

CODE SUMMARY

| APPLICABLE CODES | | | | |
|---|-----------------------|---|---------------------------------|--|
| BUILDING CODE | : | INTERNATIONAL BUILDING CODE, ED. 2021; INTERNATIONAL EXISTING BUILDING CODE, ED. 2021 & MA AMENDMENT CMR 780 10TH EDITION | | |
| ACCESSIBILITY CODE | : | 521 CMR | | |
| PLUMBING CODE | : | 248 CMR 10.00: UNIFORM STATE PLUMBING CODE | | |
| MECHANICAL CODE | : | INTERNATIONAL MECHANICAL CODE, ED. 2021 | | |
| ELECTRICAL CODE | : | NATIONAL ELECTRICAL CODE, ED. 2023 | | |
| FIRE PROTECTION | : | NFPA1, ED. 2021; & 527 CMR 1.00 MASSACHUSETTS COMPREHENSIVE FIRE CODE | | |
| ENERGY | : | INTERNATIONAL ENERGY CONSERVATION CODE, ED. 2021 & MA STRETCH CODE 2023 | | |
| PROJECT NARRATIVE | | | | |
| THIS PROJECT IS AN EXISTING RETAIL TENANT "FIT UP" FOR A COFFEE SHOP AT AN EXISTING BUILDING. THE SCOPE OF WORK INCLUDES INTERIOR CONSTRUCTION, STOREFRONT AND LIMITED FACADE CONSTRUCTION PLUS NEW SIGNAGE AT THE BUILDING EXTERIOR. THE PROPOSED SCOPE OF WORK DOES NOT AFFECT THE HEIGHT OF THE EXISTING BUILDING. | | | | |
| DESCRIPTION | CODE REFERENCE | REQUIREMENT | EXISTING | PROPOSED |
| GENERAL | | | | |
| USE GROUP | : 302 | : B | : B | : B (LESS THAN 50 OCCUPANTS) |
| CONSTRUCTION TYPE | : TABLE 601 | : 3B | : 3B | : 3B |
| NO. OF STORIES (BUILDING) | : TABLE 504.4 | : 1 STORY | : 1 STORY | : 1 STORY |
| HIGH RISE? | : 403.1 | : NO | : NO | : NO |
| COVERED MALL | : 402.0 | : NO | : NO | : NO |
| SPRINKLERED | : 903. | : NO | : NO | : NO |
| MANUAL FIRE ALARM SYSTEM | : 907.2.2 | : NO | : NO | : NO |
| AUTOMATIC FIRE ALARM SYSTEM | : PER MECHANICAL CODE | : NO | : NO | : NO |
| SEPARATIONS | | | | |
| TENANT SEPARATION | : TABLE 508.4 | : N/A | : N/A | : N/A |
| FINISH CLASSIFICATION | : TABLE 803.13 | : ROOM WALLS CLASS C ROOM CEILINGS CLASS B EXIT CORRIDORS CLASS C | : CLASS C CLASS B CLASS C | : CLASS C CLASS B CLASS C |
| OCCUPANT LOAD | | | | |
| GROSS FLOOR AREA | : | : | : 1,245 sq.ft. | : 1,245 sq.ft. |
| FLOOR AREA ALLOWANCE | : 1004.5 | : KITCHEN - 200 SF DINING AREA - 15 SF | : | : 874 sq.ft. / 200 = 4 371 sq.ft. / 15 = 16 |
| TOTAL OCCUPANT LOAD | : | : | : | : 20 |
| EGRESS | | | | |
| REQUIRED NUMBER OF EXITS | : TABLE 1006.2.1 | : 1 | : 1 | : 1 |
| MIN. EXIT SEPARATION | : 1007.1.1 | : N/A | : N/A | : N/A |
| MAXIMUM EGRESS PATH | : TABLE 1006.2.1 | : 100 FEET | : 36'-4" | : 36'-4" |
| EGRESS WIDTH (SERVING 50) > | : 1020.3 | : 44 INCHES | : 44" | : 44" |
| EGRESS WIDTH (SERVING =50) < | : 1020.3 | : 36 INCHES | : 36" | : 36" |
| PLUMBING FACILITIES | | | | |
| WATER CLOSETS | : TABLE 10.10.1 | : 1/25 FEMALE; 1/50 MALE | : 1 UNISEX | : 2 UNISEX |
| LAVATORY | : TABLE 10.10.1 | : 1/50 PER SEX | : 1 UNISEX | : 2 UNISEX |
| DRINKING FOUNTAIN | : TABLE 10.10.1 | : N/A | : N/A | : N/A |
| UTILITY SINK | : TABLE 10.10.1 | : 1 | : 1 | : 1 |

