

# TOWN OF HINGHAM

## Board of Appeals



RECEIVED

JAN 05 2026

TOWN CLERK  
HINGHAM, MA

210 Central Street, Hingham, MA 02043-2758 • Telephone (781) 741-1494 • Fax (781) 741-0299  
• ZBA@hingham-ma.gov •

**ZONING APPLICATION  
CHECKLIST**

**FORM 1  
INSTRUCTIONS**

**PROPERTY ADDRESS:** 106 North St Hingham, MA 02043

**OWNER:** Hingham 102 North LLC

If you need assistance with your application, please contact the Zoning Department at least one week prior to the filing deadline.

Per [Zoning Board of Appeals Rules and Regulations](#):

- The Zoning Department Staff will review all applications to determine their completeness.
- Incomplete filings will not be accepted for processing and scheduling.
- Complete applications include:
  - Filing fee; see filing fees chart, below;
  - Form 1 Required Documents; see checklist, below;
  - Application copies:
    - One (1) complete set of documents to be filed with the Town Clerk
    - Four (4) complete set of documents to be filed with the Board of Appeals
    - Digital copy of all application materials emailed to [ZBA@hingham-ma.gov](mailto:ZBA@hingham-ma.gov)

*number of copies specified below*

	Required	Submitted
<b>This Checklist (Form 1)</b>	1	1
<b>Application for Hearing (Form 2)</b>	5	5
<b>provide one of the following forms:</b>		
<b>Supporting Statements – Requested Findings</b>	5	5
<input type="checkbox"/> Administrative Appeal (Form 2A)		
<input type="checkbox"/> Variance / Variance Modification (Form 2B)		
<input type="checkbox"/> Special Permit A1 / Special Permit A1 Modification (Form 2C)		
<input checked="" type="checkbox"/> Special Permit A2 / Special Permit A2 Modification (Form 2D)		
<b>provide one of the following:</b>		
<b>Evidence of Standing to Seek Relief</b>	5	5
<input checked="" type="checkbox"/> Deed or Certificate of Title		
<input type="checkbox"/> Signed Option to Purchase		
<input checked="" type="checkbox"/> Lease with Property Owner's Authorization Letter		

# TOWN OF HINGHAM

## Board of Appeals



**Required**

**Submitted**

**All plans must be stamped by a registered professional.**

**Provide all of the following:**

**Plan(s) of Propose Project**

1. **Plot Plan:** Plan shall show scale, north arrow, lot dimensions and area, existing building and structures. Include topography, floodplain, wetlands, and other features as relevant - 2' x 3' format.

5

2. **Site Plan:** shall show scale, north arrow, dimensioned location of all improvements, including floor area, and elevations. Include, if applicable, physical features, off-street parking plan, landscape plan, grading, drainage, and lighting plans, Zoning Chart showing the Required, Existing and Proposed Area Regulations - 2' x 3' format.

5

3. **Architectural plans and elevations:** shall include sufficient detail to demonstrate dimensions of buildings/structures, square footage, materials, and other details - One (1) 2' x 3' format; five (5) 11" x 17" format, to scale.

5

5

**Provide copies, when applicable:**

**Prior Zoning Relief**

Has an application for relief from the Zoning By-Laws ever been filed for this parcel?

Yes

No

If yes provide five (5) copies for each of the following:

Explanation(s) and date(s) of relief(s)

5

Prior Zoning decision(s) rendered.

5

**Provide copies, when applicable:**

**Other Application Information**

Drainage report, if applicable.

5

Traffic report, if applicable.

5

Letter(s) of support; optional.

1

**TOWN OF HINGHAM**  
Board of Appeals



**APPLICATION FILING FEES**

**Residential Variance** ..... \$300.00

**Commercial Variance** ..... \$300.00 for the first 2000 ft<sup>2</sup>/  
\$100.00 for each additional 1,000 ft<sup>2</sup> or portion thereof

**Special Permits** ..... \$300.00 for the first 2000 ft<sup>2</sup>/  
\$100.00 for each additional 1,000 ft<sup>2</sup> or portion thereof

**Applications requiring multiple permits**... 100% of highest fee required by Board of Appeals  
in addition each additional permit 50% of required fee

**Special Permit(s) and/or Variances(s) – Signs** ..... \$300.00

**Comprehensive Permit** ..... \$250.00 per units, in addition the Applicant pays  
cost of postage associated with abutter notifications  
and cost of newspaper legal notice(s)

**All Other Applications** ..... \$400.00

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Hingham, MA

210 Central Street, Hingham, MA 02043-2758 • Telephone (781) 741-1494 • Fax (781) 740-0239  
• ZBA@hingham-ma.gov •

### APPLICATION FOR ZONING HEARING

FORM 2

Application date: 12/29/2025

The undersigned hereby petitions the Board of Appeals for the following:

- |  |  |  |
|--|--|--|
| <input type="checkbox"/> Appeal            | <input type="checkbox"/> Variance              | <input type="checkbox"/> Special Permit A1           |
| <input type="checkbox"/> Special Permit A2 | <input type="checkbox"/> Variance Modification | <input type="checkbox"/> Special Permit Modification |

Subject Property: 106 North St Hingham, MA 02043 Zoning District: Business A

Applicant's Name: Slow Coffee LLC Address: 106 North St Hingham, MA 02043

Email: Hi@slowlifeslowcoffee.com Phone: (857) 272-9008

Record title to the subject property stands in the name(s):

HINGHAM 102 NORTH LLC

Address of owner of record: 858 WASHINGTON STREETSUITE 309DEDHAM, MA

Title reference:

(Unregistered land) Plymouth County Registry of Deeds, Book 59729, Page 54

(Registered land) Land Court Certificate of Title No. \_\_\_\_\_, Book \_\_\_\_\_, Page \_\_\_\_\_

The undersigned is:

- |   |  |
|---|--|
| <input type="checkbox"/> Owner of subject property                            | <input type="checkbox"/> Holder of written option to purchase property |
| <input checked="" type="checkbox"/> Holder of valid lease to subject property |  |

Written authorization from property owner must be submitted with application documents.

TOWN OF HINGHAM  
Board of Appeals



State briefly what is currently on the premises:

A retail commercial space, previously used for general retail sales.

Brief description of work:

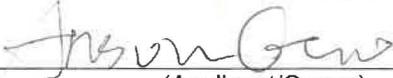
Change of use from existing retail to a small neighborhood café with limited seating.

Scope of work is limited to interior fit-out only, including service counter, coffee equipment, seating, lighting, finishes, and necessary MEP upgrades.

No exterior changes are proposed.

Signed as a statement of fact under the pains and penalties of perjury,  
this 29 day of December, in the year 2025.

APPLICANTS' NAME: Slow Coffee LLC

SIGNATURE:   
(Applicant/Owner)

ADDRESS: 106 North St Hingham, MA 02043

PHONE: (857) 272-9008

CELL: \_\_\_\_\_

EMAIL: hi@slowlifeslowcoffee.com

CHECK ALL THAT APPLY

PROPERTY OWNER

APPLICANT

TOWN OF HINGHAM  
Board of Appeals



If you are represented by an agent, please provide information below:

AGENT'S NAME: Xuheng Chen  
AGENT'S SIGNATURE: [Handwritten Signature]  
(Agent)  
ADDRESS: 2CrestviewDr Malden, MA02148  
PHONE: (617) 653-2703  
CELL: \_\_\_\_\_  
EMAIL: xuhengchen12@gmail.com

CHECK ALL THAT APPLY	
<input type="checkbox"/>	OWNER'S AGENT
<input checked="" type="checkbox"/>	APPLICANT'S AGENT

*Please attach additional sheets if space provided is insufficient.*

Applicants requesting an **Appeal** must also complete **Form 2A**  
Applicants requesting a **Variance** or **Variance Modification** must also complete **Form 2B**  
Applicants requesting a **Special Permit A1** or **Special Permit A1 Modification** must also complete **Form 2C**  
Applicants requesting a **Special Permit A2** or **Special Permit A2 Modification** must also complete **Form 2D**

JAN 05 2021

Town Clerk  
Hingham, MA

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**SUPPORTING STATEMENT –  
REQUESTED FINDINGS**

**FORM 2D  
SPECIAL PERMIT A2**

Applicant Slow Coffee LLC seeks  
a Special Permit A2 under Section(s) III  
of the Zoning By-Law for property located at 106 North St Hingham, MA 02043  
and asks the Board of Appeals to make the following findings of fact in accordance with the  
provisions of the law:

1. The proposed use will be in harmony with the general purpose and intent of the Zoning By-Law, for the following reasons:

The proposed use is in harmony with the general purpose and intent of the Hingham Zoning By-Law, including the Downtown Hingham Overlay District. The project supports pedestrian-oriented, neighborhood-serving commercial activity consistent with Hingham’s historic downtown character. Slow Coffee is intended to provide coffee and limited bakery items to the local community, without alcohol service, late-night hours, or high-intensity food preparation, and therefore represents a low-impact commercial use appropriate for the Downtown area.

2. The proposed use complies with the purposes and standards of the relevant specific sections of the Zoning By-Law, for the following reasons:

The proposed café use complies with the applicable standards of Business District A and the Downtown Hingham Overlay District. The use is permitted within the underlying zoning district and is consistent with the Overlay District’s objectives of encouraging active ground-floor commercial uses that interact with the public on a walk-in basis. All work will comply with applicable Building, Fire, Health, and accessibility regulations.

TOWN OF HINGHAM  
Board of Appeals



3. The specific site is an appropriate location for such use, structure, or condition, compatible with the characteristics of the surrounding area, for the following reasons:

The property at 106 North Street is located along Hingham's primary downtown commercial corridor within the Downtown Hingham Overlay District. The site is surrounded by existing small-scale retail, service, and dining uses. A neighborhood coffee shop is compatible with the scale, function, and character of the surrounding area and supports the continued vitality of Downtown Hingham.

4. The use as developed and operated will create positive impacts or the potential adverse impacts will be mitigated, for the following reasons:

The proposed use will create a positive impact by adding a neighborhood-oriented café that enhances pedestrian activity and supports downtown commerce. Potential impacts related to noise, traffic, or deliveries will be minimal due to the limited size of the operation, daytime-focused hours, and absence of high-volume food service. Any potential impacts will be effectively mitigated through responsible management and operational controls.

5. There will be no nuisance or serious hazard to vehicles or pedestrians, for the following reasons:

The proposed use will not create a nuisance or hazard to vehicles or pedestrians. The building includes a rear service entrance, allowing deliveries and loading activities to occur away from North Street. In addition, deliveries associated with a neighborhood coffee shop are limited and infrequent, minimizing any potential impact on traffic flow or pedestrian safety along the main commercial street.

6. Adequate and appropriate facilities exist or will be provided for the proper operation of the proposed use, for the following reasons:

Adequate utilities and building systems either exist or will be provided to support the proposed café use. All plumbing, electrical, and ventilation will be designed and installed in compliance with current codes and regulations prior to operation.

# TOWN OF HINGHAM

## Board of Appeals



7. The proposal meets accepted design standards and criteria for the functional design of facilities, structures, stormwater management, and site construction, for the following reasons:

The proposed project consists solely of interior fit-out work and does not alter the existing building footprint, exterior appearance, or site conditions. No changes to drainage, stormwater management, or site layout are proposed. All work will be performed in accordance with accepted design and construction standards and will comply with the requirements of the Downtown Hingham Overlay District and all applicable Town regulations.

**The rights authorized by a Special Permit expire three years from the date the decision is filed with the Town Clerk, unless exercised or extended in accordance with the terms of M.G.L. 40A, § 9.**

Signed as a statement of fact under the pains and penalties of perjury,  
 this 25 day of December, in the year 2025.

