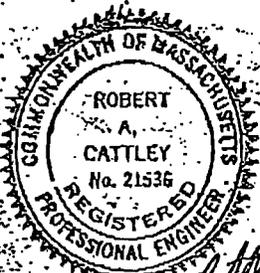
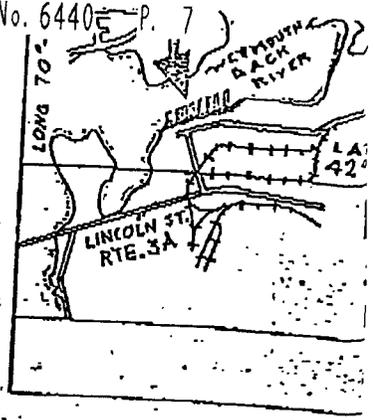
SCALE: 1"=150'

PLAN TO ACCOMPANY PETITION OF COLONIAL COASTAL CORP.

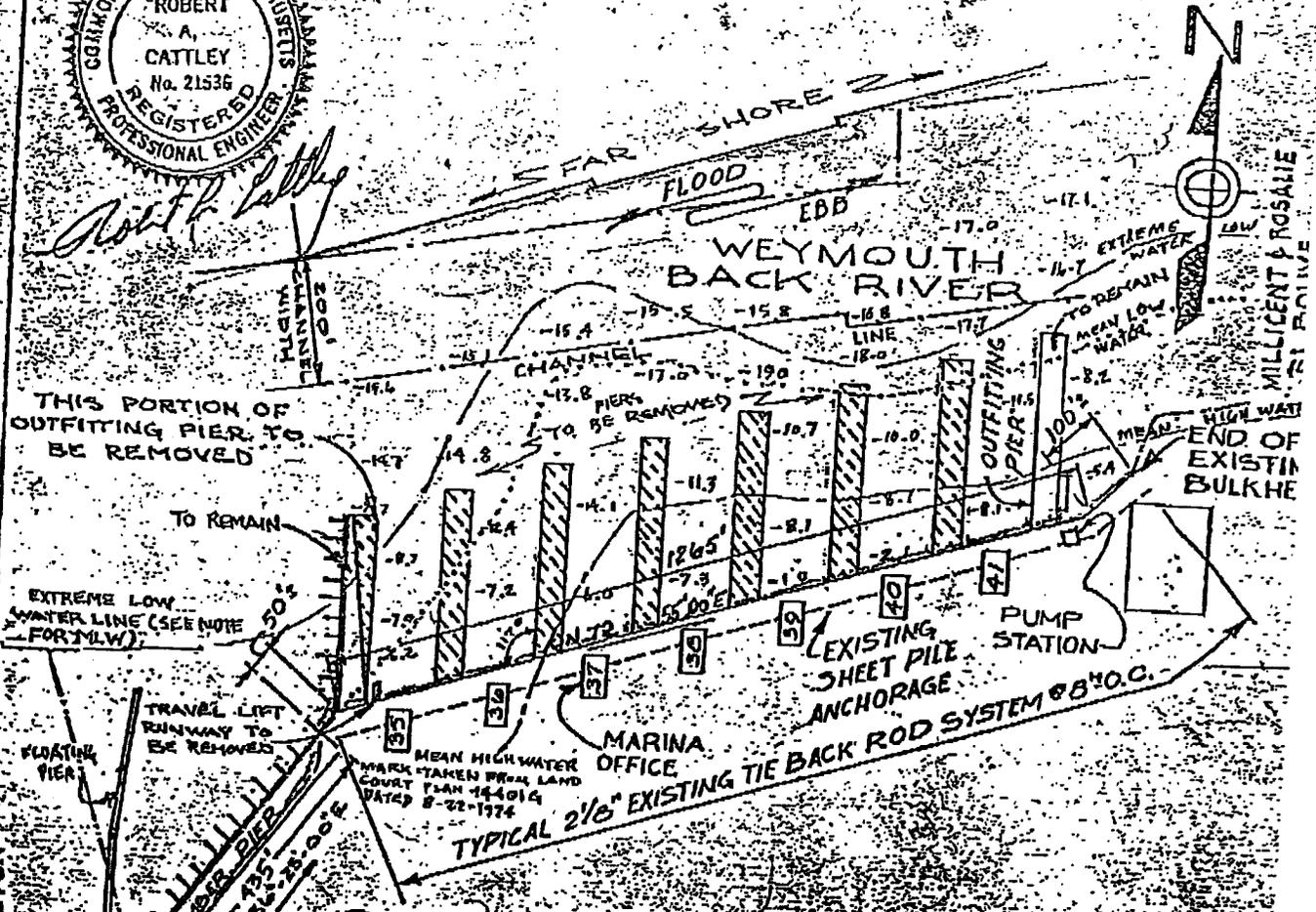
PROPOSED MARINA LAYOUT

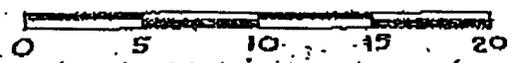
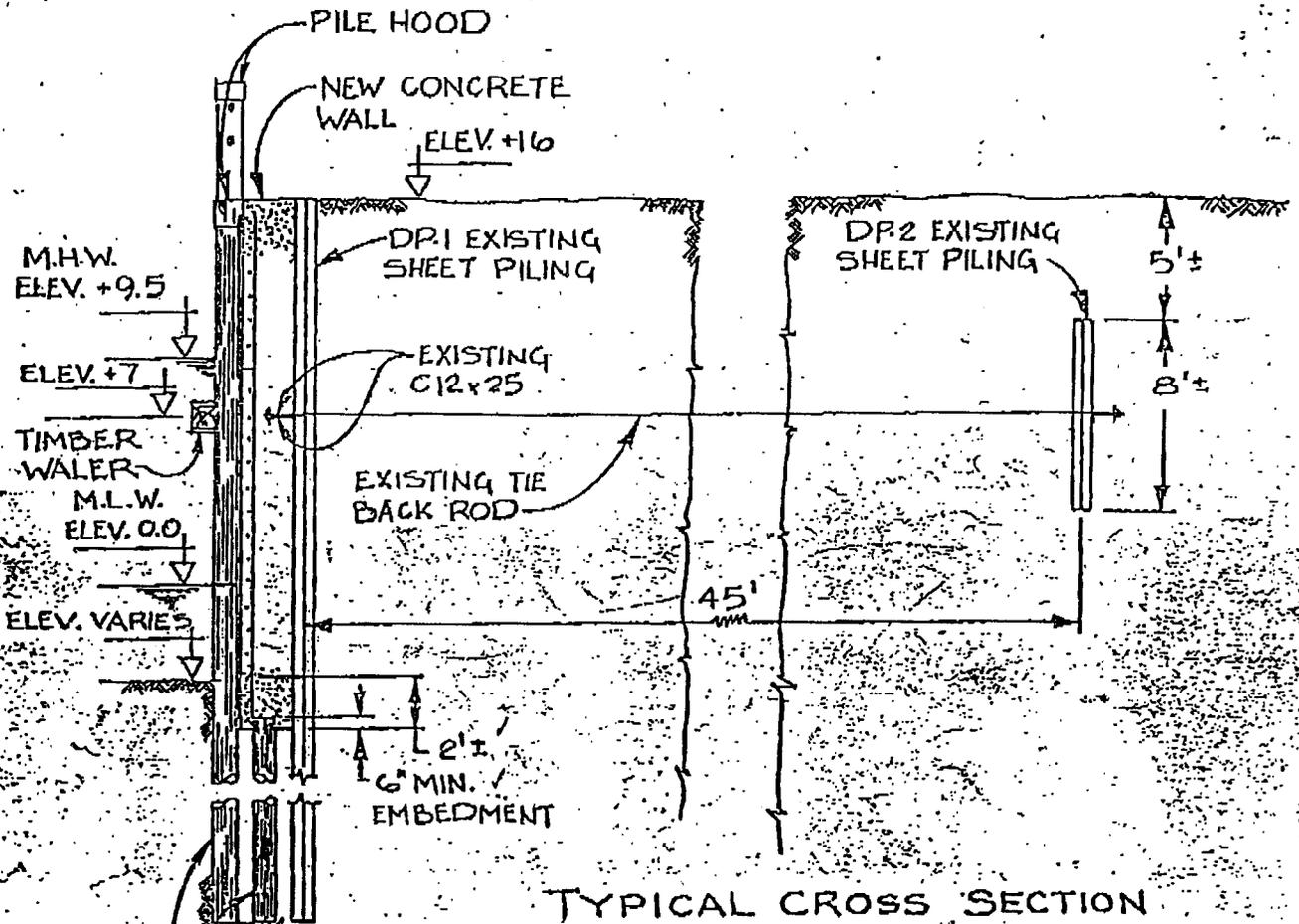
79W-0077

2. ELW, MLW, MHW LINES ESTABLISHED FROM RECORDS, PLAN OF BETHLEHEM HINGHAM SHIPYARD, INC., DATED JULY 30, 1944, TO SHOW CONDITIONS PRIOR TO CONSTRUCTION OF BETHLEHEM HINGHAM SHIPYARD. SOUNDINGS SHOW EXISTING WATER DEPTH.