DOCUMENT LIST

| | | | |
|------|------------------------------|-------|---|
| A0.1 | TITLE SHEET | SHEET | 1 |
| A1.1 | EXISTING FLOOR PLAN | SHEET | 2 |
| A1.2 | PROPOSED FLOOR PLAN | SHEET | 3 |
| A2.1 | PROPOSED RESTROOM ELEVATIONS | SHEET | 4 |

JCBT
 ARCHITECT
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 ADMIN@JCBTARCHITECT.COM
 TEL: (617) 404-8182

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PROJECT

SLOW COFFEE
 INTERIOR RENOVATION
 106 NORTH ST,
 HINGHAM, MA
 PROJECT NO. 25158

SHEET TITLE

TITLE SHEET

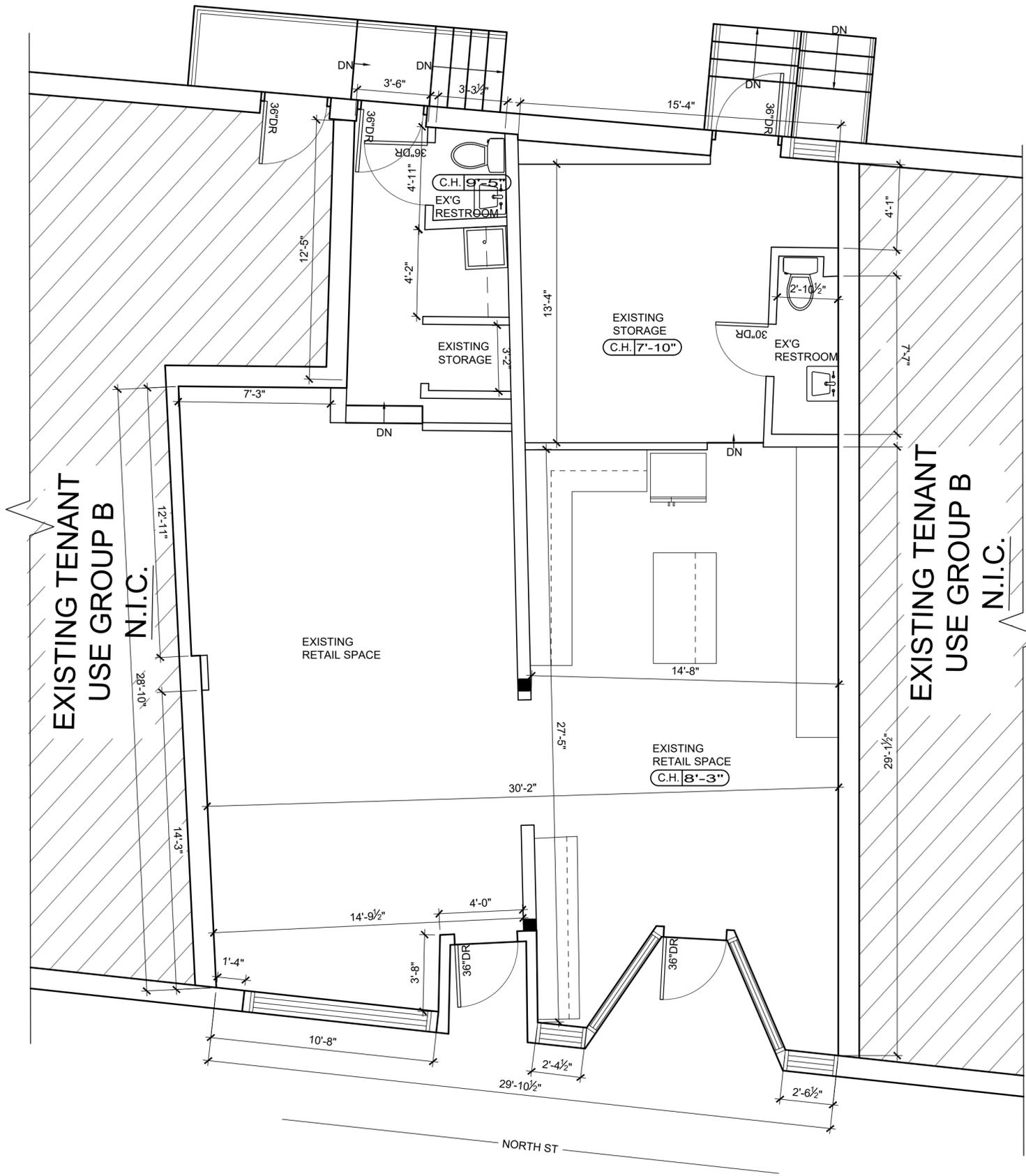
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| DATE: 11/19/2025 | |
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GENERAL NOTES