APPLICANTS' NAME: Slow Coffee LLC  
 SIGNATURE: *Anson Saw*  
 (Applicant/Owner)  
 ADDRESS: 106 North St Hingham, MA 02043  
 PHONE: (857) 272-9008  
 CELL: \_\_\_\_\_  
 EMAIL: hi@slowlifelowcoffee.com

CHECK ALL THAT APPLY	
<input type="checkbox"/>	PROPERTY OWNER
<input checked="" type="checkbox"/>	APPLICANT

**If you are represented by an agent, please provide information below:**

AGENT'S NAME: Xuheng Chen  
 AGENT'S SIGNATURE: *Xuheng Chen*  
 (Agent)  
 ADDRESS: 2CrestviewDr Malden, MA02148  
 PHONE: (617) 653-2703  
 CELL: \_\_\_\_\_  
 EMAIL: xuhengchen12@gmail.com

CHECK ALL THAT APPLY	
<input type="checkbox"/>	OWNER'S AGENT
<input checked="" type="checkbox"/>	APPLICANT'S AGENT

**Please attach additional sheets if space provided is insufficient.**

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Town Clerk  
Hingham, MA

\*\*\* Electronic Recording \*\*\*  
Doc#: 00011855  
Bk: 59729 Pg: 54 Page: 1 of 7  
Recorded: 02/27/2025 03:26 PM  
ATTEST: John R. Buckley, Jr. Register  
Plymouth County Registry of Deeds

\*\*\*\*\*  
MASSACHUSETTS EXCISE TAX  
Plymouth District ROD #11 001  
Date: 02/27/2025 03:26 PM  
Ctrl# 178545 07306  
Fee: \$5,928.00 Cons: \$1,300,000.00  
\*\*\*\*\*

**QUITCLAIM DEED**

We, Anna M. Maude, Henry Disano, Julie R. Grant, Christine D. Romania and Mario Romania, Jr., individually and as Trustees of GIOIOSA TRUST, w/d/t dated July 21, 2000, and recorded with the Plymouth County Registry of Deeds at Book 18756, Page 102 (amended by first amendment to trust recorded with said Deeds at Book 44217, Page 73, amended by second amendment to trust recorded with said Deeds at Book 55952, Page 265 and amended by third amendment to trust recorded with said Deeds at Book 57976, Page 154), of Hingham, Plymouth County, Massachusetts, for consideration paid, and in full consideration of One Million Three Hundred Thousand and 00/100 Dollars (\$1,300,000.00) grant to HINGHAM 102 NORTH LLC, a Massachusetts Limited Liability Company with a principal place of business at 858 Washington Street, Suite 309, Dedham, Norfolk County, Massachusetts 02026, with **quitclaim covenants** the land and buildings known as 102-108 North Street, Hingham, Plymouth County, Massachusetts 02043, more particularly described as:

A certain parcel of land situated on North Street, Hingham, Plymouth County, Massachusetts, containing ten and one-quarter square rods, be the same more or less, together with the dwelling house thereon, bounded and described as follows:

- NORTHWESTERLY by said North Street;
- NORTHEASTERLY by land of the Inhabitants of the Town of Hingham;
- SOUTHEASTERLY by the "Town Brook", so called; and
- SOUTHWESTERLY by a passageway.

No present or former spouse or partner in a civil union occupies the property or is entitled to an estate of homestead.

Grantor hereby releases any and all rights of homestead in and to the premises conveyed hereby and certify under the pains and penalties of perjury that there are no other persons entitled to any rights of homestead under G.L. c. 188 in the premises being conveyed by this Deed.

Property Address: 102-108 North Street, Hingham, MA 02043

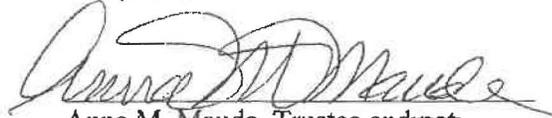
For grantor's title, see deed dated July 26, 2000, recorded with the Plymouth County Registry of Deeds in Book 18756, Page 109.

For appointment of Julie R. Grant, Christine D. Romania and Mario Romania, Jr. as Successor Trustees, see Plymouth County Registry of Deeds Book 57976, Pages 150 and 152.

For appointment of Anna M. Maude and Henry M. Disano as Successor Trustees, see Plymouth County Registry of Deeds Book 47771, Page 133 and 135.

Signature page to follow

Witness our hands and seals this 24 day of February, 2025.



Anna M. Maude, Trustee and ~~not~~  
individually

Commonwealth of Massachusetts

Plymouth County

On this 24~~th~~ day of February, 2025, before me, the undersigned notary public, personally appeared Anna M. Maude, and proved to me through satisfactory evidence of identification, which was a ( ) driver's license, (  ) personally known to me or ( ) personally known to a 3<sup>rd</sup> party personally known to me, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that she signed it voluntarily for its stated purpose and who swore or affirmed to me that the contents of the document are truthful and accurate to the best of her knowledge and belief.



Notary Public

My commission expires:



**KEVIN M. BURKE**  
Notary Public  
Commonwealth of Massachusetts  
My Commission Expires  
March 2, 2029

*Henry Disano*

Henry Disano, Trustee and ~~xxx~~  
individually

Commonwealth of Massachusetts

Plymouth County

On this 12<sup>TH</sup> day of February, 2025, before me, the undersigned notary public, personally appeared Henry Disano, and proved to me through satisfactory evidence of identification, which was a ( ) driver's license, ( ) personally known to me or (  ) personally known to a 3<sup>rd</sup> party personally known to me, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that he signed it voluntarily for its stated purpose and who swore or affirmed to me that the contents of the document are truthful and accurate to the best of his knowledge and belief.

*Kevin M. Burke*

Notary Public

My commission expires:



**KEVIN M. BURKE**  
Notary Public  
Commonwealth of Massachusetts  
My Commission Expires  
March 2, 2029

Julie R. Grant  
Julie R. Grant, Trustee and ~~not~~ x  
individually

Commonwealth of Massachusetts

Plymouth County

On this 12<sup>TH</sup> day of February, 2025, before me, the undersigned notary public, personally appeared Julie R. Grant, and proved to me through satisfactory evidence of identification, which was a () driver's license, () personally known to me or () personally known to a 3<sup>rd</sup> party personally known to me, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that she signed it voluntarily for its stated purpose and who swore or affirmed to me that the contents of the document are truthful and accurate to the best of her knowledge and belief.

Kevin M. Burke  
Notary Public  
My commission expires:



**KEVIN M. BURKE**  
**Notary Public**  
Commonwealth of Massachusetts  
My Commission Expires  
March 2, 2029

Christine D. Romania  
Christine D. Romania, Trustee and ~~xxx~~  
individually

Commonwealth of Massachusetts

Plymouth County

On this 12<sup>TH</sup> day of February, 2025, before me, the undersigned notary public, personally appeared Christine D. Romania, and proved to me through satisfactory evidence of identification, which was a () driver's license, () personally known to me or () personally known to a 3<sup>rd</sup> party personally known to me, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that she signed it voluntarily for its stated purpose and who swore or affirmed to me that the contents of the document are truthful and accurate to the best of her knowledge and belief.

[Signature]  
Notary Public  
My commission expires:



**KEVIN M. BURKE**  
Notary Public  
Commonwealth of Massachusetts  
My Commission Expires  
March 2, 2029

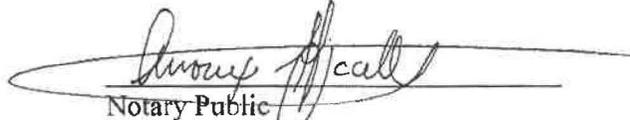


Mario Romania, Jr., Trustee and ~~not~~  
individually

Commonwealth of Massachusetts

Suffolk County

On this 7<sup>th</sup> day of February, 2025, before me, the undersigned notary public, personally appeared Mario Romania, Jr., and proved to me through satisfactory evidence of identification, which was a () driver's license, () personally known to me or () personally known to a 3<sup>rd</sup> party personally known to me, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that he signed it voluntarily for its stated purpose and who swore or affirmed to me that the contents of the document are truthful and accurate to the best of his knowledge and belief.

  
Notary Public

My commission expires: 2-7-2031



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JAN 05 2011

Town Clerk  
Hingham, MA

**OWNER AUTHORIZATION**

(Must be signed by owner of Record)

As the owner or authorized agent of 106 NORTH STREET

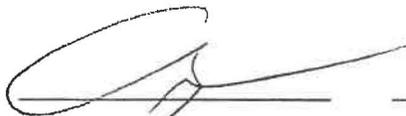
Street Address

I hereby give permission to SLOW COFFEE LLC

Individual Name / Company Name

to perform work at aforementioned property.

Said permission includes, but not limited to, acquiring all required permits and performing all work required to complete the project.

 12/31/25

Print Name

Date

GREG SALVATORE  
MANAGER MEMBER  
HINGHAM 102 NORTH LLC

**LEASE**

BETWEEN

*Slow Coffee, LLC*

AND

*Hingham 102 North LLC*

**INDEX**

The submission of this document for examination and negotiation does not constitute an offer to lease or a reservation of, or option for the premises, and this document will become effecting and binding only upon the execution and delivery of a mutual representation made by an agent, manager or other employee of Landlord to the contrary.

**PREMISES:** 106 North Street Hingham, MA 02043

**TENANT:** Slow Coffee, LLC, dba Slow Coffee

**LANDLORD:** Hingham 102 North LLC, 858 Washington St. #309, Dedham, MA 02026

**COMMERCIAL LEASE**

**1. PARTIES**

The Landlord, which expression shall include its heirs, successors, and assigned where the context so admits, does hereby lease to the Tenant, which expression shall include its successors, administrators, and assigns where the context so admits, and the Tenant hereby leases the following described premises:

**2. PREMISES**

Upon and subject to the conditions and limitations hereinafter set forth, the Landlord leases (hereinafter referred to as "Lease") to Tenant a portion of the building known and numbered as above, consisting of 1,166 square feet more or less of retail space (hereinafter referred to as the "Premises" and attached as Exhibit A), together with the right to use, in common, with others entitled thereto, the parking area appurtenant to the building. Tenant has fully examined the Premises, is aware of the existing condition and agrees to take the Premises in its "as-is" condition, without reliance on any representations or warranties by Landlord regarding the condition of the Premises. Notwithstanding the foregoing, Landlord represents that, as of the Delivery Date, the all building systems and utility lines are in good working order and repair, and Landlord agrees to perform Landlord's Work at Landlord's cost and not passed through to Tenant (as defined in Exhibit C).

**3. RENT**

The Tenant shall pay to the Landlord base rent at the rate of:

Year 1: \$51,000.00 (\$4,250.00 per month)

Year 2: \$52,530.00 (\$4,378.00 per month)

Year 3: \$54,106.00 (\$4,509.00 per month)

Year 4: \$55,729.00 (\$4,644.00 per month)

Year 5: \$57,401.00 (\$4,783.00 per month)  
Year 6: \$59,123.00 (\$4,927.00 per month)  
Year 7: \$60,897.00 (\$5,075.00 per month)  
Year 8: \$62,724.00 (\$5,227.00 per month)  
Year 9: \$64,605.00 (\$5,384.00 per month)  
Year 10: \$66,543.00 (\$5,545.00 per month)

The Tenant will have one (1) five (5) year option with base rent at the rate of:

Year 11: \$68,540.00 (\$5,712.00 per month)  
Year 12: \$70,596.00 (\$5,883.00 per month)  
Year 13: \$72,714.00 (\$6,059.00 per month)  
Year 14: \$74,895.00 (\$6,241.00 per month)  
Year 15: \$77,142.00 (\$6,429.00 per month)

Rent is due on the Rent Commencement Date specified in Section 4 and on the first day of each and every month thereafter throughout the term of this Lease. All payments shall be due without billing or demand and without deduction, set off, or counterclaim. Tenant will be required to pay Rent via the Landlord's secure payment portal. Rent for a fraction of a month at the beginning of the Lease term shall be prorated. In the event any scheduled payment of base rent, or additional rent (hereinafter referred to as "Rent") which becomes due under the terms of this Lease shall remain unpaid for a period of ten (10) business days from the time same is due and payable, then there shall become payable a late charge of six (6) cents on each dollar so overdue.

#### 4. TERM

The lease commencement date (hereinafter referred to as the "Lease Commencement Date" or "Delivery Date") will be the date this Lease is mutually executed which will also be the date Landlord delivers Premises to Tenant. The rent commencement date (hereinafter referred to as the "Rent Commencement Date") shall be the earlier of 30 days from the date tenant receives a Certificate of Occupancy from the Town of Hingham or 240 days from the date Landlord substantially completes the Landlord's work. The term of this Lease shall be ten (10) years starting with the Rent Commencement Date with expiration at the end of the month. The Tenant will have one (1) five (5) year option to extend the lease at the base rent in Section 3. The Tenant must provide written notice of their intent to extend three-hundred and sixty (360) days prior to the expiration of their initial term.