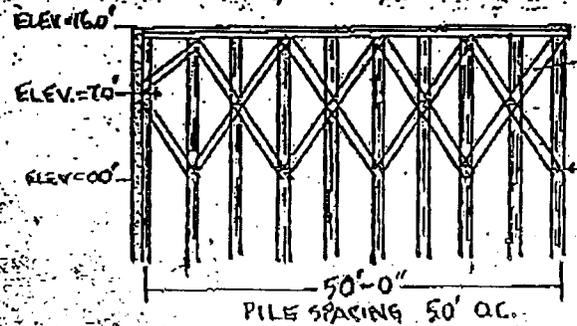
*Robert A. Cattley*



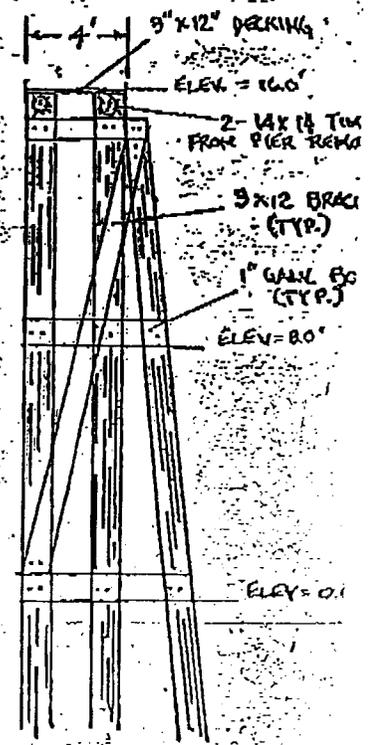


**LICENSE PLAN NO. 613**

Approved by Department of Environmental Quality Technology  
- NOV. 28, 1979



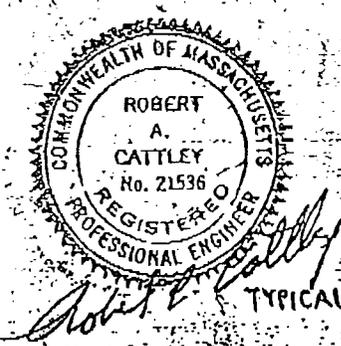
TRAVEL LIFT BRACING  
SCALE 1" = 20'

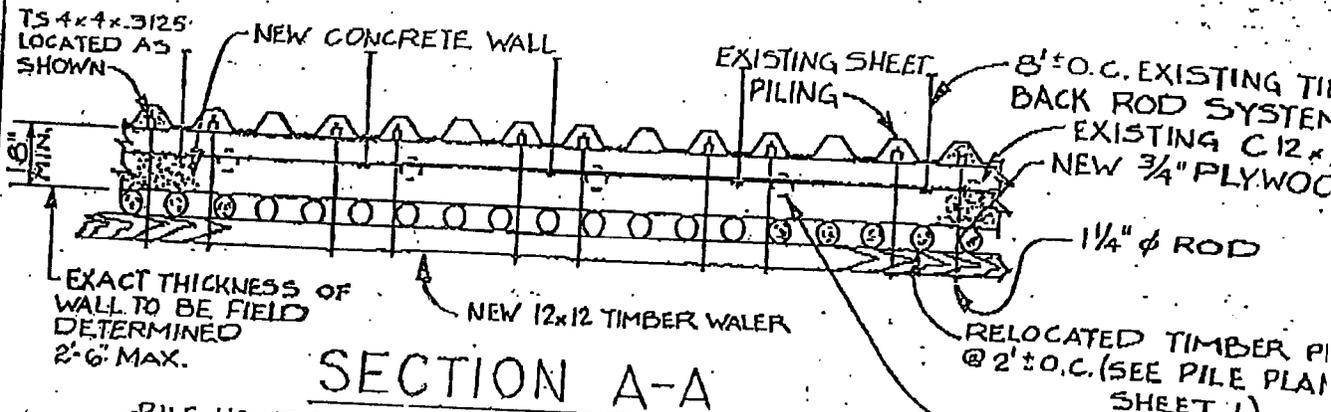


TYPICAL TRAVEL LIFT BENT  
SCALE 1" = 6'

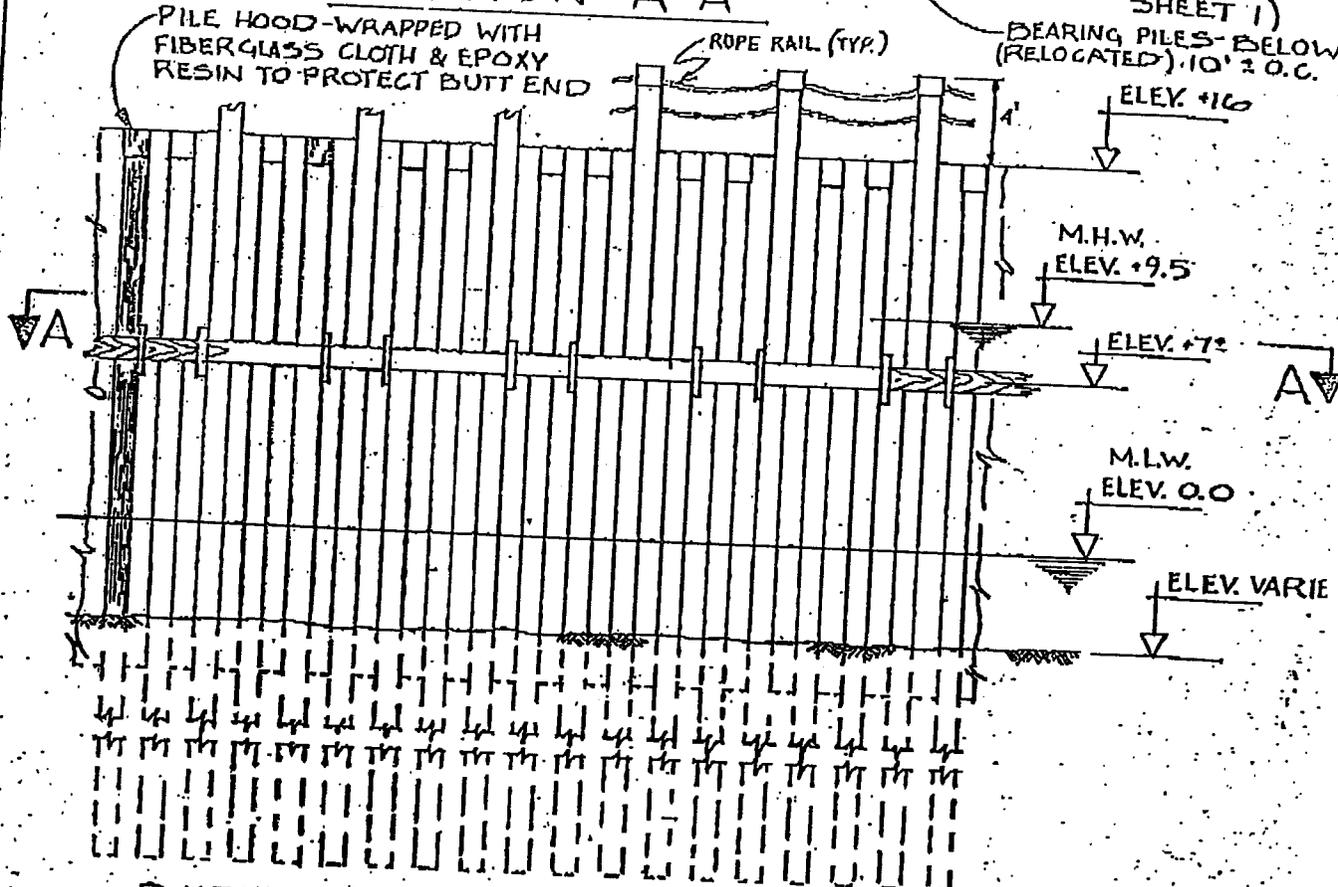
79W-0077

PLAN TO ACCOMPANY PETITION  
OF  
COLONIAL COASTAL CORP.