- GENERAL NOTES:**
- ALL WORK SHALL COMPLY WITH THE INTERNATIONAL BUILDING CODE AND COMMONWEALTH OF MASSACHUSETTS STATE BUILDING CODE, THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH STANDARDS AND ALL OTHER APPLICABLE REGULATIONS, LAWS, ORDINANCES, ETC. GOVERNING THIS WORK.
 - PRIOR TO BUILDING, ALL CONTRACTORS MUST THOROUGHLY EXAMINE THE DRAWINGS AND SPECIFICATIONS AND INSPECT THE BUILDING TO FULLY UNDERSTAND THE FACILITY, DIFFICULTIES AND RESTRICTIONS AFFECTING THE EXECUTION OF THE WORK UNDER THIS CONTRACT. THE FAILURE OF ANY CONTRACTORS TO RECEIVE OR EXAMINE ANY FORM OF INSTRUMENT OR DOCUMENT OR TO VISIT THE SITE SHALL IN NO WAY RELIEVE ANY OBLIGATION WITH RESPECT TO THIS WORK. NO CLAIMS FOR ANY ADDITIONAL COST WILL BE ALLOWED DUE TO LACK OF FULL KNOWLEDGE OF EXISTING CONDITIONS.
 - CONTRACTOR'S BID PRICE SHALL REFLECT ALL SPECIFIED WORK.
 - INFORMATION ON THESE PLANS ARE SCHEMATIC. INDIVIDUAL ROOF MANUFACTURES HAVE DIFFERENT DETAILS AND THESE MAY VARY DEPENDING ON WHICH MANUFACTURING SYSTEM IS SELECTED. CONTRACTOR SHOULD VISIT SITE TO ENSURE THAT HE IS FAMILIAR WITH THE PROJECT REQUIREMENT TO DO A COMPLETE ATTENTION SHOULD BE MADE AT THE MECHANICAL EQUIPMENT WITH RESPECT TO DISCONNECTION, MOVING, ROOF INSTALLATION AND RE-INSTALLING.
 - ALL EXISTING CONDITIONS AND PLAN AND DETAIL DIMENSIONS SHOULD BE VERIFIED IN THE FIELD PRIOR TO COMMENCING THE WORK. THE CONTRACTOR SHALL NOTIFY THE CONTRACTING OFFICER OF ANY DISCREPANCIES FOUND IN THE PLANS OR SPECIFICATIONS BEFORE PROCEEDING WITH AFFECTED PART OF THE WORK.
 - THE GENERAL CONTRACTOR MUST RECONFIRM THE DIMENSIONS OF THE DEMISING PARTITIONS AND COLUMN LOCATIONS.
 - THE GENERAL CONTRACTOR SHALL UPON INITIAL SITE VISIT VERIFY ALL EXISTING CONDITIONS (I.E., OVERALL DIMENSIONS, CONDITION OF CONCRETE SLAB, LOCATION OF SERVICES, STRUCTURE, CLEARANCES, ETC.) AND REPORT ANY DISCREPANCIES, OMISSIONS, OR OBSTRUCTIONS THAT WILL AFFECT THE LAYOUT OR DESIGN OF THE SPACE IMMEDIATELY TO THE OWNER OR OWNER'S PROJECT MANAGER.
 - CONTRACTOR SHALL LAY OUT PARTITION LINES ON FLOOR AT BEGINNING OF JOB AND NOTIFY ARCHITECT OF ANY OMISSIONS OR DISCREPANCIES IN THE CONTRACT DOCUMENTS IMMEDIATELY.
 - G.C. TO PATCH AND REPAIR EXISTING WALLS AFFECTED BY DEMOLITION OR NEW CONSTRUCTION WITH LIKE CONSTRUCTION MATERIALS TO MATCH EXISTING.
 - THE CONTRACTOR SHALL TAKE ADEQUATE PRECAUTION TO PROTECT ADJOINING PROPERTY AND STRUCTURES FROM DAMAGE. ALL ABUTTING WORK SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO EXTRA COST TO THE OWNER.
 - IT IS NOT INTENDED THAT THESE DRAWINGS SHOW EVERY CUT, CONDITION ETC., OF THIS SYSTEM. HOWEVER, THE CONTRACTOR SHALL FURNISH A COMPLETE PRODUCT IN ACCORDANCE WITH THE BEST PRACTICE OF THE TRADE AND IN STRICT CONFORMANCE WITH ALL APPLICABLE INTERNATIONAL CODE AND STATE BUILDING CODE REGULATIONS.
 - CONTRACTOR SHALL ADHERE TO A SCHEDULE FOR ALL WORK WHICH DOES NOT INTERFERE WITH NORMAL OPERATIONS OF THE FACILITY.
 - DO NOT PUT DISSIMILAR METALS IN CONTACT WITH EACH OTHER.
 - UNLESS SPECIFICALLY NOTED AS EXISTING, ALL ITEMS ARE NEW.