#### 5. SECURITY DEPOSIT

Upon execution of this Lease, the Tenant shall pay to the Landlord the amount of \$4,500.00 which is to be held by Landlord as security deposit for Tenant's performance of this Lease. The security shall be refunded to the Tenant at the end of the Lease no later than thirty (30) days of the expiration, without interest, subject to the Tenant's satisfactory compliance with the terms of this lease.

#### 6. ADDITIONAL RENT

As additional rent, Tenant shall pay to Landlord 36.28% of all actual, reasonable and necessary "Operating Expenses" (as hereinafter defined) incurred and paid by Landlord with respect to the Premises and the building where the Premises is part of for each calendar year (or part thereof) occurring during the term. Payments on account of Operating Expenses shall be made in equal monthly installments on the days base rent is due starting at the Rent Commencement Date. With respect to the estimated Operating Expenses, the amount of each monthly installment shall be reasonably and in good faith estimated by Landlord.

Landlord Initials

Tenant Initials

*[Handwritten signature]*

*AG*

Notwithstanding the foregoing, (A) Tenant's Additional Rent shall not exceed \$6.00 per rentable square foot of the Premises for the period through December 31, 2026 (prorated for any partial calendar year), and (B) if Tenant's Additional Rent in any calendar year increases by more than fifteen percent (15%) compared to the preceding calendar Year, Tenant shall be responsible only for an increase of up to fifteen percent (15%). When the actual amount of the Operating Expenses for each calendar year is known, upon request by the Tenant, Landlord shall deliver to Tenant a detailed written statement of actual Operating Expenses for such year, together with reasonable supporting back-up within ninety (90) days after the end of each calendar year. Tenant shall pay any amount not paid by monthly installments within thirty (30) days after receipt of Landlord's billing therefor, or the amount of any overpayment shall be credited or refunded to Tenant, as the case may be. No interest shall be payable to Tenant with respect to monthly Operating Expense payments. The term "Operating Expenses" means the aggregate of all reasonable, customary, and non-duplicative costs and expenses incurred by Landlord in connection with the operation, maintenance, cleaning and management of Landlord's property (not otherwise provided for herein), including without limitation real estate taxes of every kind and nature, premiums for all insurance maintained by Landlord (including without limitation casualty, liability and rental insurance), repairs, replacements, maintenance, lighting, water, maintenance of grounds, payments under service contracts with independent contractors, reasonable management fees, insurance premiums and payroll taxes paid to, for or with respect to all persons engaged in the operation, maintenance or cleaning of the building, and all other costs and expenses now or hereafter customarily and reasonably incurred in connection with the operation, management, cleaning and maintenance of property, including an "annual charge-off" (determined as hereinafter provided) for repairs or replacements which are not properly chargeable against income (hereinafter "Capital Expenditures"), but expressly excluding the following: (a) costs to correct latent defects or to remedy violations of law existing as of the Rent Commencement Date; (b) costs of ownership including mortgage principal or interest, financing costs, ground rent, and depreciation; (c) leasing costs (including tenant improvements for other tenants, brokerage commissions, legal fees related to leasing, marketing costs); (d) costs reimbursed by insurance or warranties or paid by any other third party; (e) fines, penalties, late charges or increased premiums arising from Landlord's negligence, misconduct or default; (f) costs of services provided to other tenants to the extent in excess of services provided to Tenant; (g) charitable or political contributions; (h) Landlord's income, franchise or other taxes measured by Landlord's income; and (i) reserves of any kind.

The "annual charge-off" shall be determined by (a) dividing the original cost of the capital expenditure by the number of years of "Useful Life" (as hereinafter defined) thereof; and (ii) adding to such quotient an interest factor computed on the unamortized balance of such capital expenditure at an annual rate of one percentage point over the Prime Rate at the time the capital expenditure is made; provided, further, that if Landlord reasonably concludes that a particular capital expenditure will effect savings in operating expenses including, without limitation, energy-related costs, and that such annual projected savings will exceed the annual charge-off of capital expenditure computed as aforesaid, then and in such events, the annual charge-off shall be determined by dividing the amount of such capital expenditure by the number of years over which the projected amount of such savings shall fully amortize the cost of such capital item or the amount of such capital expenditure; and by adding the interest factor, as aforesaid. The "Useful Life" of a capital expenditure shall be reasonably determined by Landlord in accordance with generally accepted accounting principles and practices of effect at the time of acquisition of the capital item and shall be subject to Tenant's reasonable review in connection with an audit. Any of the services hereunder may be performed by subsidiaries or affiliates of Landlord, provided that the contracts for the performance of such services shall be competitive and at rates and on terms no less favorable than would be with similar contracts and transactions with unaffiliated entities for the performance of such services and comparable buildings in the greater Boston area. Within ninety (90) days of receiving the above annual Operating Expense statement from Landlord, Tenant shall have the right to inspect and audit Landlord's records to determine the accuracy of the billing. Tenant may inspect records at Landlord's place of business during normal business hours or at Tenant's option, receive electronic copies of reasonably requested back-up. Tenant may use an independent CPA or other professional bound by confidentiality. Once the ninety (90) day inspection period expires, if Tenant has not notified Landlord otherwise, said additional rent statement

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will be deemed accepted by Tenant. Tenant's payment shall not waive Tenant's rights with respect to any subsequently discovered error or overcharge resulting from Landlord's concealment or willful misconduct. If an audit discloses an overcharge of three percent (3%) or more of Tenant's total share for the audited year, Landlord shall promptly refund the overcharge and reimburse Tenant's reasonable audit costs.

## 7. UTILITIES

Tenant shall pay utility directly for separately metered electricity and gas for the Premises and maintain its own heat, hot water, air conditioning, and electricity as of Lease Commencement Date. The building contains one water meter and Landlord will bill Tenant for its usage based on Tenant's pro-rata share or via sub-meter readings. The installation and maintenance of additional utilities or equipment shall be at the Tenant's sole obligation, provided that such installation shall be subject to the Landlord's prior written consent which consent shall not be unreasonably withheld. Landlord shall have no obligation to provide utilities or equipment to the Premises other than the utilities and equipment within the Premises as of Lease Commencement Date. If an interruption of essential services within Landlord's control renders all or a material portion of the Premises untenable for more than 5 consecutive business days, Base Rent and Additional Rent shall abate proportionally from the first day of untenability until restored.

## 8. USE OF LEASED PREMISES

The Tenant shall use the Premises only for the purpose of operating a coffee shop. The Premises shall be open to the public during commercially reasonable usual business hours as determined by Tenant and shall be used only as allowed herein and for no other use without the express prior written consent of Landlord. Tenant's use and operation may under no circumstances interfere with the quiet use and enjoyment of other tenants in the building. It is further stipulated that the Tenant shall refrain from selling any material, written or otherwise, which may be considered pornographic, sexually explicit, or otherwise objectionable. In the event Tenant wishes to sell any material which Tenant believes is prohibited by this paragraph, Tenant shall first receive the written permission of Landlord for the same. Failure to obtain such written permission and/or selling the objectionable material shall be considered a breach of the lease and shall entitle Landlord to all rights upon a breach. Tenant agrees to strictly comply with the Rules and Regulations, and any amendments attached hereto as Exhibit B and incorporated herein by reference.

## 9. COMPLIANCE WITH LAWS

The Tenant acknowledges that no trade or occupation shall be conducted in the leased Premises or use made thereof which will be unlawful, improper, noisy, offensive, or contrary to any in force state or local law, by-law or ordinance.

## 10. FIRE INSURANCE

The Tenant shall not permit any use of the leased Premises which will make voidable any insurance on the property of which the leased Premises are a part, or in the contents of said property, or which shall be contrary to any law or regulation. The Tenant shall on demand reimburse the Landlord all extra insurance premiums caused by the Tenant's use of the Premises.

## 11. MAINTENANCE OF THE PREMISES

The Tenant agrees to maintain the leased Premises in the same condition as they are at the commencement of the term or as they may be put in during the term of this lease, reasonable wear and tear, damage by fire and other casualty only excepted, and whenever necessary, shall promptly make all repairs which may be required to keep and maintain the Premises in as good repair and appearance as they were originally and to replace plate glass and other glass therein, acknowledging that the leased Premises are now in good order and the glass whole. The Tenant shall not permit the leased Premises to be overloaded, damaged, stripped,

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or defaced, nor suffer any waste. Tenant shall obtain written consent of Landlord before erecting any sign on the Premises, which consent shall not be unreasonably withheld. Tenant shall be responsible for cleaning of its own Premises. Tenant may also install sign on the fascia of the building in front of the Tenant's space in accordance with the Town of Hingham zoning by-laws and Exhibit C. All signs including changes to pylon sign to be approved by Landlord in advance, which shall not be unreasonably withheld, conditioned or delayed, and all signage related costs and expenses to be borne solely by Tenant.

Landlord shall be responsible for the maintenance and repair of the roof, the exterior and structural portions of the Building and all structural portions of the leased Premises (all of which are considered common area expense), any heating and air conditioning systems to the extent they serve more than solely the lease Premises, all matters which fall within the scope of Landlord's work, if any, and all building systems, plumbing and utility lines that do not serve the leased Premises exclusively, whether located within or outside of the leased Premises unless the need for such repairs shall be from (i) Tenant's failure to perform its obligations hereunder; or (ii) the willful misconduct or neglect of Tenant or those claiming by, through or under Tenant;. If the need for such repairs is as a result of (i), or (ii) above, Tenant shall be responsible for such repairs.

## 12. TENANT'S IMPROVEMENTS

The Tenant hereby accepts the Premises in "as is" condition. Tenant shall not make structural alterations or additions to the leased Premises but may make nonstructural alterations provided the Landlord consents thereto in writing, not to be unreasonably withheld, conditioned or delayed. All such allowed alterations and additions shall be performed in a good and workman-like manner at Tenant's sole cost and expense and except for work done by or through Landlord, Tenant before its work is started shall secure all licenses and permits necessary therefor (with copies of such licenses and permits delivered to Landlord), including a Certificate of Occupancy after completion; and cause each contractor, including Tenant if Tenant intends to perform its own work, to carry workmen's compensation insurance in statutory amounts covering all the contractor's and subcontractor's employees and comprehensive public liability insurance with such limits as Landlord may reasonably require, but in no event less than \$1,000,000.00, and property damage insurance with limits of not less than \$500,000.00 during the performance of Tenant's work, copies of any such insurance policies will be provided to Landlord and any mortgagee of Landlord, naming Landlord and any mortgagees of Landlord as additional insureds under such coverage (all such insurance to be written in companies reasonably approved by Landlord and insuring Landlord and Tenant as well as the contractors); however, such requirements shall not effect Tenant's insurance obligations hereunder. All work of Tenant's contractors shall be in accordance with and shall comply with any and all applicable federal, state, regional, county, municipal and other laws and regulations, including without limitation, the Americans with Disabilities Act of 1990, as the same may be amended from time to time. Tenant covenants that its contractor will pay for all labor and materials utilized in the performance of this work, will keep the Building free of liens, and prior to the commencement of any work, shall deliver to Landlord, in recordable form, executed lien waivers from all such contractors, subcontractors, and material providers. All work done by Tenant, its agents, employees or independent contractors shall be done in compliance with all applicable laws and shall be consistent with the quality, character and aesthetics of the Building. Any alterations or improvements made by the Tenant shall become the property of the Landlord at the termination of occupancy as provided herein.

## 13. ASSIGNMENT-SUBLEASING

The Tenant shall not assign or sublet the whole or any part of the leased Premises without Landlord's prior written consent which consent shall not be unreasonably withheld. If Landlord consents thereto, the Tenant shall be released from the corresponding liability and obligations contained in this Lease to the extent of such subletting or assignment. Subject to Landlord's review of subtenant or assignee's financials and operating history, but such release shall not be unreasonably denied or conditioned.

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#### 14. SUBORDINATION

This lease shall be subject and subordinate to any and all mortgages, deeds of trust and other instruments in the nature of a mortgage, now or at any time hereafter, a lien or liens on the property of which the leased Premises are a part and the Tenant shall, when requested, promptly execute and deliver such written instruments as shall be necessary to show the subordination of this lease to said mortgages, deeds of trust or other such instruments in the nature of a mortgage. Tenant shall have ten (10) business days to execute and deliver to the Landlord such written instruments to show subordination of this lease. Tenant shall subordinate to mortgage provided the occupancy remains undisturbed during the remainder of the lease agreement.