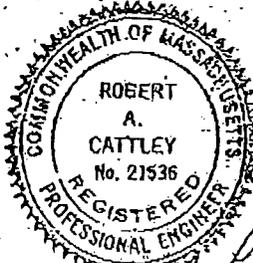
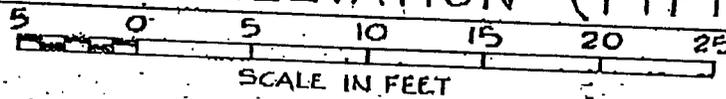




### SECTION A-A



### PARTIAL ELEVATION (TYPICAL)



*Robert A. Cattley*

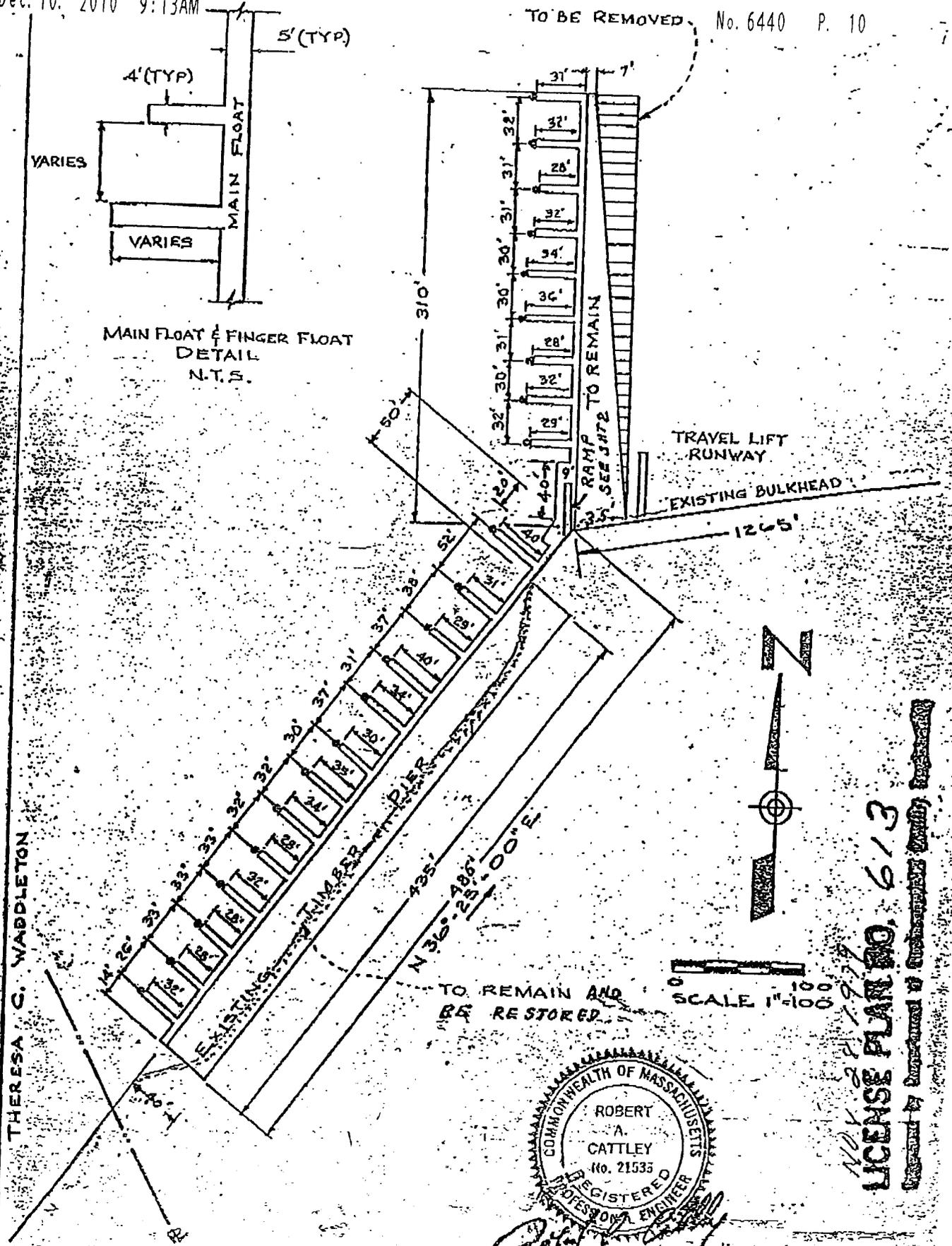
PLAN TO ACCOMPANY PETITION  
OF  
COLONIAL COASTAL CORP.

NOV. 28, 1979  
LICENSE PLAN NO. 613

Issued by Department of Environmental Quality

79W-0077

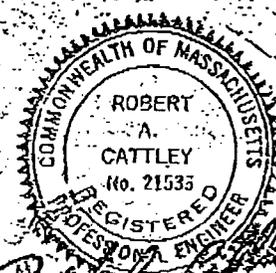
CATTLEY & GILMORE ENGINEERING  
CONSULTING ENGINEERS & LAND SURVEYORS  
43 EAST GROVE STREET MIDDLEBOROUGH, MA



HERESA C. WADDETON

PLAN TO ACCOMPANY PETITION OF COLONIAL COASTAL CORP.

TO REMAIN AND BE RESTORED SCALE 1"=100'



NOV 21 1979  
**LICENSE PLAN NO. 613**  
 Prepared by Department of Environmental Affairs, Massachusetts

79W-0077

CATTLEY & GILMORE ENGINEERING  
 CONSULTING ENGINEERS & LAND SURVEYORS  
 43 EAST GROVE STREET, MIDDLEBOROUGH, MA



DEPARTMENT OF THE ARMY  
NEW ENGLAND DIVISION, CORPS OF ENGINEERS  
424 TRAPELO ROAD  
WALTHAM, MASSACHUSETTS 02254-9149  
June 10, 1997

REGULATORY BRANCH  
CENED-OD-R-199700342

Robert J. Ingram  
Daylor Consulting Group, Inc.  
Ten Forbes Road  
Braintree, MA 02184

Dear Mr. Ingram:

This is to inform you that we have reviewed your application to reconfigure and expand the docks at Hewitt's Cove Marina, Hingham, Massachusetts, as described on your plans entitled "HEWITT'S COVE MARINA LLC", in 8 sheets, revised "MAY 6, 1997". One hundred and twenty three new piles will be installed and the existing gas dock will be expanded to 8' x 88'. All relocation and expansion of structures, including existing and proposed docks, will occur within the reconfiguration zone depicted on sheet 1 of 8 and will not exceed 350 slips.

Based on the information you have provided, we have determined that your project will have only minimal individual or cumulative environmental effects, and therefore qualifies for authorization under the Massachusetts Programmatic General Permit (PGP) provided you comply with the following special conditions to insure that the Federal navigation project can be adequately maintained and that the purpose of the authorized project is not compromised:

**Locate structures far enough outside the Federal project limits so neither the structures nor any vessels tied to them encroaches into the Federal Project.**

**Remove these structures, if necessary, to allow performance of periodic hydrographic surveys and maintenance dredging.**

**Not hold the Government or its contractors responsible for damage to these structures during dredging operations.**

The activity authorized herein must be performed in compliance with all the terms and conditions of the PGP and any conditions placed on water quality certification, if required. Enclosed is a copy of the PGP permit requirements. Please review it carefully to familiarize yourself with its contents. You may wish to discuss the conditions of this authorization with your contractor to ensure the work can be accomplished in a manner that conforms to all requirements. You are responsible for complying with all of the permits' requirements and conditions; therefore, you should be certain that whoever does the work fully understands all of the conditions.

Please note that this determination does not constitute an authorization to proceed until all other applicable state and local permits are obtained. Performing work not specifically authorized by this permit, starting work without obtaining other applicable state and local approvals, or failing to comply with the permit conditions may subject you to the enforcement provisions of our regulations.

Condition 31 of the PGP (page 7) provides one year for completion of work that has commenced prior to the expiration of this PGP on March 1, 2000. You will need to apply for reauthorization for any work in Corps jurisdiction that is not completed by that date.

If you have any questions, please contact Ted Lento, Regulatory Project Manager, at (617) 647-8863 or toll-free at 800-343-4789 or 800-362-4367 if calling within Massachusetts.