GRAPHIC SYMBOLS

| | | | | | |
|--|--|--|-------------------|--|--|
| | ENLARGED DETAIL REFERENCE NUMBER SHEET NUMBER | | CEILING 10'-0" | | DATUM POINT LOCATION ELEVATION |
| | SECTION DETAIL REFERENCE I.D. SHEET NUMBER | | A1.3 | | MATCH LINE SHEET NUMBER REVISION INDICATOR REVISION NUMBER |
| | ELEVATION REFERENCE I.D. SHEET NUMBER | | 123 | | PARTITION INDICATOR PARTITION TYPE SMOKE DETECTOR |
| | INTERIOR ELEVATION ELEVATION NUMBER SHEET NUMBER REFERENCE I.D. | | CD | | CARBON MONOXIDE & SMOKE COMBO DETECTOR HEAT DETECTOR |
| | CEILING HEIGHT KEY HEIGHT MATERIAL TYPE | | A | | FIRE DOOR SYMBOL 90MIN FIRE RATED DOOR (3HR FIRE WALL) FIRE DOOR SYMBOL 60MIN FIRE RATED DOOR (2HR FIRE WALL) FIRE DOOR SYMBOL 45MIN FIRE RATED DOOR (1HR FIRE WALL) |
| | EXISTING PARTITION | | EXIT | | EXIT SIGN EMERGENCY LIGHT |
| | DEMOLITION PARTITION | | | | |
| | NEW PARTITION | | | | |
| | FIRE RATED PARTITION | | | | |