#### 15. LANDLORD'S ACCESS

The Landlord or agents of the Landlord, without unreasonable interference with use of the Premises, may, at reasonable times, enter to view the leased Premises and may remove placards and signs not approved and affixed as herein provided, (Landlord shall notify the Tenant with 24 hour notice prior to entering the premises except emergency). Landlord may also make repairs and alterations as Landlord should elect to do, (including without limitation to install, maintain, and operate steam water an other pipes and electric, and telephone and other wires) and may show the leased Premises to others, and at any time within nine (9) months before the expiration of the term, may affix to any suitable part of the leased Premises a notice for letting or selling the leased Premises or property of which the leased Premises are a part and keep the same so affixed without hindrance. Landlord shall, in a commercially reasonable manner, minimize interference with Tenant's operations.

#### 16. INDEMNIFICATION AND LIABILITY

To the extent permitted by law, Tenant shall save Landlord and Landlord's agents harmless from, and indemnify Landlord and Landlord's agents against, to the extent permitted by law, any and all injury, loss or damage and any and all claims, for injury, loss or damage, of whatever nature (i) caused by or resulting from or claimed to have been caused by or to have resulted from, any act, omission or negligence of Tenant or anyone claiming under Tenant (including, but without limitation, employees and contractors of Tenant), no matter where occurring, (ii) occurring upon or about the Premises, no matter how caused (other than as a result of any act, omission or negligence of Landlord or its agents and employees), or (iii) resulting, directly or indirectly from any default by Tenant under this Lease. Similarly, to the extent permitted by law, Landlord shall save Tenant and Tenant's agents harmless from, and indemnify Tenant and Tenant's agents against, any and all injury, loss or damage and any and all claims, for injury, loss or damage, of whatever nature (i) caused by or resulting from or claimed to have been caused by or to have resulted from, any act, omission or negligence of Landlord or anyone claiming under Landlord (including, but without limitation, employees and contractors of Landlord), no matter where occurring, (ii) occurring upon or about the Common Areas or other portions of the Building or project within Landlord's control, no matter how caused (other than as a result of any act, omission or negligence of Tenant or its agents and employees), or (iii) resulting, directly or indirectly, from any default by Landlord under this Lease. This indemnity and hold harmless agreement shall include indemnity against all costs, expenses and liabilities, including reasonable legal fees, incurred in connection with any such injury, loss or damage or any such claim, or proceeding brought thereon or the defense thereof. Tenant shall also save Landlord and Landlord's agents harmless from all loss and damage occasioned by the use or escape of water or by the bursting of pipes, or by any nuisance made or suffered on the Premises, unless such loss is caused by the negligence or willful misconduct of Landlord, or its agents or employees. Landlord and Tenant shall save each other harmless from, and indemnify each other against, to the extent permitted by law, any and all injury, loss or damage and any and all claims, for injury, loss or damage, of whatever nature caused by or resulting from or claimed to have been caused by or to have resulted from any willful misconduct, act, omission or negligence of Landlord or Tenant or their agents or employees, occurring upon or about the common areas. The indemnities set forth in this Section 16 shall survive the expiration or earlier termination of this Lease.

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## 17. TENANT'S LIABILITY INSURANCE

The Tenant shall maintain with respect to the leased Premises, comprehensive public liability insurance in the amount of \$1,000,000 with property damage insurance in limits of \$2,000,000 in responsible companies qualified to do business in Massachusetts and in good standing therein insuring the Landlord as well as Tenant against injury to persons or damage to property as provided. The Tenant shall deposit with the Landlord certificates for such insurance at or prior to the commencement of the term, and thereafter within thirty (30) days prior to the expiration of any such policies. All such insurance certificates shall provide that such policies shall not be canceled without at least ten (10) days prior written notice to each assured named therein.

## 18. FIRE, CASUALTY-EMINENT DOMAIN

Should a substantial portion of the leased Premises, or of the property of which they are a part, be substantially damaged by fire or other casualty, or be taken by eminent domain, the Landlord or the Tenant may elect to terminate this lease and a just and proportionate abatement of Base Rent and Additional Rent shall be made in the same proportionate that (x) the rentable square footage of the Premises rendered untenable and not usable by Tenant bears to (y) the total rentable square footage of the Premises, and for the period of such untenability, and the Tenant may elect to terminate this lease if:

- (a) The Landlord fails to give written notice within thirty (30) days of intention to restore leased Premises; or
- (b) The Landlord fails to restore the leased Premises to a condition substantially suitable for their intended use within one hundred eighty (180) days of said fire, casualty, or taking.

The Landlord reserves, and the Tenant grants to the Landlord all rights which the Tenant may have for damages or injury to the leased Premises for any taking by eminent domain, except for damage to the Tenant's fixtures, property, or equipment.

## 19. DEFAULT AND BANKRUPTCY

In the event that:

- (a) The Tenant shall default in the payment of any installment of rent or additional rent and such default shall continue for ten (10) business days after Tenant's receipt of written notice of such default to Tenant; or
- (b) The Tenant shall default in the observance or performance of any other of the Tenant's covenants, agreements, or obligations hereunder and Tenant has not commenced diligently to correct the default or defaults so specified or has not thereafter diligently pursued such correction to completion within thirty (30) days after written notice thereof; or
- (c) Tenant or any guarantor of Tenant's obligations under this Lease makes any assignment for the benefit of creditors, commits an act of bankruptcy or files a petition under any bankruptcy or insolvency law; or if such a petition is filed against Tenant or any guarantor of Tenant's obligations under this Lease and is not dismissed within sixty (60) days; or if a receiver or similar officer becomes entitled to Tenant's leasehold hereunder and it is not returned to Tenant within sixty (60) days, or if such leasehold is taken on execution or other process of law in any action against Tenant; or
- (d) Tenant shall cease to operate its business at the Premises for a period in excess of fourteen (14) consecutive business days, except in the case of casualties or other causes beyond the reasonable control of

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Tenant (including, without limitation, government orders, utility interruptions, supply-chain failures, labor disputes not directed by Tenant, acts of God, and bona fide medical circumstances such as hospitalization, serious illness or injury), or otherwise quit, abandon or vacate the Premises. In addition, a closure in excess of fourteen (14) consecutive business days pursuant to a pre-approved vacation, renovation, or other reasonably planned shutdown shall not constitute a default, provided that (i) such closure occurs no more than once in any calendar year; (ii) Tenant obtains Landlord's prior written consent (not to be unreasonably withheld, conditioned or delayed) and coordinates reasonable security and maintenance measures; and (iii) Tenant remains current on all Rent and maintains all required insurance and compliance with this Lease during such closure

Then the Landlord shall have the right thereafter, while such default continues, to re-enter and take complete possession of the leased Premises, to declare the term of this lease ended, and remove the Tenant's effects, without prejudice to any remedies which might be otherwise used for arrears of rent or other default.

## 20. DAMAGES

In the event of a termination of this Lease resulting from Tenant's Default after any applicable notice and cure periods, Tenant shall pay to Landlord as damages,

sums equal to the aggregate of the Rent and additional rent (making reasonable assumptions with respect to additional rent) which would have been payable by Tenant had this Lease not terminated, payable upon the due dates therefor specified herein until the date hereinbefore set for the expiration of the term of this Lease; provided, however, that if Landlord shall relet all or any part of the Premises for all or any part of the period commencing on the day following the date of such termination and ending on the date hereinbefore set for the expiration of the term of this Lease, Landlord shall credit Tenant with the net rents received by Landlord from such reletting, such net rents to be determined by first deducting from the gross rents as and when received by Landlord from such reletting the expenses incurred or paid by Landlord in terminating this Lease and of re-entering the Premises and of securing possession thereof, as well as the expenses of reletting, including altering and preparing the Premises for new tenants, brokers' commissions, and all other expenses properly chargeable against the Premises and the rental therefrom in connection with such reletting, it being understood that any such reletting may be for a period equal to or shorter or longer than said period, provided, further, that (i) Landlord shall not be entitled to a double recovery, and any excess of such rents over the sums payable by Tenant hereunder shall be applied to reduce any other amounts then due from Tenant under this Lease, (ii) Tenant shall receive credits for reletting rents as they are earned during the damages period (and Landlord's claims shall be correspondingly reduced), without regard to the timing of collection, and (iii) if the Premises or any part thereof should be relet in combination with other space, then proper apportionment on a square foot rentable area basis shall be made of the rent received from such reletting and of the expenses of reletting. Landlord shall use commercially reasonable efforts to mitigate damages (including diligent efforts to relet the Premises on terms that are commercially reasonable under then-current market conditions).

Suit or suits for the recovery of any damages payable hereunder by Tenant, or any installments thereof, may be brought by Landlord from time to time at its election, and nothing contained herein shall be deemed to require Landlord to postpone suit until the date when the term of this Lease would have expired but for such termination.

In the event of a breach or threatened breach on the part of Tenant with respect to any of the covenants or agreements on the part of or on behalf of Tenant to be kept, observed or performed, Landlord shall also have the right of injunction. The specified remedies to which Landlord may resort hereunder are cumulative and are not intended to be exclusive of any other remedies or means or redress to which Landlord may lawfully be entitled at any time, and Landlord may invoke any remedy allowed at law or in equity as if specific remedies were not herein provided for.

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If Tenant shall default, after notice thereof as hereinabove required, in the observance or performance of any conditions or covenants on Tenant's part to be observed or performed under or by virtue of any of the provisions in any section of this Lease, Landlord, without waiving such default, may remedy such default for the account and at the expense of Tenant. If Landlord makes any expenditures or occurs any obligations for the payment of money in connection therewith, including, but not limited to, reasonable attorney's fees in instituting, prosecuting or defending any action or proceeding against Tenant hereunder, or against any other party as a result of Tenant's default hereunder, such sums paid or obligations incurred, with interest at the rate of ten (10%) per annum and costs, shall be paid to Tenant as additional rent.

## 21. NOTICE

Any notice from the Landlord to the Tenant relating to the leased Premises or to the occupancy thereof, shall be deemed duly served, if mailed to the Tenant at the Premises address or to such other address as Tenant may advise in writing, by overnight, next day delivery. Any notice from the Tenant to the Landlord relating to the leased Premises or to the occupancy thereof, shall be deemed duly served, if mailed to the Landlord by overnight, next day delivery, at the address on Page 1 of this Lease or to such address as the Landlord may from time to time advise in writing.

## 22. SURRENDER

The Tenant shall at the expiration or other termination of this lease remove all Tenant's trade fixtures, furniture, equipment, goods and effects from the leased Premises, including without hereby limiting the generality of the foregoing, all signs and lettering affixed or painted by the Tenant, either inside or outside the leased Premises. Tenant shall deliver to the Landlord the leased Premises and all keys, locks thereto, and other fixtures connected therewith and all alterations and additions made to or upon the leased Premises, in the same condition as they were at the commencement of the term, or as they were put in during the term hereof, reasonable wear and tear and damage by fire or other casualty are the only exceptions. In the event of the Tenant's failure to remove any of the Tenant's property from the Premises, Landlord is hereby authorized, without liability to Tenant for loss or damage thereto, and at the sole risk of Tenant, to remove and store any of the property at Tenant's expense, or to retain same under Landlord's control or to sell at public or private sale, without notice any or all of the property not so removed and to apply the net proceeds of such sale to the payment of any sum due hereunder, or to destroy such property.

## 23. SECURITY

Tenant acknowledges that, in all events, Tenant is responsible for providing security to its own Premises and personnel, and Tenant shall indemnify, defend with counsel of Tenant's selection provided, however the selection of such counsel shall require Landlord's written reasonable consent, and save Landlord harmless from any claim for injury to person or damage to property asserted by any of the personnel and employees, guests, invitees or agents of Tenant which is suffered or occurs in or about the Premises or in or about the Building of which the Premises are a party by reason of the act of an intruder or any other person in or about the Premises or the Building of which the same are a part.

## 24. RUBBISH REMOVAL

Tenant shall remove all garbage, trash, rubbish and other refuse generated in connection with Tenant's usual business operations and shall keep such waste material in vermin-proof containers within the interior of the Premises until removed to outside barrel, if approved by the Town of Hingham. Landlord agrees Tenant may place one (1) small trash barrel at the rear of the building in a location reasonably designated by Landlord and allowed by the Town of Hingham.