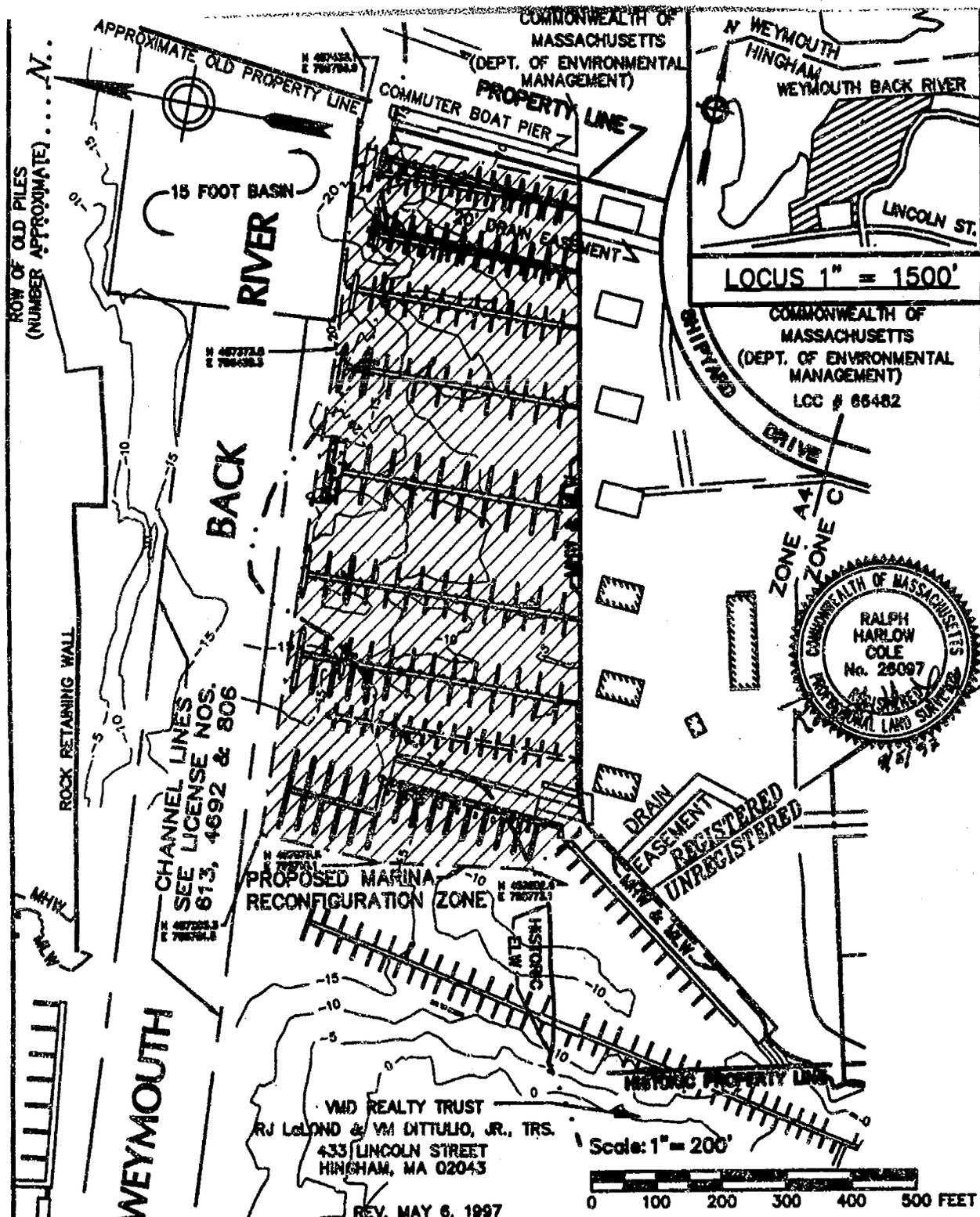
Sincerely,

PM TJ  
Chief, Permits KKA

Karen Kirk Adams  
Chief, Permits Section  
Regulatory Branch

Enclosure

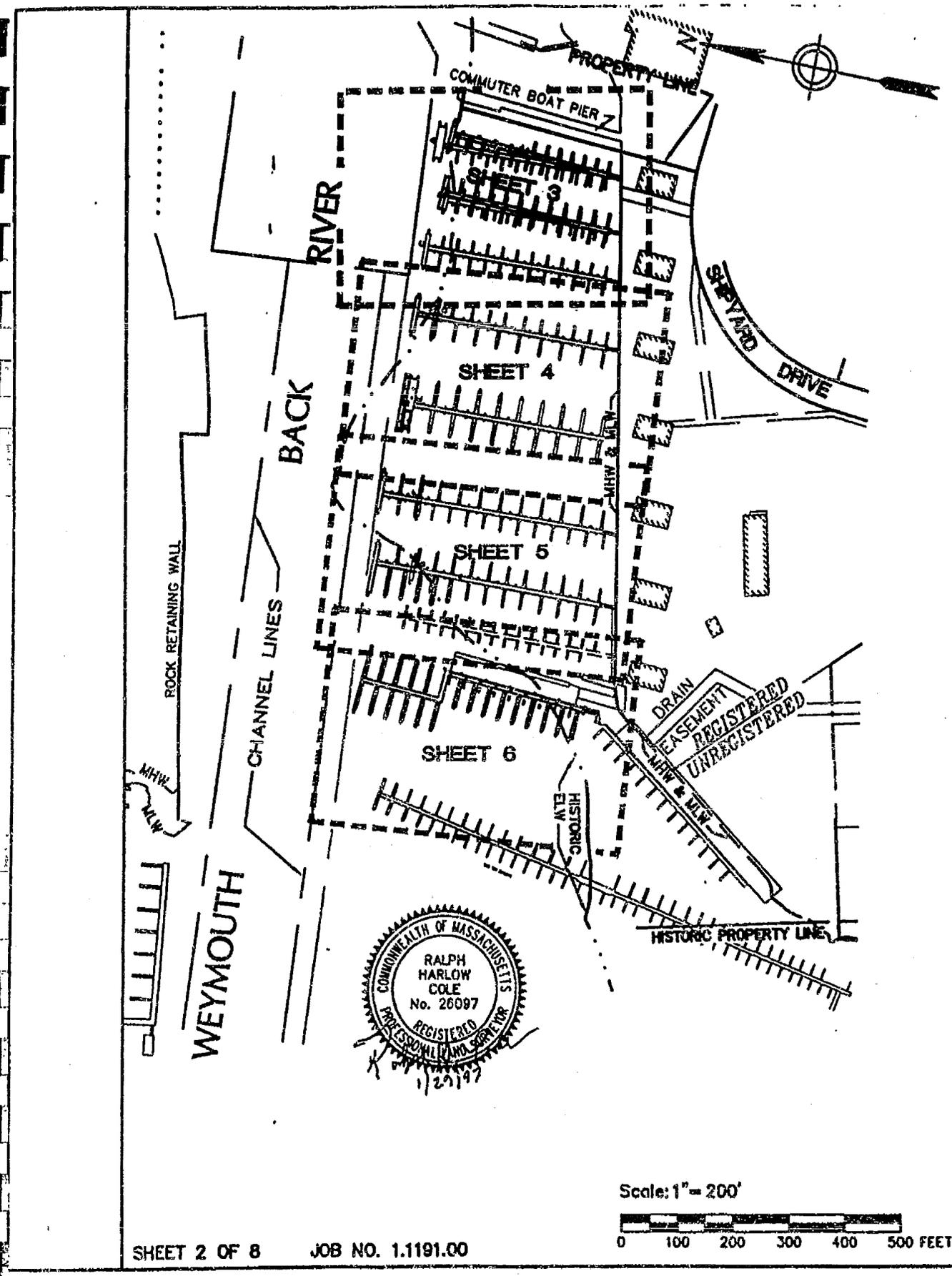




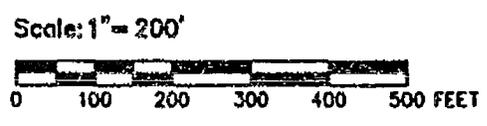
PLANS ACCOMPANYING PETITION OF  
**HEWITT'S COVE MARINA LLC**  
 TO RECONFIGURE AND MAINTAIN EXISTING  
 FLOATS & PILES AND TO PROVIDE ADDITIONAL  
 FLOATS AND PILES IN PROPOSED MARINA  
 RECONFIGURATION ZONE IN..  
**WEYMOUTH BACK RIVER**  
 HINGHAM, MA  
 SHEET 1 OF 8  
 Dwyer Consulting Group, Inc. JANUARY 29, 1997  
 JOB NO: 1.1101.00

Scale: 1" = 200'  
 0 100 200 300 400 500 FEET  
 ELEVATIONS ARE BASED ON M.L.W.

REV. MAY 6, 1997

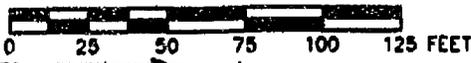


COMMONWEALTH OF MASSACHUSETTS  
 RALPH HARLOW COLE  
 No. 26097  
 REGISTERED PROFESSIONAL LAND SURVEYOR  
 1/29/97





Scale: 1" = 50'



CHANNEL LINE

PROPOSED 12' x 28'  
MARITIME SERVICES  
BUILDING

PROPOSED 8' x 88' FLOAT  
W/2' FIRE GAP TO GAS DOCK FLOAT

PRIMARY BERTHING

PROPOSED FLOATS

82.1'

20

88'

83.3'

61'

20

72

58.1'

EXISTING GAS DOCK FLOAT

EXISTING FLOAT CONFIGURATION

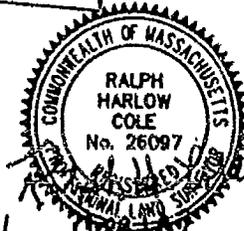
SHEET 5

BOAT SLIPS

SHEET 3

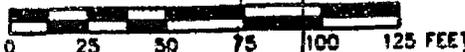
PILE (TYP)

MHW & MLW  
BULKHEAD



Scale: 1" = 50'

SHEET 4



SHEET 6

CHANNEL LINE

PROPOSED FLOATS

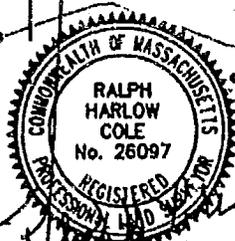
PROPOSED FLOATS

HISTORIC E.L.W.  
60.4'