EXISTING FIRST FLOOR PLAN
 SCALE: 1/4"=1'-0"

1
A1.1



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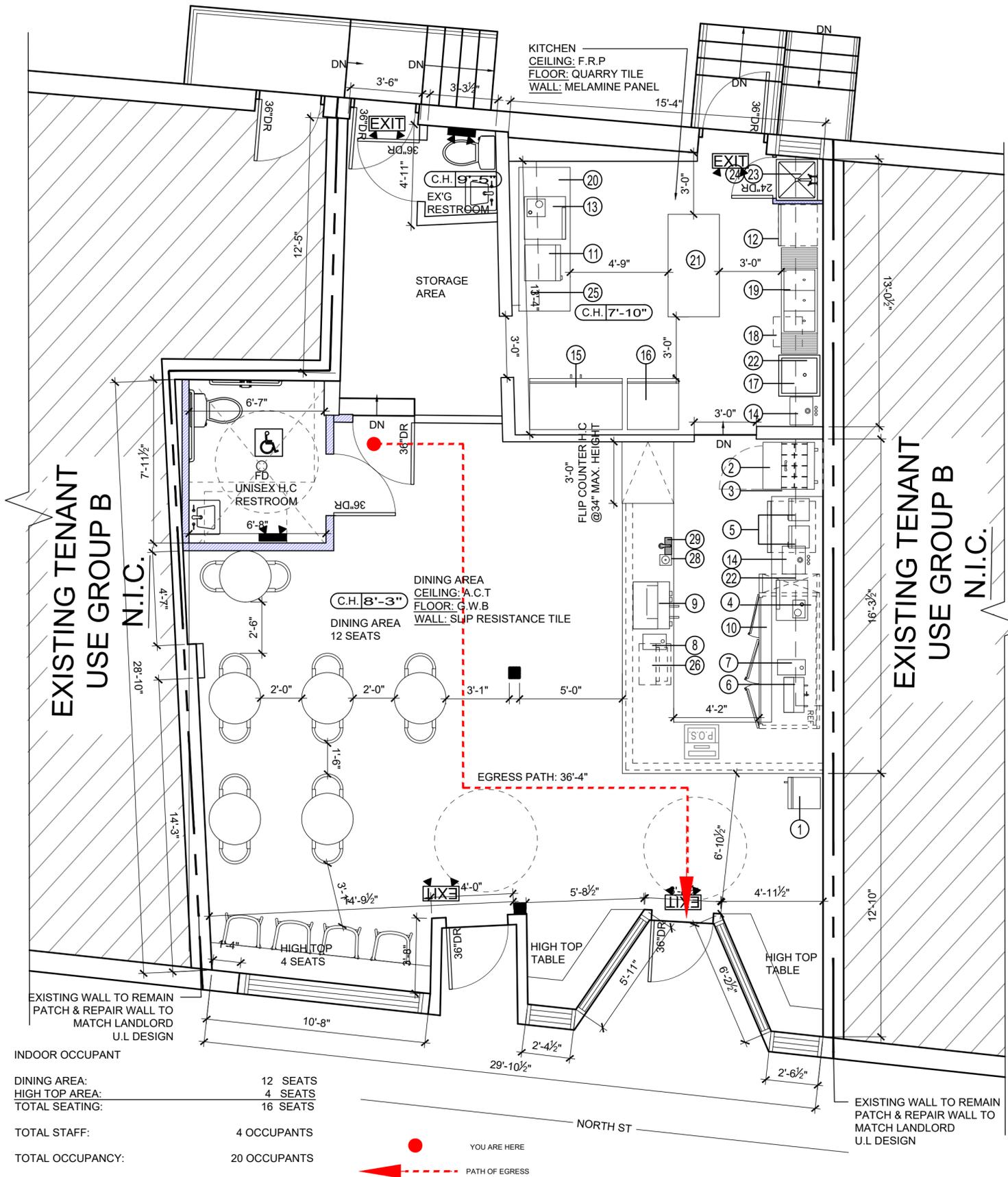
PROJECT