## 25. ESTOPPEL CERTIFICATE

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At any time and from time to time, upon not less than fifteen (15) day's prior written consent by Landlord to Tenant, or by Tenant to Landlord (provided Tenant is not in default hereunder beyond applicable periods of grace), Landlord and Tenant shall execute, acknowledge and a statement in writing certifying that this Lease is unmodified and in full force and effect (or if there have been modifications, that this Lease is in full force and effect as modified and stating the modifications), that Tenant has no right of reduction, abatement or set-off against the rent or any other charge payable to Landlord, the amount, if any, of any security deposited by Tenant, the dates to which the Rent and additional rent and other amounts and charges have been paid in advance, and any increases or decreases of rent that are anticipated, it being intended that any such statement delivered pursuant to this Paragraph may be relied upon by any purchaser of the fee or mortgage or beneficiary or assignee of any Mortgage.

26. SECURITY AGREEMENT Intentionally Omitted

27. ADDITIONAL COVENANTS

(a) Unlawful Trade No trade or occupation shall be conducted in the Premises or use made thereof which will be unlawful, improper, unreasonably noisy or offensive, or contrary to any law or any municipal by-law or ordinance in force in the city or town in which the Premises are situated. Tenant agrees that any fixtures or equipment installed by it including but not limited to any ventilation equipment for the kitchen will not emit offensive odors or otherwise interfere with the peaceful enjoyment of the other tenants in the building where the Premises are located, provided, however, that ordinary odors incidental to the operation of a coffee shop shall not, by themselves, be deemed offensive. Tenant shall not permit any use of the Premises which will make voidable any insurance on the Building or on the contents of the Building or which shall be contrary to any law or regulation.

(b) Landlord Liability Neither the original Landlord nor any successor Landlord, including, without limitation, any successor Landlord who or which is a trustee or a partnership, nor any beneficiary of the original Landlord or any successor Landlord nor any partner, general or limited, of such partnership shall be under any term, condition, covenant, obligation or agreement expressed herein or for any claim or damage or cause at law or in equity arising out of the occupancy of the use or maintenance of the Property and Tenant specifically agrees to look solely to the Property for the recovery of any judgment against Landlord.

(c) Tenant Representation If Tenant is a business entity, then the person or persons executing this Lease on behalf of Tenant jointly and severally warrant and represent in their individual capacities that: (i) Tenant is duly organized, validly existing and in good standing under the laws of the jurisdiction in which such entity was organized; (ii) Tenant is duly authorized in, and in good standing under the laws of the Commonwealth of Massachusetts; (iii) Tenant has the authority to own its property and to carry on its business as contemplated under this Lease; and (iv) the execution, delivery and performance by Tenant of this Lease (1) are within the powers of Tenant, and (2) have been duly authorized by all requisite action.

(d) Validity and Binding Affect This Lease is a valid and binding obligation of both Tenant and Landlord in accordance with its terms. Tenant, if a business entity agrees that breach of the foregoing warranty and representation shall, at Landlord's election, be a default under this Lease for which there shall be no cure. This warranty and representation shall survive the expiration or earlier termination of this Lease.

(e) Construction The parties acknowledge and agree that this Agreement shall not be construed more strictly against either party by virtue of the preparation of this Agreement.

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(f) Period of Ownership In no event shall Landlord be liable for any breach of any term, condition or covenant during the Initial Term or any extension thereof unless the same shall occur during and within the period of time that it is the owner of and in possession of the Building.

(g) Right to Self-Help If an Event of Default shall occur and be continuing, Landlord shall have the right, but shall not be obligated, to enter upon the Premises and to perform such obligation notwithstanding the fact that no specific provision for such substituted performance by Landlord is made in his Lease with respect to such Event of Default. In performing such obligation, Landlord may make any payment of money or perform any other act. The total of (i) all sums paid by Landlord pursuant to this §25(g), (ii) interest on such sums at the rate specified in ARTICLE 20, and (iii) all reasonably necessary incidental costs and expenses in connection with the performance of any such act of Landlord shall be deemed to be Rent under this Lease and shall be payable to Landlord immediately upon demand. Landlord may exercise the foregoing rights without waiving any other of its rights or releasing Tenant from any of its obligations under this Lease.

(h) Loading and Unloading The Tenant shall load and unload all delivery vehicles from the rear of the building. No loading or unloading of vehicles shall be permitted from the front of the Premises. The Landlord may in its discretion limit the hours during which loading and unloading may be performed at the Premises by amendment to the Rules and Regulations.

(i) Relocation Landlord reserves the right, at its own cost and expense, to relocate the Premises to comparable space with substantially equivalent size, similar improvements and at least of equivalent quality within the Building by giving Tenant notice of such intention to relocate. If within 60 days after receipt of such notice Landlord and Tenant have not agreed on the space to which the Premises are to be relocated, the timing of such relocation and the terms of such relocation, then the Landlord shall withdraw its relocation notice. If the Landlord and the Tenant do so agree on relocation then, effective on the date of such relocation, this Lease shall be amended by deleting the description of the original Premises and substituting therefor a description of such relocation space. Tenant's Percentages set forth in Section 6 shall also be modified to take account of differences in the Rentable Floor Area of such space as compared with the original Premises. The Base rent shall be adjusted to reflect the same per square foot rate multiplier by the square footage of the relocation space, but in no event shall Tenant's adjusted base rent be greater than the base rent set forth in this Lease. Landlord agrees to pay the reasonable costs of moving Tenant to such other space within the Building, including, without limitation, the costs of renovation and remodeling, and, if Tenant's business is disrupted, Landlord agrees to pay Tenant compensation for Tenant's lost profits, as reasonably estimated by Tenant. Tenant will provide to Landlord any and all financial information, requested by Landlord, supporting such claims. Such information shall include but not be limited to audited tax returns.

(j) Force Majeure. In any case where either party hereto is required to do any act, delays caused by or resulting from Acts of God, war, civil commotion, fire, flood or other casualty, labor difficulties, shortages of labor, materials or equipment, government regulations, unusually severe weather, pandemic or other causes beyond such party's reasonable control (any of the foregoing causes being referred to herein as "Force Majeure") shall not be counted in determining the time during which work shall be completed, whether such time be designated by a fixed date, a fixed time or a "reasonable time," and such time shall be deemed to be extended by the period of such delay. Either party shall be entitled to terminate the Lease for no fault by giving the other party a written notice to terminate and designate a Termination Date no earlier than the date of such notice if a Force Majeure Event has continued for over 6 months.

(k) Landlord's Default. Landlord shall not be deemed to be in default in the performance of any of its obligations hereunder unless it shall fail to perform such obligations and such failure shall continue for a period of thirty (30) days or such additional time as is reasonably required to correct any such default after written notice has been given by Tenant to Landlord (and to all mortgagees of which Tenant has notice)

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specifying the nature of Landlord's alleged default. If a Landlord Default occurs and such Landlord Default directly affects and materially impairs Tenant's use and enjoyment of the Premises for the Permitted Uses, Tenant may make such repairs within the Premises and in common areas adjacent to the Premises necessary to restore Tenant's use, and Landlord will reimburse Tenant for the reasonable and necessary third party costs thus incurred by Tenant upon receipt from Tenant of a statement of such costs in reasonable detail and such backup materials as Landlord may reasonably request. If Landlord fails to reimburse Tenant as aforesaid within sixty (60) days of receipt by Landlord of such statement and backup materials, Tenant may offset such amounts against the installments of Fixed Rent and Additional Rent next coming due.

## 28. MISCELLANEOUS

(a) Massachusetts Law This Lease is made pursuant to and shall be governed by and construed in accordance with the laws of The Commonwealth of Massachusetts.

(b) Severability If any provision of this Lease or portion of such provision or the application thereof to any person or circumstance is for any reason held invalid or unenforceable, the remainder of this Lease (including the remainder of such provisions) and the application thereof to the persons or circumstances shall not be affected thereby.

(c) Waiver A waiver, express or implied, by Landlord or Tenant of any default by the other in the observance and performance of any of the conditions or covenants or duties hereof shall not constitute or be construed as a waiver of any subsequent or other default.

(d) Successors and Assigns The covenants, agreements and conditions contained in this Lease to be performed and observed by either party be binding upon said party and its successors and assigns and shall inure to the benefit of the other party and its successors and assigns. The obligations of Tenant and any guarantors with respect to this Lease shall be joint and several, and any reference to Tenant contained herein shall be deemed to include and apply to any guarantor of this Lease.

(e) Integration This Lease and Exhibits A, B and C attached hereto and incorporated herein sets forth all of the covenants, promises, agreements, conditions and understandings between Landlord and Tenant concerning the Premises and there are no warranties, representations, covenants, promises, agreements, conditions or understandings, either oral or written, between them other than are herein set forth (if none insert "NONE" hereafter). This Lease shall not be modified or amended in any manner except by an instrument in writing executed by the Parties hereto.  
"NONE"

(f) Holdover If Tenant remains in possession of the Premises after the expiration or earlier termination of this Lease, Tenant shall be a tenant-at-sufferance, and pay to Landlord rent for each month or part thereof during which Tenant so holds over at a rate equal to the greater of (i) one and half times the Rent reserved herein (making reasonable assumptions with respect to additional rent).

(g) Usury If any rate of interest reserved herein shall prove to be in excess of the maximum rate of interest permitted by applicable laws, the rate of interest so reserved shall be automatically be reduced to the rate so permitted from time to time by applicable laws.

(h) Landlord's Right to Maintain Pipes Landlord may erect, maintain and use pipes, ducts and conduits in and through the Premises, all as it may reasonably deem, necessary or desirable; provided, however, that there shall be no permanent damage to the appearance of the Premises, obstruction of access or adverse effect upon layout or finish or the ability of Tenant to carry on the normal conduct of its business in the Premises except with the prior consent of Tenant (which shall not be unreasonably withheld or delayed), and except as may be required in order to comply with any rule, order or regulation of any

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governmental authority. Any actual and verifiable loss in Tenant's usable space in the Premises shall result in a corresponding decrease in Tenant's Rent.

(i) Peaceful Enjoyment Tenant, upon paying the rent reserved and performing and observing the agreements and conditions herein on its part to be performed and observed, shall and may peaceably and quietly have, hold and enjoy the Premises during the term hereof without any manner of hindrance or molestation from anyone claiming by, through or under Landlord, subject, however, to the provisions of this Lease, and to mortgages, easements and other matters of record existing as of the date of this Lease or arising any time hereafter.

(j) Assignment of Rents With reference to any assignment by Landlord of Landlord's interest in this Lease, or the rents payable hereunder, conditional in nature or otherwise which assignment is made to the holder of a mortgage or ground lease on property which includes the Premises, Tenant agrees:

(a) that, except as provided in Subsection (b) below, the execution thereof by Landlord, and the acceptance thereof by the holder of such mortgage or the ground lessor, shall never be treated as an assumption by such holder or ground lessor of any of the obligations of Landlord hereunder, unless such holder, or ground lessor, shall, by notice sent to Tenant, specifically otherwise elect; and

(b) that, except as aforesaid, such holder shall be treated as having assumed Landlord's obligations hereunder only upon foreclosure of such holder's mortgage and the taking of possession of the Premises. In no event shall the acquisition of title to the building and the land on which same is located be a purchaser which, simultaneously therewith, leases the entire Building or such land back to the seller hereof be treated as an assumption, by operation of law or otherwise, of Landlord's obligations hereunder, but Tenant shall look solely to such seller-lessee, and its successors from time to time in title, for performance of Landlord's obligations hereunder. In any such event, this Lease shall be subject and subordinate to the interest of such purchaser-lessor under the lease to such seller-lessee- For all purposes such seller-lessee, and its successors in title, shall be the Landlord hereunder unless and until Landlord's position shall have been assumed by such purchaser-lessor.

## 29. JURY WAIVER

TENANT AND GUARANTORS HEREBY WAIVE TRIAL BY JURY IN ANY JUDICIAL PROCEEDING TO WHICH IT IS A PARTY INVOLVING, DIRECTLY OR INDIRECTLY, ANY MATTER (WHETHER SOUNDING IN TORT, CONTRACT OR OTHERWISE) IN ANY WAY ARISING OUT OF, RELATED TO, OR CONNECTED WITH THIS LEASE OR THE RELATIONSHIP ESTABLISHED HEREUNDER.