TO FLOAT

EXISTING FLOAT CONFIGURATION

LICENSED (NOT BUILT)  
SHEET 6



MHW & MLW  
BULKHEAD

SHEET 5 OF 8

JOB 1.1191.00

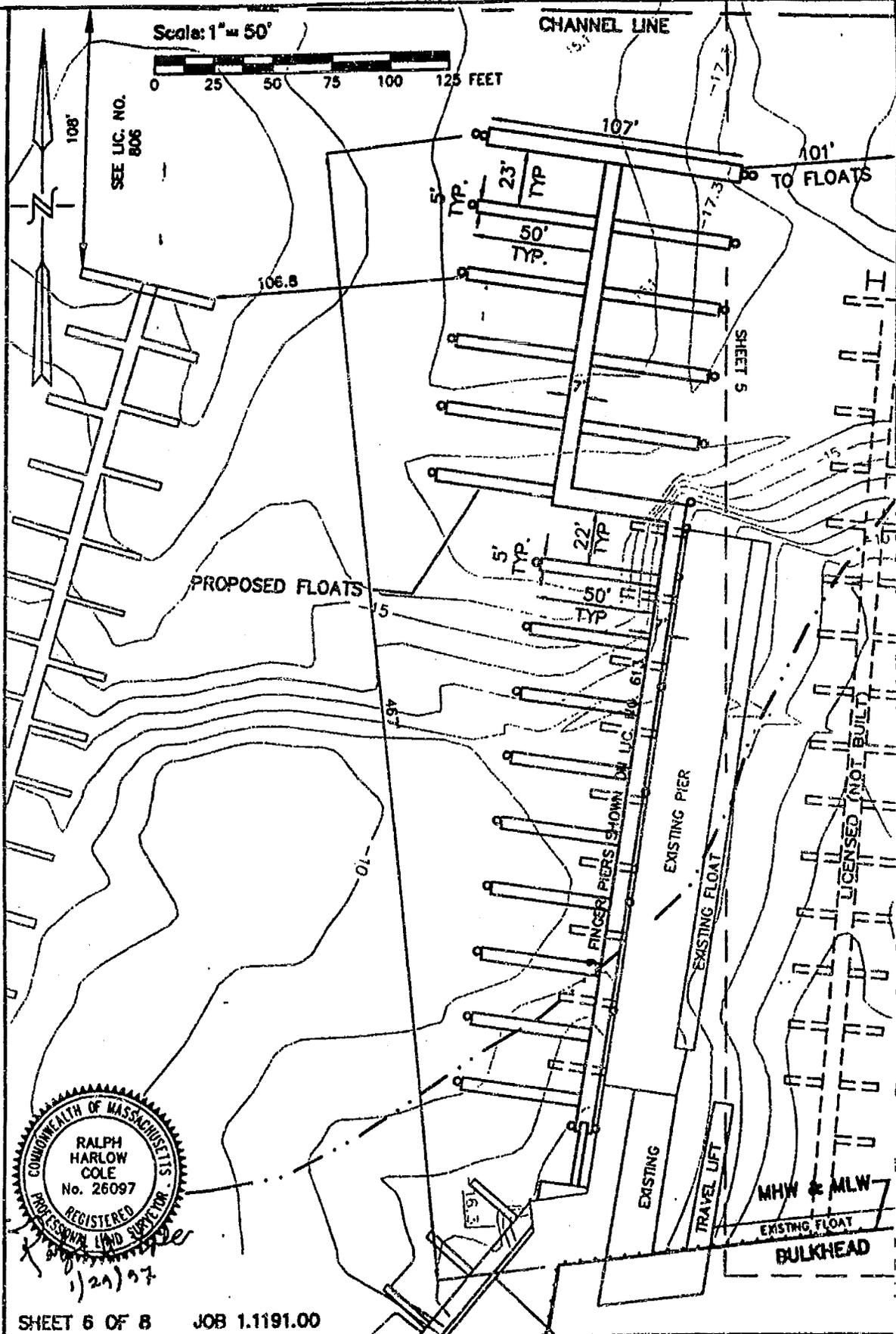


Scale: 1" = 50'



SEE LIC. NO. 806

CHANNEL LINE



SHEET 5

PROPOSED FLOATS

EXISTING PIER

EXISTING FLOAT

EXISTING

TRAVEL LIFT

MHW & MLW

EXISTING FLOAT

BULKHEAD



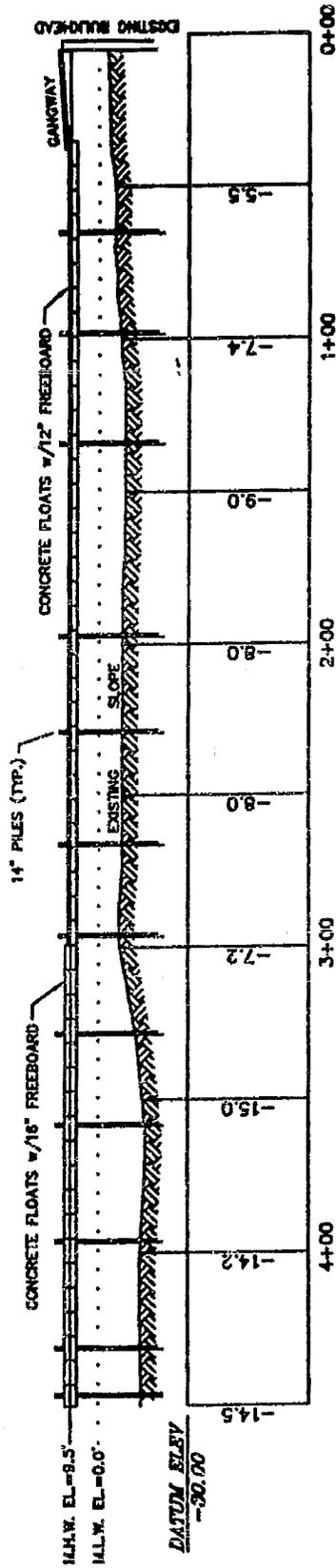
## GENERAL NOTES

1. THE INFORMATION DEPICTED ON THIS MAP REPRESENTS THE RESULTS OF SURVEYS PERFORMED IN MARCH & APRIL OF 1988.
2. ALL EXISTING CONDITIONS SHOWN HEREON WERE EITHER SURVEYED OR COMPILED BY COLER-COLANTONIO. PROPOSED CONDITIONS SHOWN ARE FROM DESIGN BY DAYLOR CONSULTING GROUP, INC.
3. THE DATUM DEPICTED ON THIS MAP IS THE MEAN LOW WATER DATUM.
4. THE CHANNEL LINES SHOWN HEREON ARE BASED ON COORDINATE VALUES (MASSACHUSETTS GEODETIC BASE), AS PROVIDED BY THE DEPARTMENT OF THE ARMY, NEW ENGLAND DIVISION, CORPS OF ENGINEERS.
5. THE INFORMATION DEPICTED CAN ONLY BE CONSIDERED AS INDICATING GENERAL CONDITIONS EXISTING AT THE TIME OF SURVEY.
6. SEVERAL OF THE PIERS AND BUILDINGS ALONG WITH PORTIONS OF THE MEAN HIGH WATER LINE WERE COMPILED FROM PLANS OF RECORD.
7. THE FEMA ZONE BOUNDARY LINES AS SHOWN HEREON AND THE RESULTING AREAS, WERE GRAPHICALLY APPROXIMATED USING A FLOOD INSURANCE RATE MAP, ENTITLED "TOWN OF HINGHAM MASSACHUSETTS, PLYMOUTH COUNTY" COMMUNITY-PANEL NUMBER 250268 0006 B, DATED JUNE 3, 1986.  
--ZONE C DEPICTS AREAS OF MINIMAL FLOODING.  
--ZONE A1 DEPICTS AREAS OF 100-YEAR FLOOD, WHERE BASE FLOOD ELEVATIONS AND FLOOD HAZARD FACTORS HAVE BEEN DETERMINED.
8. RIGHTS OF OTHERS MAY EXIST TO PASS OVER A FIVE FOOT STRIP OF LAND AS SET FORTH IN DOCUMENT #10009 AND AS DEPICTED ON LAND COURT PLAN #14401B
9. ALL CONSTRUCTION OF FLOATS TO BE IN ACCORDANCE WITH "UNIFLOAT" ® STANDARD SYSTEM & "UNIFLOAT" ® HI-FREEBOARD SYSTEM AS DESIGNED BY CONCRETE FLOATATION SYSTEMS, INC., NORWALK CONNECTICUT.



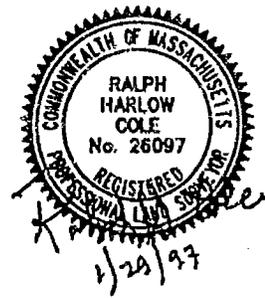
### NOTE: CERTAIN HISTORIC INFORMATION HAS BEEN COMPILED FROM

1. "MASTER SHORE STATION DEVELOPMENT PLAN PART III, SECTION 2, GENERAL DEVELOPMENT PLAN", prepared for Department of The Navy, dated 30 June 1958.
2. "PLAN OF LAND IN HINGHAM, MASS", being Petitioner Plan # 17793A, prepared by Lewis W. Perkins, dated 12 September 1940.
3. "REAL ESTATE PLAN, BETHLEHEM - HINGHAM SHIPYARD INC. HINGHAM, MASS.", prepared for Bethlehem Steel Company, Shipbuilding Division, dated 30 July 1944.
4. "PLAN OF LAND IN WEYMOUTH, MASS. FOR WEYMOUTHPORT CORPORATION", prepared by Lamont R. Healy, Inc. dated 18 April, 1967.