SLOW COFFEE
 INTERIOR RENOVATION
 106 NORTH ST,
 HINGHAM, MA
 PROJECT NO. 25158

SHEET TITLE

EXISTING
 FLOOR PLAN

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| DRAWN: K.T. | DRAWING NO: |
| SCALE: NOTED | A1.1 |
| DATE: 11/14/2025 | |
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| ITEM | DESCRIPTION | QTY | REMARK (W*D*H) |
|------|----------------------------------|-----|-------------------|
| 1 | REACH-IN MERCHANDISER COOLER | 1 | |
| 2 | SALAD UNIT | 1 | |
| 3 | UNDERCOUNTER ICE MACHINE | 1 | |
| 4 | RAPID OVEN | 1 | |
| 5 | COUNTERTOP TOASTER | 2 | |
| 6 | COFFEE BREWER | 1 | |
| 7 | COFFEE GRINDER | 1 | |
| 8 | COFFEE GRINDER | 1 | |
| 9 | ESPRESSO MACHINE | 1 | |
| 10 | UNDERCOUNTER COOLER | 1 | |
| 11 | MICROWAVE | 1 | |
| 12 | UNDERCOUNTER DISHWASHER MACHINE | 1 | |
| 13 | OVEN | 1 | |
| 14 | HAND SINK | 2 | |
| 15 | REACH-IN COOLER | 1 | |
| 16 | REACH-IN FREEZER | 1 | |
| 17 | 1-COMPARTMENT SINK | 1 | |
| 18 | GREASE TRAP | 1 | |
| 19 | 3-COMPARTMENT SINK W/ DRAINBOARD | 1 | |
| 20 | STAINLESS STEEL WORK TABLE | 1 | 30" X 7'-0" X 34" |
| 21 | STAINLESS STEEL WORK TABLE | 1 | 30" X 5'-0" X 34" |
| 22 | WALL TOP SHELF | 2 | 13' |
| 23 | MOP SINK | 1 | |
| 24 | CHEMICAL SHELF | 1 | |
| 25 | WALL TOP SHELF | 1 | 8' |
| 26 | ICE BIN | 1 | |
| 27 | - | - | - |
| 28 | GLASS RINSER | 1 | |
| 29 | GLASS FILLER W/ DRIP TRAP | 1 | |