## 30. GUARANTY

Anson Gao and Bo Wang (the "Guarantor"), unconditionally guarantees as provided herein and subject to the limitations below, as primary obligors: (i) the payment by Tenant of all of its payment obligations under the Lease when due (including, without limitation all payments of rent, additional rent and payment of costs, attorney's fees and expenses and all damages (whether such damages are provided for in the Lease or are otherwise allowable by law) in respect of the failure by Tenant to make any such payment strictly in accordance with the terms of the Lease; (ii) the punctual performance by Tenant of all other terms, conditions, covenants and agreements contained in the Lease to be performed or observed by Tenant. Guarantor agrees that if for any reason whatsoever Tenant shall fail to make any such payment or to perform or observe any such term, condition, covenant or agreement under the Lease, Guarantor shall duly and punctually pay, perform and observe the same. This Guaranty is an absolute, present and continuing guaranty of payments and performance and not of collectibility and is in no way conditional or contingent

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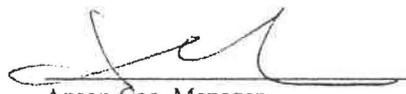
upon any attempt to collect from Tenant any unpaid amounts due or otherwise to enforce performance by Tenant. The Guaranty shall automatically terminate and Guarantor shall be released upon the earlier to occur of (a) a Landlord-consent assignment or subletting coupled with Landlord's release of Tenant; or (b) expiration of the Lease.

IN WITNESS WHEREOF, the Landlord and Tenant have hereunto set their hands and common seals this 4 day of March, 2025.

LANDLORD:

  
\_\_\_\_\_  
John Salvatore, Manager Member

TENANT

  
\_\_\_\_\_  
Anson Gao, Manager

(Exhibit A)

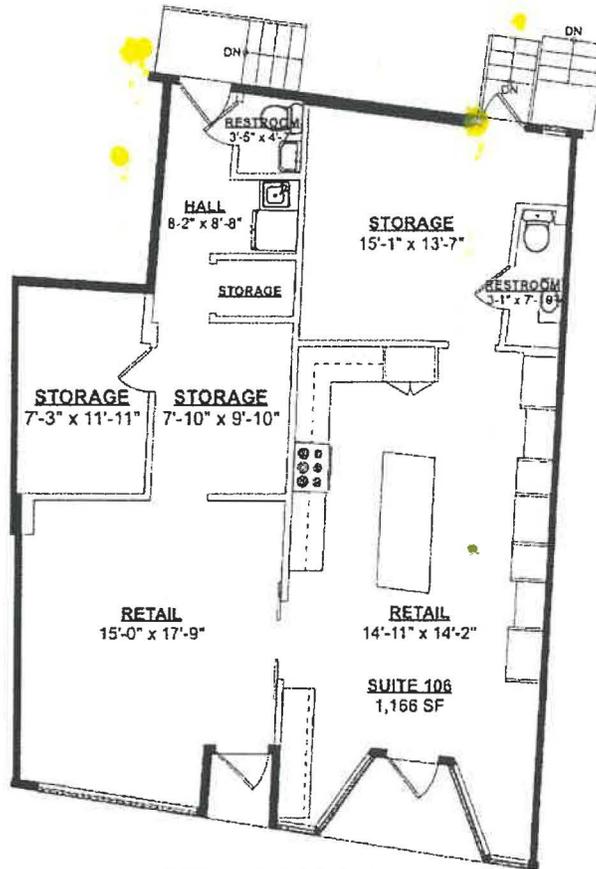
Plan

Landlord Initials



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**RETAIL FLOOR PLAN**  
Ceiling Height = 8'-10"



Scale 1/8" = 1'-0"

EXISTING CONDITIONS FLOOR PLANS			1
JOB NO.	DATE: JANUARY 2025	SCALE: 1/8" = 1'-0"	
<b>NATIONAL FLOOR PLANS</b> 398 COLUMBUS AVENUE SUITE 100 BOSTON MA 02116 800.328.0217 TEL		102-108 NORTH STREET HINGHAM, MA	

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(Exhibit B)

**RULES AND REGULATIONS**

1. The sidewalks, driveways, entrances, passages, courts, lobbies, esplanade area, atrium plazas, vestibules, corridors, halls and other public portions of the Building ("Public Area") shall not be obstructed or encumbered by any tenant or used for any purpose other than ingress and egress to and from the Premises, and no tenant shall permit any of its employees, agents, licensees or invitees to congregate or loiter in any of the Public Areas. No tenant shall invite to or permit to visit, the Premises persons in such numbers or under such conditions as may interfere with the use and enjoyment by others of the Public Areas. Landlord reserved the right to control and operate, and to restrict and regulate the use of the Public Areas and the public facilities, as well as facilities furnished for the common use of the tenants generally, including the right to allocate certain areas for delivery service, and the right to designate which Building entrances shall be used by persons making deliveries in the Building. No floor mat of any kind whatsoever shall be placed or left outside any entry door of the Premises.

2. No curtains, blinds, shades or screens shall be installed in any window or door of the Premises without the consent of the Landlord. Such curtains, blinds, shades or screens must be of quality type, design and color, and attached in the manner, approved by Landlord. In order for the Building to maintain a uniform appearance, each tenant shall use only building standard lighting and blinds.

3. No sign, insignia, advertisement, lettering, notice or other object shall be exhibited, inscribed, painted or affixed by any tenant on any part of the outside or inside of the Premises or the Building or on corridor walls without the prior consent of Landlord. Signs on each entrance door of the Premises shall conform to building standard signs. Such signs shall, at the expense of Tenant, be inscribed, painted or fixed by sign makers approved by Landlord. In the event of the violation of the foregoing by any tenant, Landlord may remove the same without any liability, and may charge the expense incurred in such removal to the tenants violating this rule.

4. No items of any kind shall be put in common areas or be affixed to Building.

5. No acids, vapors or other harmful materials shall be discharged, or permitted to be discharged, into the waste lines, vents or flues of the Building. The plumbing fixtures shall not be used for any purpose other than those for which they were designed and constructed, and no sweepings, rubbish, rags, acids or other foreign substances shall be thrown or deposited therein. Nothing shall be swept or thrown into the common areas, or into or upon any heating or ventilating vents or registers or plumbing apparatus in the Building, or upon adjoining buildings or land or the street. The cost of repairing any damage resulting from any misuse of such fixtures, vents, registers and apparatus and the cost of repairing any damage to the Building, or to any facilities of the Building, or to any adjoining building or property, caused by any tenant, or the employees, agents, licensees or invitees of such tenant, shall be paid by such tenant.

6. No tenant shall mark, paint, drill into, or in any way deface, any structural part of the Premises or any part of the Building. No telephone or other wires or conduits shall be installed at Building exterior unless in a manner approved by the Landlord. No tenant shall lay linoleum, or other similar floor covering, so that the same shall come in direct contact with the floor of the Premises, and if, linoleum or other similar floor covering is desired to be used, an interlining of builder's deadening felt shall be first affixed to the floor, by a material soluble in water, the use of cement or other similar adhesive is prohibited.

7. No bicycles, vehicles, animals (except seeing eye dogs), fish, birds, shall be brought into or kept in or about the Land, Building or Premises except in areas specifically designated by the Landlord.

8. Nothing shall be permitted in or about the Premises which would impair or interfere with any of the Building Equipment or the services of the Building or the proper and economic heating, cleaning or

Landlord Initials



Tenant Initials

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other services of the Building or the Premises, nor shall there be installed by any tenant any ventilating, air conditioning, electrical or other equipment of any kind which, in the judgment of the Landlord, might cause any such impairment or interference. No tenant, nor the employees, agents, licensees or invitees of any tenant, shall at any time bring or keep upon the Premises any flammable, combustible or explosive fluids, chemicals or substances.

9. No tenant shall permit any portion of the Premises to be used for the possession, storage, manufacture or sale of narcotics or for any activity considered illegal by local, state or federal government.

10. Landlord shall have the right to prohibit any advertising or identifying sign by any tenant which, in the judgment of Landlord, tends to impair the appearance or reputation of the Building or the desirability of the Building as a building for offices, and upon written notice from the Landlord, such tenant shall refrain from and discontinue such advertising or identifying sign.

11. Any person whose presence in the Building at any time shall, in the judgment of the Landlord, be prejudicial to the safety, character, security, reputation or interests of the Building or the tenants of the Building may be denied access to the Building. In the event of invasion, riot, public excitement or other commotion, the Landlord may prevent access to the Building during the continuance of the same for the safety of tenants and protection of property.

12. Canvassing, soliciting and peddling in the Buildings are prohibited and each tenant shall cooperate to prevent the same.

13. The employees, agents licensees and invitees of any tenants shall not loiter around the Public Area or the front roof of any part of the Building used in common by other occupants of the Building.

14. All paneling, doors, trim or other wood products not considered furniture shall be of fire-retarding materials. Before installation of any such materials, certification of the materials fire-retarding characteristics shall be submitted to and approved by the Landlord, and installed in a manner approved by the Landlord.

15. Whenever any tenant shall submit to Landlord any plan, agreement or other document for the consent or approval of Landlord, such tenant shall pay to the Landlord, on demand, a processing fee in the amount of the reasonable fees for the review thereof, including the services of any architect or engineer employed by the Landlord to review such plan, agreement or document.

16. Landlord reserves the right to rescind, alter, waive or add, as to one, some or all tenants, any rule or regulation at any time prescribed for the Building when, in the judgment of the Landlord, Landlord deems it necessary or desirable for the reputation, safety, character, security, care, appearance, or interest of the Building or the equipment thereof, or the comfort of the tenants or others in the Building. No rescission, alteration, waiver or addition of any rule or regulation in respect of one tenant shall operate as a rescission, alteration or waiver in respect of any other tenant.

17. No tenant shall park nor allow any of its employees, agents, licensees or invitees to park in areas not designated for proper parking.

18. No tenant shall smoke nor allow any of its employees, agents, licensees or invitees to smoke in any common areas of the property.

19. In the event of any conflict between these rules and regulations and the Lease, the Lease shall govern.

20. Tenant is responsible for snow and ice removal in front of their space.

Landlord Initials



Tenant Initials



21. Upon Landlord's request, Tenant shall provide an annual sales report.

(Exhibit C)

**Landlord Work**

**1. Landlord's Work and Contribution.**

Landlord shall perform certain improvements to the Premises (the "Landlord's Work") substantially in accordance with a mutually agreed scope of work (the "Work Plan") to be attached hereto as Exhibit C. Landlord's Work shall be performed in a good and workmanlike manner in accordance with the Work Plan.

- a. Landlord to remove existing ceiling tiles
- b. Landlord to upgrade electrical panel to 200 amps
- c. Landlord to demo any portion of the middle wall (if allowable after structural review)
- d. Landlord to provide new mini-split system

Any delay in completion of the Landlord's Work resulting from Tenant's failure to timely approve pricing, plans, or fund any Excess Costs, in each case within ten (10) business days, shall constitute a Tenant Delay. In the event of such delay, Landlord and Tenant shall cooperate to revise schedules from time to time to the end that any lost time may be made up, if practicable, at a later stage of the design or construction.

**2. Ownership of Improvements.**

All improvements constructed as part of the Landlord's Work, whether funded by the Landlord's Contribution or by Tenant, shall become the property of Landlord upon installation and shall remain in the Premises upon lease expiration or earlier termination, unless otherwise agreed by the parties in writing.