TYPICAL FLOAT PROFILE

- SCALE 1"=50' -



DOCK	W x L	# of Existing	# Added	# Removed	# Realigned	# Unbuilt, Licensed	Total #
'A'							
	12' x 20'	23		23			0
	12.5' x 25'		21				21
	10' x 15'	27		13	14		14
	T-Head	1					1
<b>Dock 'A' Total</b>		51	21	36	14		36
'B'							
	12' x 20'	23		23			0
	12' x 25'		46				46
	10' x 15'	27		27			0
	T-Head	1					1
<b>Dock 'B' Total</b>		51	46	50			47
'C'							
	12' x 20'	25					25
	12' x 25'	25					25
		T-Head	1				1
<b>Dock 'C' Total</b>		51					51
'D'							
	17' x 30'	17	2				19
	vary. x 25'	21	2				23
		T-Head	1				1
<b>Dock 'D' Total</b>		39	4				43

DOCK	W x L	# of Existing	# Added	# Removed	# Reassigned	# Unbuilt, Licensed	Total #
'E'							
	16.5' x 40'	36					36
	16.5' x 32'	2					2
<b>Dock 'E' Total</b>		38					38
'F'							
	14' x 24'	23	4				27
	16' x 32'	19	2				21
	14' x 32'		2				2
	T-Head	1					1
<b>Dock 'F' Total</b>		43	8				51
'G'							
	14' x 30'	42		5			37
	14' x 40'		1				1
	23' x 50'		5				5
	16.5' x 30'		4				4
	T-Head	1					1
<b>Dock 'G' Total</b>		43	10	5			48
'H'							
	10' x 16'					78	
	22' x 50'		9				9
	23' x 50'		10				10
	T-Head		1				1
<b>Dock 'H' Total</b>			20				20
<b>MARINA TOTALS</b>		316	109	91	14		334

**Attachment H**  
**Certified 300' Abutters List**

TOWN OF HINGHAM  
BOARD OF ASSESSORS



CERTIFICATION SHEET

**Property Address: 24 Shipyard Drive**

**Parcel ID: 35-0-55**

Pursuant to the provisions of Chapter 131 Section 40 of the MA General Laws and Article 22 of the Town of Hingham General Bylaws (Wetlands Protection By-law), we hereby certify that the list attached hereto is a true list of names and addresses of abutters concerning a matter to be heard by the Hingham Conservation Commission involving the above-referenced property.

As used herein the term "abutter" means:

Owners of adjoining land within 100 feet of the property line where the activity proposed;

Owners of adjoining land within 300 feet of the property line where the activity proposed for coastal projects; or

Owners of land directly opposite on any public or private street or way; or across a body of water.

All as they appear on the most recent applicable tax list.

BOARD OF ASSESSORS

CERTIFICATION DATE April 23, 2025

<b>Property Location</b>	<b>Owner 1</b>	<b>Mailing Address</b>	<b>Town</b>	<b>St</b>	<b>Zip</b>
23 SHIPYARD DRIVE	23 SHIPYARD DR CDM				
9 SHIPYARD DRIVE	HINGHAM LAUNCH PROPERTY LLC	136 BROOKLINE AVENUE	BOSTON	MA	02215
29 SHIPYARD DRIVE	HCM MARINAS LLC	24 SHIPYARD DRIVE	HINGHAM	MA	02043
433 LINCOLN STREET	SEA CHAIN MARINA LLC	24 SHIPYARD DRIVE	HINGHAM	MA	02043
2 SHIPYARD DRIVE	HINGHAM LAUNCH PROPERTY LLC	136 BROOKLINE AVENUE	BOSTON	MA	02215
22 SHIPYARD DRIVE	HINGHAM LAUNCH PROPERTY LLC	136 BROOKLINE AVENUE	BOSTON	MA	02215
18 SHIPYARD DRIVE	HINGHAM LAUNCH PROPERTY LLC	136 BROOKLINE AVENUE	BOSTON	MA	02215
0 LINCOLN STREET	425 LINCOLN STREET LLC	20 WINTHROP SQUARE	BOSTON	MA	02110
0 SHIPYARD DRIVE	HINGHAM LAUNCH PROPERTY LLC	136 BROOKLINE AVENUE	BOSTON	MA	02215
6 SHIPYARD DRIVE	HINGHAM LAUNCH PROPERTY LLC	136 BROOKLINE DRIVE	BOSTON	MA	02215
405 LINCOLN STREET	ARC DBPCFBR001 LLC	1CVS DRIVE	WOONSOCKET	RI	02895
10 SHIPYARD DRIVE #100	CIRIGLIANO MARK & REID DANA	10 SHIPYARD DRIVE #100	HINGHAM	MA	02043
10 SHIPYARD DRIVE #101	DELANEY PAULA F	10 SHIPYARD DRIVE #101	HINGHAM	MA	02043
10 SHIPYARD DRIVE #102	CARR FAMILY LLC	13 ACCORD POND DRIVE	HINGHAM	MA	02043
10 SHIPYARD DRIVE #103	MCELROY BARBARA	10 SHIPYARD DRIVE #103	HINGHAM	MA	02043
10 SHIPYARD DRIVE #104	LUTTINGER TODD & BETTINA C	41 WINTHROP ROAD	HINGHAM	MA	02043
10 SHIPYARD DRIVE #200	NAVIN PETER A & ELISE D TT	10 SHIPYARD DRIVE #200	HINGHAM	MA	02043
23 SHIPYARD DRIVE #200	SAMUELS & ASSOCIATES HINGHAM LLC	136 BROOKLINE AVE	BOSTON	MA	02215
10 SHIPYARD DRIVE #201	DURGIN MARYANN S TT	10 SHIPYARD DRIVE #201	HINGHAM	MA	02043
23 SHIPYARD DRIVE #201	MCMANUS RICHARD G & CYNTHIA A	23 SHIPYARD DRIVE 201	HINGHAM	MA	02043
10 SHIPYARD DRIVE #202	MELEKHOV VALERI & ELANA	10 SHIPYARD DRIVE #202	HINGHAM	MA	02043
23 SHIPYARD DRIVE #202	FLEMING LEE	23 SHIPYARD DRIVE #202	HINGHAM	MA	02043
10 SHIPYARD DRIVE #203	WATKINS BARBARA	10 SHIPYARD DRIVE #203	HINGHAM	MA	02043
23 SHIPYARD DRIVE #203	RICHARD D. CROWLEY & DONNA M. WARNER TTS	23 SHIPYARD DR. #203	HINGHAM	MA	02043
10 SHIPYARD DRIVE #204	CORSON KENNETH R JR & LINDA N	8 FOLEY BEACH ROAD	HINGHAM	MA	02043
23 SHIPYARD DRIVE #204	CROWLEY ROBERT F TT	23 SHIPYARD DRIVE #204	HINGHAM	MA	02043
10 SHIPYARD DRIVE #205	AGHILI HADY & GINOE K	10 SHIPYARD DRIVE #205	HINGHAM	MA	02043
23 SHIPYARD DRIVE #205	LACREN LLC	156 STAYNER DRIVE	HINGHAM	MA	02043
10 SHIPYARD DRIVE #206	LIGHTFOOT WILLIAM S	10 SHIPYARD DRIVE #206	HINGHAM	MA	02043
23 SHIPYARD DRIVE #206	BUCKLEY STEPHEN P & NANCY J	23 SHIPYARD DRIVE 206	HINGHAM	MA	02043
10 SHIPYARD DRIVE #207	WATSON MARY E	10 SHIPYARD DRIVE #207	HINGHAM	MA	02043
23 SHIPYARD DRIVE #207	OCONNOR KAITLIN A	23 SHIPYARD DRIVE #207	HINGHAM	MA	02043
10 SHIPYARD DRIVE #208	POLESZCZUK MARTA & LEWANDOWSKI DAMIAN	10 SHIPYARD DRIVE #208	HINGHAM	MA	02043
23 SHIPYARD DRIVE #208	WARNER KATHLEEN	23 SHIPYARD DRIVE 208	HINGHAM	MA	02043