INDOOR OCCUPANT

DINING AREA: 12 SEATS
HIGH TOP AREA: 4 SEATS
TOTAL SEATING: 16 SEATS

TOTAL STAFF: 4 OCCUPANTS
TOTAL OCCUPANCY: 20 OCCUPANTS

PROPOSED FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

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PROJECT

SLOW COFFEE
INTERIOR RENOVATION

106 NORTH ST,
HINGHAM, MA

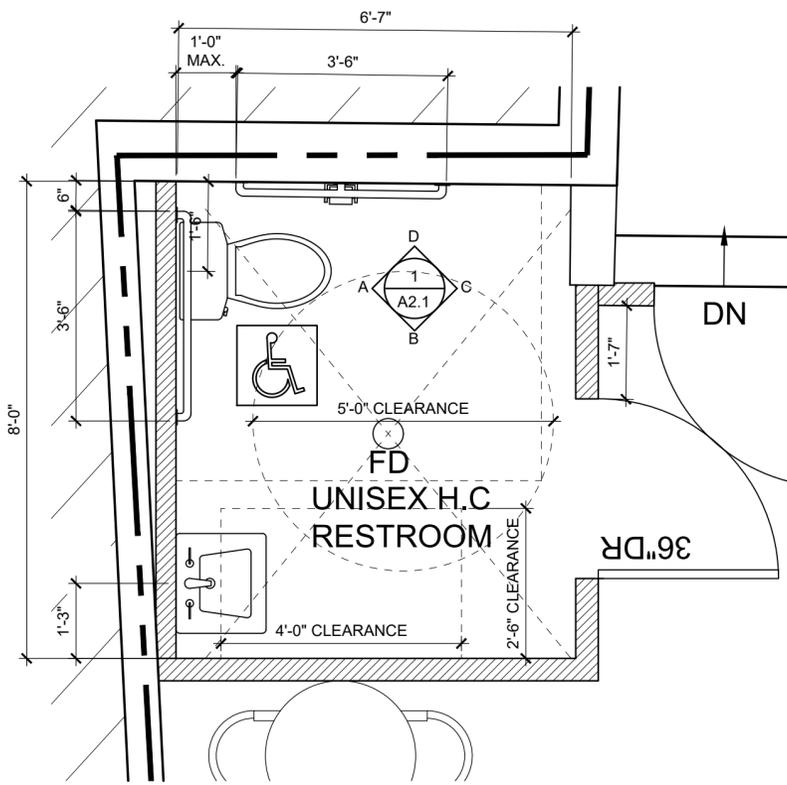
PROJECT NO. 25158

SHEET TITLE

PROPOSED
FLOOR PLAN

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| DATE: 11/19/2025 | |
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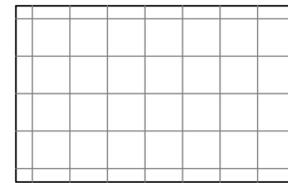


ENLARGED RESTROOM

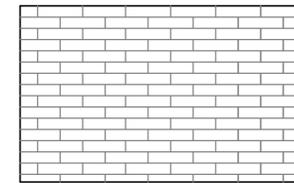
SCALE: 1/2"=1'-0"

TOILET ACCESSORIES:

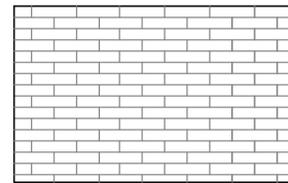
- LIGHT FIXTURE
- FAUCET
- SINK
- TOILET PAPER DISPENSER
- SANITARY NAPKIN DISPOSAL
- GRAB BARS
- MIRROR
- PAPER TOWEL HOLDER
- PIPE INSULATION



FLOOR
SLIP RESISTANT TILE

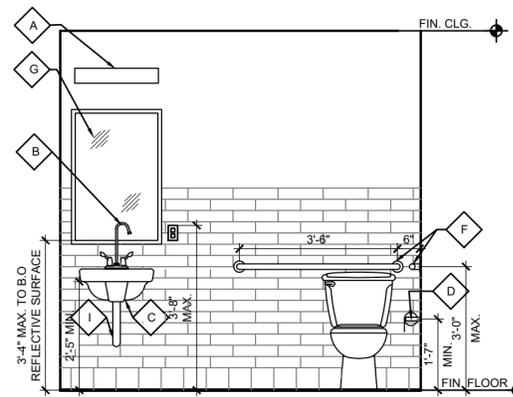


(WT-1) ISOLA CAPRI
POLISHED CERAMIC TILE
(3X12)



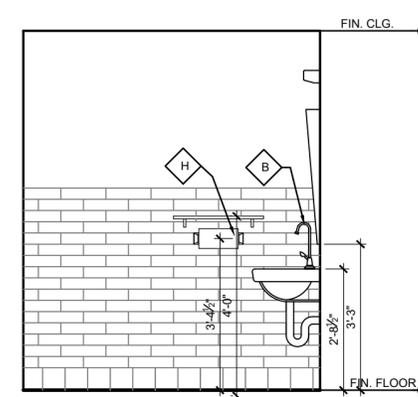
(WT-2) MERINGUE II
POLISHED CERAMIC TILE
(3X12)