Landlord Initials



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# CODE SUMMARY

APPLICABLE CODES				
BUILDING CODE	:	INTERNATIONAL BUILDING CODE, ED. 2021; INTERNATIONAL EXISTING BUILDING CODE, ED. 2021 & MA AMENDMENT CMR 780 10TH EDITION		
ACCESSIBILITY CODE	:	521 CMR		
PLUMBING CODE	:	248 CMR 10.00: UNIFORM STATE PLUMBING CODE		
MECHANICAL CODE	:	INTERNATIONAL MECHANICAL CODE, ED. 2021		
ELECTRICAL CODE	:	NATIONAL ELECTRICAL CODE, ED. 2023		
FIRE PROTECTION	:	NFPA1, ED. 2021; & 527 CMR 1.00 MASSACHUSETTS COMPREHENSIVE FIRE CODE		
ENERGY	:	INTERNATIONAL ENERGY CONSERVATION CODE, ED. 2021 & MA STRETCH CODE 2023		
PROJECT NARRATIVE				
THIS PROJECT IS AN EXISTING RETAIL TENANT "FIT UP" FOR A COFFEE SHOP AT AN EXISTING BUILDING. THE SCOPE OF WORK INCLUDES INTERIOR CONSTRUCTION, STOREFRONT AND LIMITED FACADE CONSTRUCTION PLUS NEW SIGNAGE AT THE BUILDING EXTERIOR. THE PROPOSED SCOPE OF WORK DOES NOT AFFECT THE HEIGHT OF THE EXISTING BUILDING.				
DESCRIPTION	CODE REFERENCE	REQUIREMENT	EXISTING	PROPOSED
<b>GENERAL</b>				
USE GROUP	: 302	: B	: B	: B (LESS THAN 50 OCCUPANTS)
CONSTRUCTION TYPE	: TABLE 601	: 3B	: 3B	: 3B
NO. OF STORIES (BUILDING)	: TABLE 504.4	: 1 STORY	: 1 STORY	: 1 STORY
HIGH RISE?	: 403.1	: NO	: NO	: NO
COVERED MALL	: 402.0	: NO	: NO	: NO
SPRINKLERED	: 903.	: NO	: NO	: NO
MANUAL FIRE ALARM SYSTEM	: 907.2.2	: NO	: NO	: NO
AUTOMATIC FIRE ALARM SYSTEM	: PER MECHANICAL CODE	: NO	: NO	: NO
<b>SEPARATIONS</b>				
TENANT SEPARATION	: TABLE 508.4	: N/A	: N/A	: N/A
FINISH CLASSIFICATION	: TABLE 803.13	: ROOM WALLS CLASS C ROOM CEILINGS CLASS B EXIT CORRIDORS CLASS C	: CLASS C CLASS B CLASS C	: CLASS C CLASS B CLASS C
<b>OCCUPANT LOAD</b>				
GROSS FLOOR AREA			: 1,245 sq.ft.	: 1,245 sq.ft.
FLOOR AREA ALLOWANCE	: 1004.5	: KITCHEN - 200 SF DINING AREA - 15 SF		: 874 sq.ft. / 200 = 4 371 sq.ft. / 15 = 16
TOTAL OCCUPANT LOAD				: 20
<b>EGRESS</b>				
REQUIRED NUMBER OF EXITS	: TABLE 1006.2.1	: 1	: 1	: 1
MIN. EXIT SEPARATION	: 1007.1.1	: N/A	: N/A	: N/A
MAXIMUM EGRESS PATH	: TABLE 1006.2.1	: 100 FEET	: 35'-4"	: 35'-4"
EGRESS WIDTH (SERVING 50) >	: 1020.3	: 44 INCHES	: 44"	: 44"
EGRESS WIDTH (SERVING =50) <	: 1020.3	: 36 INCHES	: 36"	: 36"
<b>PLUMBING FACILITIES</b>				
WATER CLOSETS	: TABLE 10.10.1	: 1/25 FEMALE; 1/50 MALE	: 1 UNISEX	: 2 UNISEX
LAVATORY	: TABLE 10.10.1	: 1/50 PER SEX	: 1 UNISEX	: 2 UNISEX
DRINKING FOUNTAIN	: TABLE 10.10.1	: N/A	: N/A	: N/A
UTILITY SINK	: TABLE 10.10.1	: 1	: 1	: 1

# DOCUMENT LIST

A0.1	TITLE SHEET	SHEET	1
A1.1	EXISTING FLOOR PLAN	SHEET	2
A1.2	PROPOSED FLOOR PLAN	SHEET	3
A2.1	PROPOSED RESTROOM ELEVATIONS	SHEET	4

RECEIVED

JAN 05 2026

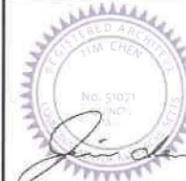
Iown Clerk  
Hingham, MA

JC BT  
ARCHITECT

606 WASHINGTON STREET, QUINCY, MA 02169  
ADMIN@JCBTARCHITECT.COM  
TEL: (617) 404-8182

CONSULTANT

REGISTRATION



REVISIONS

NO.	BY	DESCRIPTION	DATE

PROJECT

SLOW COFFEE  
INTERIOR RENOVATION

PROJECT NO. 25158

SHEET TITLE

TITLE SHEET

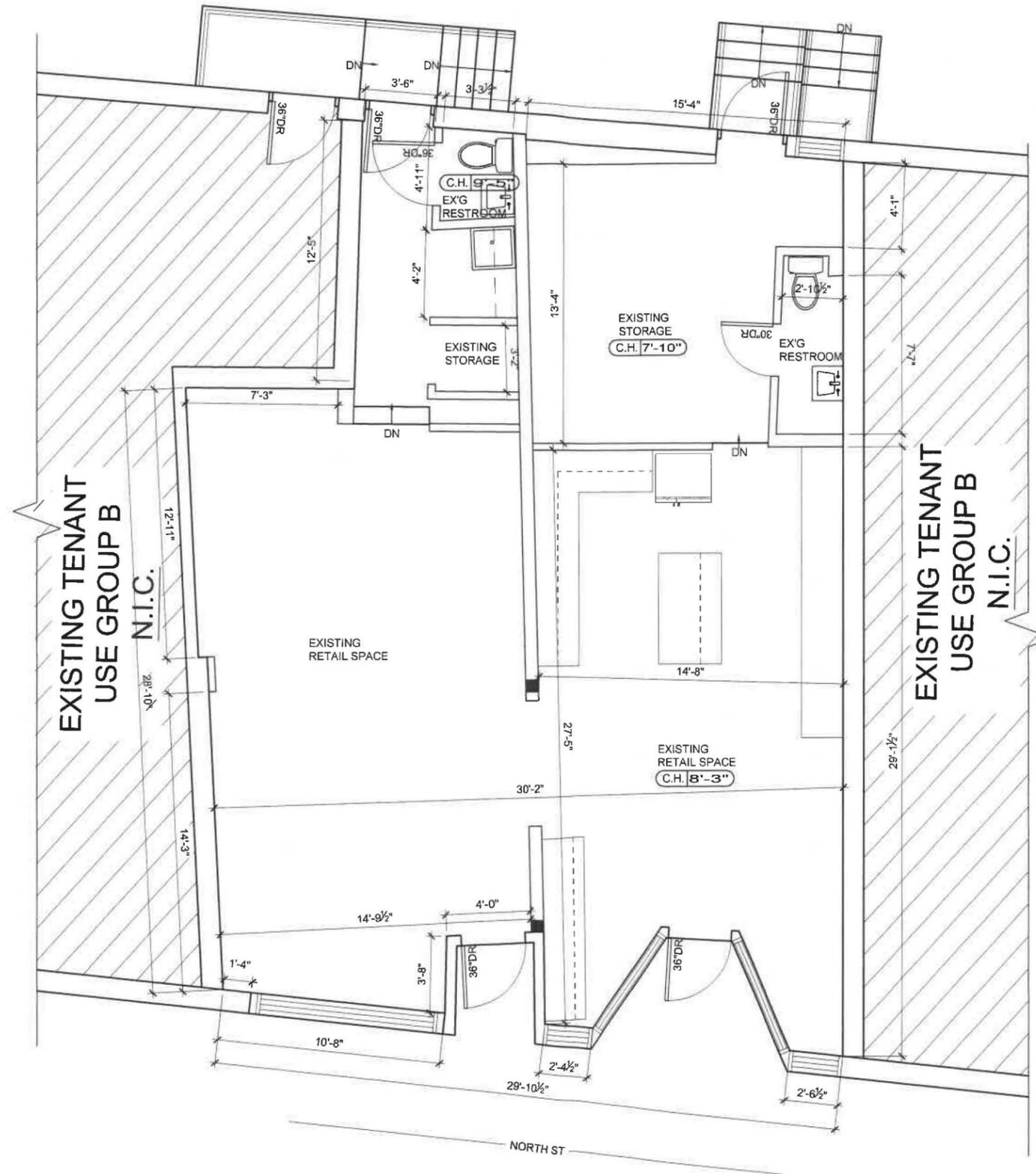
DRAWN: TW	DRAWING NO:
SCALE: NOTED	
DATE: 11/18/2025	
CHECKED:	
SHEET OF	<b>A0.1</b>

# GENERAL NOTES

GENERAL NOTES:	
1. ALL WORK SHALL COMPLY WITH THE INTERNATIONAL BUILDING CODE AND COMMONWEALTH OF MASSACHUSETTS STATE BUILDING CODE, THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH STANDARDS AND ALL OTHER APPLICABLE REGULATIONS, LAWS, ORDINANCES, ETC. GOVERNING THIS WORK.	8. CONTRACTOR SHALL LAY OUT PARTITION LINES ON FLOOR AT BEGINNING OF JOB AND NOTIFY ARCHITECT OF ANY OMISSIONS OR DISCREPANCIES IN THE CONTRACT DOCUMENTS IMMEDIATELY.
2. PRIOR TO BUILDING, ALL CONTRACTORS MUST THOROUGHLY EXAMINE THE DRAWINGS AND SPECIFICATIONS AND INSPECT THE BUILDING TO FULLY UNDERSTAND THE FACILITY, DIFFICULTIES AND RESTRICTIONS AFFECTING THE EXECUTION OF THE WORK UNDER THIS CONTRACT. THE FAILURE OF ANY CONTRACTORS TO RECEIVE OR EXAMINE ANY FORM OF INSTRUMENT OR DOCUMENT OR TO VISIT THE SITE SHALL IN NO WAY RELIEVE ANY OBLIGATION WITH RESPECT TO THIS WORK. NO CLAIMS FOR ANY ADDITIONAL COST WILL BE ALLOWED DUE TO LACK OF FULL KNOWLEDGE OF EXISTING CONDITIONS.	9. G.C. TO PATCH AND REPAIR EXISTING WALLS AFFECTED BY DEMOLITION OR NEW CONSTRUCTION WITH LIKE CONSTRUCTION MATERIALS TO MATCH EXISTING.
3. CONTRACTOR'S BID PRICE SHALL REFLECT ALL SPECIFIED WORK.	10. THE CONTRACTOR SHALL TAKE ADEQUATE PRECAUTION TO PROTECT ADJOINING PROPERTY AND STRUCTURES FROM DAMAGE. ALL ABUTTING WORK SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO EXTRA COST TO THE OWNER.
4. INFORMATION ON THESE PLANS ARE SCHEMATIC. INDIVIDUAL ROOF MANUFACTURES HAVE DIFFERENT DETAILS AND THESE MAY VARY DEPENDING ON WHICH MANUFACTURING SYSTEM IS SELECTED. CONTRACTOR SHOULD VISIT SITE TO ENSURE THAT HE IS FAMILIAR WITH THE PROJECT REQUIREMENT TO DO A COMPLETE ATTENTION SHOULD BE MADE AT THE MECHANICAL EQUIPMENT WITH RESPECT TO DISCONNECTION, MOVING, ROOF INSTALLATION AND RE-INSTALLING.	11. IT IS NOT INTENDED THAT THESE DRAWINGS SHOW EVERY CUT, CONDITION ETC., OF THIS SYSTEM. HOWEVER, THE CONTRACTOR SHALL FURNISH A COMPLETE PRODUCT IN ACCORDANCE WITH THE BEST PRACTICE OF THE TRADE AND IN STRICT CONFORMANCE WITH ALL APPLICABLE INTERNATIONAL CODE AND STATE BUILDING CODE REGULATIONS.
5. ALL EXISTING CONDITIONS AND PLAN AND DETAIL DIMENSIONS SHOULD BE VERIFIED IN THE FIELD PRIOR TO COMMENCING THE WORK. THE CONTRACTOR SHALL NOTIFY THE CONTRACTING OFFICER OF ANY DISCREPANCIES FOUND IN THE PLANS OR SPECIFICATIONS BEFORE PROCEEDING WITH AFFECTED PART OF THE WORK.	12. CONTRACTOR SHALL ADHERE TO A SCHEDULE FOR ALL WORK WHICH DOES NOT INTERFERE WITH NORMAL OPERATIONS OF THE FACILITY.
6. THE GENERAL CONTRACTOR MUST RECONFIRM THE DIMENSIONS OF THE DEMISING PARTITIONS AND COLUMN LOCATIONS.	13. DO NOT PUT DISSIMILAR METALS IN CONTACT WITH EACH OTHER.
7. THE GENERAL CONTRACTOR SHALL UPON INITIAL SITE VISIT VERIFY ALL EXISTING CONDITIONS (I.E., OVERALL DIMENSIONS, CONDITION OF CONCRETE SLAB, LOCATION OF SERVICES, STRUCTURE, CLEARANCES, ETC.) AND REPORT ANY DISCREPANCIES, OMISSIONS, OR OBSTRUCTIONS THAT WILL AFFECT THE LAYOUT OR DESIGN OF THE SPACE IMMEDIATELY TO THE OWNER OR OWNER'S PROJECT MANAGER.	14. UNLESS SPECIFICALLY NOTED AS EXISTING, ALL ITEMS ARE NEW.