10 SHIPYARD DRIVE #209	BARRY KEVIN P & MICHELLE M	10 SHIPYARD DRIVE #209	HINGHAM	MA	02043
10 SHIPYARD DRIVE #210	PARSONS DEBORAH	10 SHIPYARD DRIVE #210	HINGHAM	MA	02043
10 SHIPYARD DRIVE #211	MARJOLLET NANCY & JEAN-PIERRE	10 SHIPYARD DRIVE #211	HINGHAM	MA	02043
10 SHIPYARD DRIVE #212	HACKETT MARY SHEILA TT	10 SHIPYARD DRIVE #212	HINGHAM	MA	02043
10 SHIPYARD DRIVE #213	WILSON RICHARD & RUTKOSKI CELIA	10 SHIPYARD DRIVE #213	HINGHAM	MA	02043
10 SHIPYARD DRIVE #214	CHAPMAN KRISTIN A	10 SHIPYARD DRIVE #214	HINGHAM	MA	02043
10 SHIPYARD DRIVE #215	FALLON WILLIAM & DIANE	10 SHIPYARD DRIVE #215	HINGHAM	MA	02043
10 SHIPYARD DRIVE #216	DUNN ALAN MAIMUNATON RH	10 SHIPYARD DRIVE #216	HINGHAM	MA	02043
10 SHIPYARD DRIVE #217	BRONSON ALAN	10 SHIPYARD DRIVE #217	HINGHAM	MA	02043
10 SHIPYARD DRIVE #300	PTCREN LLC	156 STAYNOR DRIVE	HINGHAM	MA	02043
10 SHIPYARD DRIVE #301	BAILEY GREGORY L & CHRISTA TT	10 SHIPYARD DRIVE #301	HINGHAM	MA	02043
23 SHIPYARD DRIVE #301	BENOIT WILLIAM F II & TERRI WINSTON TT	11 BROADCAST LANE	W YARMOUTH	MA	02673
10 SHIPYARD DRIVE #302	ANNESE JOSEPH & JEANNE	10 SHIPYARD DRIVE #302	HINGHAM	MA	02043
23 SHIPYARD DRIVE #302	STRAUSS KENDRA	23 SHIPYARD DRIVE 302	HINGHAM	MA	02043
10 SHIPYARD DRIVE #303	CROSSEN PATRICIA ANN	C/O DEBORAH OLLERHEAD 1132 RESTON		VA	20194
23 SHIPYARD DRIVE #303	LOMBARDO GERALDINE TT	23 SHIPYARD DRIVE 303	HINGHAM	MA	02043
10 SHIPYARD DRIVE #304	SHAN LITAO	10 SHIPYARD DRIVE #304	HINGHAM	MA	02043
23 SHIPYARD DRIVE #304	CARROLL JOHN & KELLY	23 SHIPYARD DRIVE 304	HINGHAM	MA	02043
10 SHIPYARD DRIVE #305	STRUZIK KRISTEN A TT	10 SHIPYARD DRIVE #305	HINGHAM	MA	02043
23 SHIPYARD DRIVE #305	GREEN LYNN S TT	23 SHIPYARD DRIVE #305	HINGHAM	MA	02043
10 SHIPYARD DRIVE #306	WONG BERNARD & ZHENG MINGYUE Y	10 SHIPYARD DRIVE #306	HINGHAM	MA	02043
23 SHIPYARD DRIVE #306	HAHESY PAUL F & GERALYN M TT	1 THE MARSHES	DUXBURY	MA	02332
10 SHIPYARD DRIVE #307	POLESZCZUK MARTA & ELZBIETA	10 SHIPYARD DRIVE #307	HINGHAM	MA	02043
23 SHIPYARD DRIVE #307	KIJEWSKI PETER K	23 SHIPYARD DRIVE 307	HINGHAM	MA	02043
10 SHIPYARD DRIVE #308	NOONAN JOHN & BARBARA	10 SHIPYARD DRIVE #308	HINGHAM	MA	02043
23 SHIPYARD DRIVE #308	CAHILL VALERIE & MICHAEL	31 MANN STREET	HINGHAM	MA	02043
10 SHIPYARD DRIVE #309	DINGS SANDRA H TT	4501 GULF SHORE BLVD N APT 1 NAPLES		FL	34103
10 SHIPYARD DRIVE #310	LANNING LOIS A TT	10 SHIPYARD DRIVE #310	HINGHAM	MA	02043
10 SHIPYARD DRIVE #311	KINNEALEY STEPHEN A & MARY ELLEN	10 SHIPYARD DRIVE #311	HINGHAM	MA	02043
10 SHIPYARD DRIVE #312	JAYE MICHAEL E & REGINA L	10 SHIPYARD DRIVE #312	HINGHAM	MA	02043
10 SHIPYARD DRIVE #313	DICIENZO JOSEPH NICHOLAS & DENISE MARIE	10 SHIPYARD DRIVE #313	HINGHAM	MA	02043
10 SHIPYARD DRIVE #314	BOVOSO ANTONIO L R TT	10 SHIPYARD DRIVE #314	HINGHAM	MA	02043
10 SHIPYARD DRIVE #315	PEYTON STEPHEN & BEVERLY A	10 SHIPYARD DRIVE #315	HINGHAM	MA	02043
10 SHIPYARD DRIVE #316	MALOOF KATHLEEN	10 SHIPYARD DRIVE #316	HINGHAM	MA	02043
10 SHIPYARD DRIVE #317	ESCOFFIER BARBARA D	25 STAGECOACH ROAD	HINGHAM	MA	02043

10 SHIPYARD DRIVE #400	TROUPE MARY E TT	10 SHIPYARD DRIVE #400	HINGHAM	MA	02043
10 SHIPYARD DRIVE #401	WILLIAMS MICHAEL & DANIELLE	10 SHIPYARD DRIVE #401	HINGHAM	MA	02043
23 SHIPYARD DRIVE #401	RAVITZ AMY S	23 SHIPYARD DRIVE #401	HINGHAM	MA	02043
10 SHIPYARD DRIVE #402	10 SHIPYARD DRIVE #402 LLC	10 SHIPYARD DRIVE #402	HINGHAM	MA	02043
23 SHIPYARD DRIVE #402	STILES CHARLES DEAN & RUTHANN TALBOT TT	23 SHIPYARD DRIVE #402	HINGHAM	MA	02043
10 SHIPYARD DRIVE #403	FITZGERALD JAMES & PAULA	10 SHIPYARD DRIVE #403	HINGHAM	MA	02043
23 SHIPYARD DRIVE #403	MAGNER BRIAN J & MAUREEN L	23 SHIPYARD DRIVE 403	HINGHAM	MA	02043
10 SHIPYARD DRIVE #404	MAGUIRE JUDITH ANN TT	10 SHIPYARD DRIVE #404	HINGHAM	MA	02043
23 SHIPYARD DRIVE #404	LARSON JEROLD B & LARSON PAULA M TT	23 SHIPYARD DRIVE #404	HINGHAM	MA	02043
10 SHIPYARD DRIVE #405	MCDERMOTT CAROLE	10 SHIPYARD DRIVE #405	HINGHAM	MA	02043
23 SHIPYARD DRIVE #405	RIIHIMAKI JULIA	23 SHIPYARD DRIVE #405	HINGHAM	MA	02043
10 SHIPYARD DRIVE #406	SHAFFER JOHN JR	10 SHIPYARD DRIVE #406	HINGHAM	MA	02043
23 SHIPYARD DRIVE #406	SHAW SCOTT W & WALTON-SHAW KELLY	23 SHIPYARD DRIVE #406	HINGHAM	MA	02043
10 SHIPYARD DRIVE #407	FRICK ANNE F TT	10 SHIPYARD DRIVE #407	HINGHAM	MA	02043
10 SHIPYARD DRIVE #408	HUTTON CHRISTINA B TT	10 SHIPYARD DRIVE #408	HINGHAM	MA	02043
10 SHIPYARD DRIVE #409	LEVINE PAUL H & MARY LOFTUS	10 SHIPYARD DRIVE #409	HINGHAM	MA	02043
10 SHIPYARD DRIVE #410	MALOOF SUSAN A & GEORGE J	10 SHIPYARD DRIVE #410	HINGHAM	MA	02043
10 SHIPYARD DRIVE #411	BENT ASTRID G	10 SHIPYARD DRIVE #411	HINGHAM	MA	02043
10 SHIPYARD DRIVE #412	CURRAN KEVIN G & CLAUDINE B	10 SHIPYARD DRIVE #412	HINGHAM	MA	02043
10 SHIPYARD DRIVE #413	RAE JASON JAMES	10 SHIPYARD DRIVE #413	HINGHAM	MA	02043
10 SHIPYARD DRIVE #414	BAILEY CHRISTA TT	10 SHIPYARD DRIVE #414	HINGHAM	MA	02043
10 SHIPYARD DRIVE #415	GIADONE JEFFREY M & LAURA S	354 OCEAN CREST DRIVE	PALM COAST	FL	32137
10 SHIPYARD DRIVE #416	CRAY SHAWN TT	10 SHIPYARD DRIVE #416	HINGHAM	MA	02043
10 SHIPYARD DRIVE #417	PERL TIMOTHY & MONICA	10 SHIPYARD DRIVE #417	HINGHAM	MA	02043
10 SHIPYARD DRIVE #500	DELLORFANO FRED M JR TT	10 SHIPYARD DRIVE #500	HINGHAM	MA	02043
10 SHIPYARD DRIVE #501	GANNON FRANCES D	10 SHIPYARD DRIVE #501	HINGHAM	MA	02043
23 SHIPYARD DRIVE #501	DALTON MAUREEN E	94 ISLAND AVENUE	MADISON	CT	06443
10 SHIPYARD DRIVE #502	KRUPSKI STEPHEN E & SUSAN L	10 SHIPYARD DRIVE #502	HINGHAM	MA	02043
23 SHIPYARD DRIVE #502	MARYLOU E. SANDRY TT	23 SHIPYARD DRIVE #502	HINGHAM	MA	02043
10 SHIPYARD DRIVE #503	BLANKENSHIP MICHAEL W TT	10 SHIPYARD DRIVE #503	HINGHAM	MA	02043
23 SHIPYARD DRIVE #503	SOO HOO RICHARD & WANDA	23 SHIPYARD DRIVE #503	HINGHAM	MA	02043
10 SHIPYARD DRIVE #504	LAFOND ROBERT	10 SHIPYARD DRIVE #504	HINGHAM	MA	02043
	MARSDEN VALIA G MEEHAN SARA G & MONAGHAN				
23 SHIPYARD DRIVE #504	IMELDA TT	23 SHIPYARD DRIVE #504	HINGHAM	MA	02043
10 SHIPYARD DRIVE #505	LAFOND ROBERT	10 SHIPYARD DRIVE #505	HINGHAM	MA	02043