UNISEX HANDICAP RESTROOM



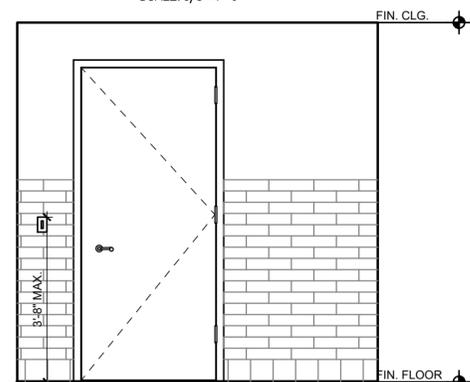
ELEVATION - A

SCALE: 3/8"=1'-0"



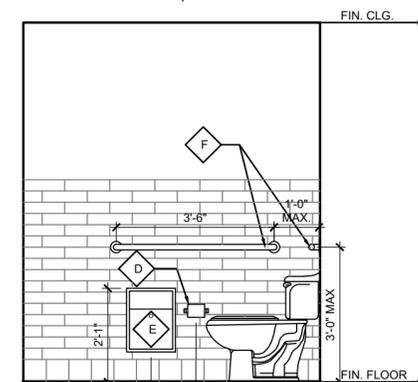
ELEVATION - B

SCALE: 3/8"=1'-0"



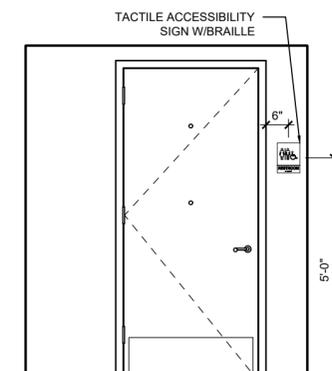
ELEVATION - C

SCALE: 3/8"=1'-0"



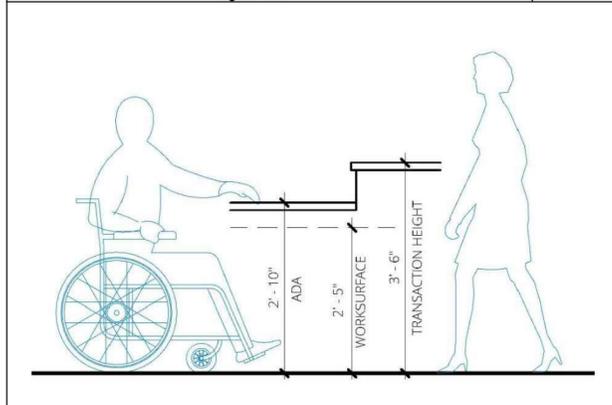
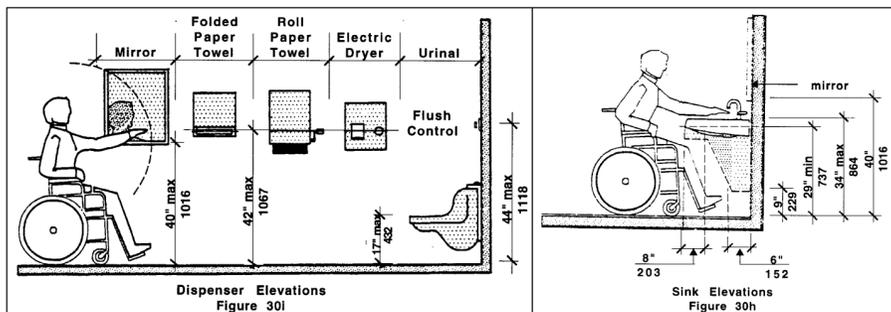
ELEVATION - D

SCALE: 3/8"=1'-0"



ELEVATION - E

SCALE: 1/2"=1'-0"



ADA- SERVICE COUNTER DETAIL

SCALE: N.T.S

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PROJECT

SLOW COFFEE
INTERIOR RENOVATION

106 NORTH ST,
HINGHAM, MA

PROJECT NO. 25158

SHEET TITLE

PROPOSED
RESTROOM
ELEVATIONS

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| DRAWN: TN | DRAWING NO: |
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| DATE: 12/11/2025 | |
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