# GRAPHIC SYMBOLS

	ENLARGED DETAIL REFERENCE NUMBER SHEET NUMBER		CEILING 10'-0"		DATUM POINT LOCATION ELEVATION
	SECTION DETAIL REFERENCE I.D. SHEET NUMBER		A1.3		MATCH LINE SHEET NUMBER REVISION INDICATOR REVISION NUMBER
	ELEVATION REFERENCE I.D. SHEET NUMBER		123		PARTITION INDICATOR PARTITION TYPE SMOKE DETECTOR
	INTERIOR ELEVATION ELEVATION NUMBER SHEET NUMBER REFERENCE I.D.		CD		CARBON MONOXIDE & SMOKE COMBO DETECTOR HEAT DETECTOR
	CEILING HEIGHT KEY HEIGHT MATERIAL TYPE		A		FIRE DOOR SYMBOL 90MIN FIRE RATED DOOR (3HR FIRE WALL)
	EXISTING PARTITION		C		60MIN FIRE RATED DOOR (2HR FIRE WALL)
	DEMOLITION PARTITION				45MIN FIRE RATED DOOR (1HR FIRE WALL)
	NEW PARTITION				
	FIRE RATED PARTITION				
	EXIT SIGN				
	EMERGENCY LIGHT				



**EXISTING FIRST FLOOR PLAN**  
SCALE: 1/4"=1'-0"

1  
A1.1



**JC BT**  
ARCHITECT  
606 WASHINGTON STREET, QUINCY, MA 02169  
ADMIN@JCBTARCHITECT.COM  
TEL: (617) 404-8182

CONSULTANT

REGISTRATION



REVISIONS

NO.	BY	DESCRIPTION	DATE

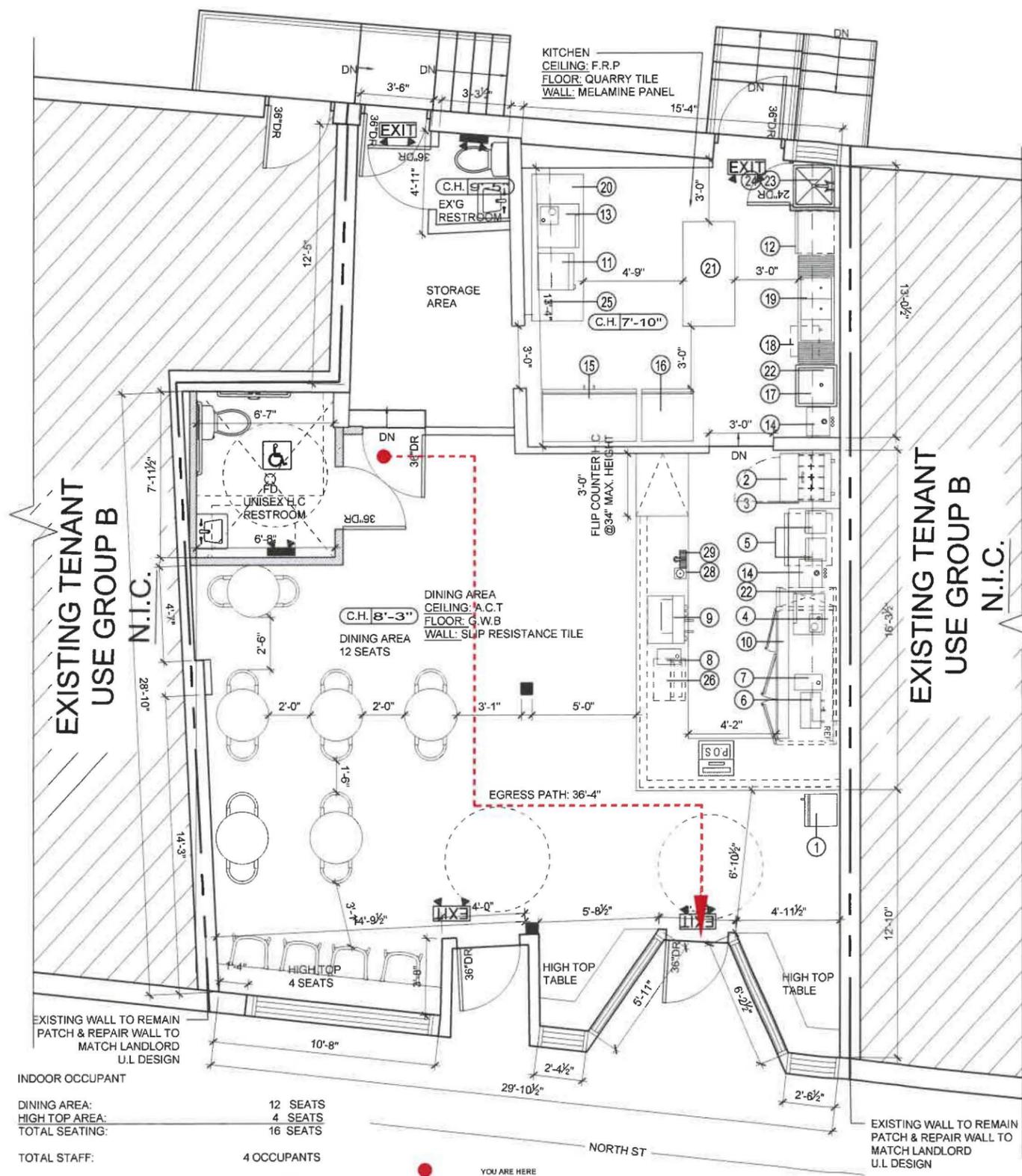
PROJECT

SLOW COFFEE  
INTERIOR RENOVATION  
106 NORTH ST.  
HINGHAM, MA  
PROJECT NO. 25158

SHEET TITLE

EXISTING  
FLOOR PLAN

DRAWN: K.T.	DRAWING NO.
SCALE: NOTED	
DATE: 11/14/2025	
CHECKED:	
SHEET 1 OF	<b>A1.1</b>



INDOOR OCCUPANT

DINING AREA: 12 SEATS  
 HIGH TOP AREA: 4 SEATS  
 TOTAL SEATING: 16 SEATS

TOTAL STAFF: 4 OCCUPANTS  
 TOTAL OCCUPANCY: 20 OCCUPANTS

**PROPOSED FIRST FLOOR PLAN**  
 SCALE: 1/4"=1'-0"

1  
A1.2

ITEM	DESCRIPTION	QTY	REMARK (W"D"H)
1	REACH-IN MERCHANDISER COOLER	1	
2	SALAD UNIT	1	
3	UNDERCOUNTER ICE MACHINE	1	
4	RAPID OVEN	1	
5	COUNTERTOP TOASTER	2	
6	COFFEE BREWER	1	
7	COFFEE GRINDER	1	
8	COFFEE GRINDER	1	
9	ESPRESSO MACHINE	1	
10	UNDERCOUNTER COOLER	1	
11	MICROWAVE	1	
12	UNDERCOUNTER DISHWASHER MACHINE	1	
13	OVEN	1	
14	HAND SINK	2	
15	REACH-IN COOLER	1	
16	REACH-IN FREEZER	1	
17	1-COMPARTMENT SINK	1	
18	GREASE TRAP	1	
19	3-COMPARTMENT SINK W/ DRAINBOARD	1	
20	STAINLESS STEEL WORK TABLE	1	30" X 7'-0" X 34"
21	STAINLESS STEEL WORK TABLE	1	30" X 5'-0" X 34"
22	WALL TOP SHELF	2	13'
23	MOP SINK	1	
24	CHEMICAL SHELF	1	
25	WALL TOP SHELF	1	8'
26	ICE BIN	1	
27	-	-	-
28	GLASS RINSER	1	
29	GLASS FILLER W/ DRIP TRAP	1	



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CONSULTANT

REGISTRATION



REVISIONS

NO.	BY	DESCRIPTION	DATE

PROJECT

SLOW COFFEE  
 INTERIOR RENOVATION  
 106 NORTH ST,  
 HINGHAM, MA  
 PROJECT NO. 25158

SHEET TITLE

PROPOSED  
 FLOOR PLAN

DRAWN: TN  
 SCALE: NOTED  
 DATE: 11/19/2025  
 CHECKED:  
 SHEET OF

DRAWING NO.  
**A1.2**



**Business Plan****Slow Coffee – 106 North Street, Hingham**

- **Business Overview**

Slow Coffee is a small, neighborhood-oriented specialty coffee shop offering handcrafted coffee, tea, and light food items. The business is focused on serving residents, nearby office workers, and walk-in customers in the downtown area. Operations are designed to be low impact, with no late-night hours and no alcohol service.

- **Hours of Operation**

Daily: 6:00 AM – 6:00 PM

- **Products & Services**

Slow Coffee offers:

- Specialty hot and iced coffee drinks, espresso-based beverages, and seasonal drinks
- Tea, matcha, and non-coffee beverages
- Light food items such as bagels, bagel sandwiches, and baked goods

The full menu is attached to the application for reference.

- **Seating & Customer Flow**

The café is designed for short visits and offers take-out service, with limited seating. Customer traffic is expected to be steady but modest, primarily during morning and midday hours. Peak activity is anticipated between 7:00 AM and 11:00 AM.

- **Staffing**

The business will operate with a small staff, typically 1-2 employees per shift.

- **Neighborhood Impact**

- No exterior alterations are proposed
- No outdoor seating or amplified sound
- No alcohol service
- Closing time at 6:00 PM minimizes evening impacts

Slow Coffee is intended to complement the existing downtown commercial environment and contribute to a walkable, daytime-oriented streetscape.

# DRINKS

## SIGNATURE

Tiramisu Iced Latte (Iced)	7
Peanut Butter Iced Latte (Iced)	7
Black Sesame Iced Latte (Iced)	7
White Cap (Iced)	6.5/7
Strawberry Matcha Latte (Iced)	7.25
Pandan Coconut Latte	6
Yuenyeung Latte 鴛鴦	6

## COFFEE

Hot Coffee	3.25
Café au lait (Hot)	4
Iced Coffee	3.75/4.25
Cold Brew	5/5.5

## NON COFFEE

Chai Latte	5.5
Matcha/Hojicha Latte	6
Iced Matcha sour	5.75
Yuzu Soda	6
Hot Chocolate	4.25/5
Hot Tea *see choice	3.25
Shaken Iced Tea *see choice	5.5

### \*Loose leaf tea Choice:

*Ceylon tea (Black)*  
*Jasmine: Yin Hao (Green)*  
*Jade: Nantou (Oolong)*  
*Blood Orange Hibiscus (Herbal)*  
*Lemon Ginger (Herbal)*

## SEASONAL

Sangria Aerocano (Iced)	6
Sangria Americano (Hot)	5.5
Banana Mango Chai Latte	6

## ESPRESSO

Espresso	3.5
Americano	4
Cappuccino/Flat White (Hot)	4.75
Latte	5.25
Mocha	5.75

## ADD ON

Add Espresso Shots (Double)	1.85
Alter. milk (Oat, Almond)	0.75
Syrup	0.5

- Apple Butter (Seasonal)
- Almond Cardamom (Seasonal)
- House made Vanilla
- House made Pandan
- Caramel
- Hazelnut
- Salted Caramel Sauce
- Dark Chocolate Sauce
- Maple Syrup
- Honey

**Before placing your order, please inform server if a person in your party has a food Allergy.**

\*All menu items are subject to change according to seasonality and availability.

# FOOD

## Bagel 2.5

Plain cream cheese (On side) + 1.25

House made blueberry cream cheese (On side) + 1.75

## Bagel Sandwich (Spicy or Non-Spicy) 7

### Ham & Cheese

*ham, havarti cheese, butter, black pepper, parsley*

### Double Cheese Bacon

*fresh mozzarella cheese, havarti cheese, bacon, butter, black pepper, parsley*

### Caprese

*pesto, fresh mozzarella, sun-dried tomato, black pepper, parsley, balsamic glaze*

## Cookie 3.25

**Before placing your order, please inform server if a person in your party has a food Allergy.**

\*All menu items are subject to change according to seasonality and availability.