10 SHIPYARD DRIVE #506	PLATONOV NIKOLAI S & PLATONOVA OLGA M	10 SHIPYARD DRIVE #506	HINGHAM	MA	02043
10 SHIPYARD DRIVE #507	SINGLETON HEIDI A	10 SHIPYARD DRIVE #507	HINGHAM	MA	02043
10 SHIPYARD DRIVE #508	SARGENT GIRARD R & KATHLEEN D	10 SHIPYARD DRIVE #508	HINGHAM	MA	02043
10 SHIPYARD DRIVE #509	WOLLAM MARGIE R TT	406 EDEN BAY DRIVE	NAPLES	FL	34110
10 SHIPYARD DRIVE #510	COYNE JOHN T & LISA M TT	10 SHIPYARD DRIVE #510	HINGHAM	MA	02043
10 SHIPYARD DRIVE #511	DOYLE DAVID & KERZEL JOANN	10 SHIPYARD DRIVE #511	HINGHAM	MA	02043
	DIXON PHYLLIS L TT PHYLLIS LEE DIXON 2006 LIVING				
10 SHIPYARD DRIVE #512	TRUST	10 SHIPYARD DRIVE #512	HINGHAM	MA	02043
10 SHIPYARD DRIVE #513	UNDERHILL JONATHAN & BARBARA	10 SHIPYARD DRIVE #513	HINGHAM	MA	02043
10 SHIPYARD DRIVE #514	IMENNOVA ALLA & IMENNOV SERGEY	10 SHIPYARD DRIVE #514	HINGHAM	MA	02043
10 SHIPYARD DRIVE #515	MCGINN DANIEL C & ICKES STACY A TT	10 SHIPYARD DRIVE #515	HINGHAM	MA	02043
10 SHIPYARD DRIVE #516	BERKELEY WILLIAM F & KELLY G	137 STAYNER DRIVE	HINGHAM	MA	02043
10 SHIPYARD DRIVE #517	FATIMAS LLC	9850 NW 41ST STREET SUITE 45	DORAL	FL	33178
30 SHIPYARD DRIVE	DEPARTMENT OF CONSERVATION	251 CAUSEWAY ST SUITE 600	BOSTON	MA	02114
44 SHIPYARD DRIVE	DEPARTMENT OF CONSERVATION & RECREATION	SUITE 600	BOSTON	MA	02114
20 ESSINGTON DRIVE	MASSACHUSETTS BAY TRANSPORTATION	TEN PARK PLAZA	BOSTON	MA	02116
421 LINCOLN STREET	BROADHURST HINGHAM LLC	234 WEST 44TH STREET	NEW YORK	NY	10036
10 SHIPYARD DRIVE	PERRY BAC SHIPYARD LLC	20 WINTHROP SQUARE	BOSTON	MA	02110

**Attachment I**  
**Copy of Abutter Notification Letter**

## NOTIFICATION TO ABUTTERS

Under the MA Wetlands Protection Act and  
Hingham Wetlands Protection By-Law

In accordance with the second paragraph of the Massachusetts General Laws Chapter 131 §40, and Section 7.5 of the Hingham Wetland Regulations, you are hereby notified of the following:

Hingham Shipyard Marinas, LLC has filed a Notice of Intent  
*Applicant Name* *Application Type*

with the Town of Hingham Conservation Commission seeking permission to remove, fill, dredge, or alter an Area Subject to Protection under the Wetlands Protection Act, M.G.L. 131 §40, and/or the Town of Hingham Wetlands Protection By-Law [Article 22].

The address of the property where work is proposed: 24 Shipyard Drive, Hingham, MA 02043  
The proposed work includes: addressing maintenance, repairs and replacement of marina facility components.

Copies of the application may be examined at the Conservation Office located at Hingham Town Hall, 210 Central Street, Hingham, MA during the following business hours:

Monday, Wednesday, Thursday: 7:30AM- 4:30PM  
Tuesday: 7:30AM - 7:00PM  
Fridays: closed

For more information, to request copies of the application, or obtain information about the public hearing please contact the Conservation Office at (781)741-1445 or by emailing [Conservation@hingham-ma.gov](mailto:Conservation@hingham-ma.gov)

You may also request copies of the application from the  applicant or  applicant's representative by contacting Fiona Vardy (Foth) at ( 401 ) 910 7720 between the hours of 8Am and 5PM on the following days: Monday-Friday.

*An Administrative fee may be applied for providing copies of the application or plans.*

Notice of the public hearing, including the date, time, and place will be published at least five (5) business days in advance of the hearing in the Patriot Ledger. Notice will also be posted on the town website at least forty-eight (48) hours in advance of the public hearing. To view the agenda, go to [Agenda Center • Hingham, MA • CivicEngage \(hingham-ma.gov\)](#)

The Department of Environmental Protection (DEP) Southeast Regional Office can also provide information about this application or the MA Wetlands Protection Act. DEP is located at 20 Riverside Drive, Lakeville, MA 02347 and can be reached by telephone at (508) 946-2700.

**Attachment J**  
**Affidavit of Service for Abutter Notification**

**AFFADAVIT OF SERVICE**  
Under the MA Wetlands Protection Act and  
Hingham Wetlands Protection Bylaw

(To be submitted to the Hingham Conservation Commission and the MA Department of  
Environmental Protection when filing an application requiring abutter notification)

I, Fiona Vardy (Foth), hereby certify under the pains and penalties  
*Name of person making Affidavit*

of perjury that on 8/12/25 I gave notification to abutters in compliance with the  
*Date*

second paragraph of the Massachusetts General Laws Chapter 131, Section 40, and the Hingham

Wetlands Protection Bylaw and Wetland Regulations, by Certificate of Mailing in  
*Type of Service*

connection with the following matter:

A Notice of Intent  or Abbreviated Notice of Resource Area Delineation  was filed under the  
MA Wetlands Protection Act and/or Hingham Wetlands Protection Bylaw with the Hingham  
Conservation Commission on:

8/12/25 for property located at 24 Shipyard Drive, Hingham, MA 02043.  
*Date* *Property Address*

The form of the notification and a list of abutters to whom notice was given and their addresses are  
attached to this Affidavit of Service.

  
Signature

8/12/25  
Date

**Attachment K**  
**Hingham Wetland Regulations Appendix C, Policy on Receipt of**  
**Information**

# HINGHAM WETLAND REGULATIONS

## APPENDIX C

### Policy on Receipt of Information

(Revised March 4, 2024)

1. New applications/filings must be submitted to the Conservation office (by certified mail or hand delivery) two weeks prior to the meeting date, on Monday by noon, to facilitate the placement of the legal ad and to allow timely review by the Conservation Officer (if the office is closed on Monday due to a holiday, then the information is due on the preceding Friday by noon). Conservation staff will review the application for administrative completeness. Upon receipt of a complete application, a hearing or meeting will be scheduled in accordance with the 310 CMR 10.05(5) and the Wetland Regulations, Section 7.6.
2. If deemed necessary, based on the Commission's meeting schedule, Conservation staff may request the applicant *voluntarily* waive the 21 day statutory deadline for holding a public hearing or issuing a Determination of Applicability.
3. Requests for additional information may be made by the Commission members or their agent to clarify the scope of the project or determine compliance with the 310 CMR 10.00 and/or the Hingham Wetland Regulations. Such requests, if not made at the public hearing, will be communicated to the applicant or their representative as promptly as possible.
4. Additional information requested by the Commission or their agent in accordance with No.3, must be submitted to the Conservation office a minimum of 7 days prior to the meeting date, on Monday by noon. If the office is closed on Monday due to a holiday, the information is due on the preceding Friday by noon. *Revisions submitted after the established deadline may not receive a review, thereby resulting in a continuance to the next available meeting.*
5. The Commission may engage the peer review services of an outside consultant as provided by M.G.L. Ch. 44, § 53G, to be paid for by the applicant, for specific expert review deemed necessary to come to a final decision on a submitted application. Specific consultant services may include but are not limited to, review of a Notice of Intent, Wetland Resource Area Delineation, Stormwater/Drainage Reports, etc. The consultant shall be chosen by the Conservation Commission by vote at the public hearing, and report only to the Commission or its agent. *Requested additional information/revisions by the peer reviewer is required a minimum of two weeks prior to the hearing date.*
5. All supplemental documentation and revised plans must include a revision date and must be date stamped by the Conservation office upon receipt. If this information is not present, the documents may be considered incomplete and may not receive a timely review, thereby resulting in a continuance to the next available meeting.
6. Please note that all supplemental documentation and revised plans submitted to the Commission for a pending application, subject to the MA Wetlands Protection Act, must also be sent to the DEP Southeast Regional Office, 20 Riverside Dr., Lakeville, MA 02347

The Hingham Conservation Commission is committed to a thorough and timely review of each application and an efficient hearing process. Cooperation with this policy is appreciated to facilitate these efforts. Exceptions to this policy may be made by the Conservation staff if deemed warranted. Please sign and include with your filing. Thank you.



Applicant or Applicant's Representative Signature

8/12/25

Date