

TOWN OF HINGHAM

Board of Appeals

210 Central Street, Hingham, MA 02043-2758 • Telephone (781) 741-1494 • Fax (781) 740-0239
 • ZBA@hingham-ma.gov •



RECEIVED

FEB 09 2026

TOWN CLERK
Hingham, MA

**ZONING APPLICATION
CHECKLIST**

**FORM 1
INSTRUCTIONS**

PROPERTY ADDRESS: 33 Lafayette Avenue

OWNER: Erik Vos

If you need assistance with your application, please contact the Zoning Department at least one week prior to the filing deadline.

Per [Zoning Board of Appeals Rules and Regulations](#):

- The Zoning Department Staff will review all applications to determine their completeness.
- Incomplete filings will not be accepted for processing and scheduling.
- Complete applications include:
 - Filing fee; see filing fees chart, below;
 - Form 1 Required Documents; see checklist, below;
 - Application copies:
 - One (1) complete set of documents to be filed with the Town Clerk
 - Four (4) complete set of documents to be filed with the Board of Appeals
 - Digital copy of all application materials emailed to ZBA@hingham-ma.gov

	<i>number of copies specified below</i>	
	Required	Submitted
This Checklist (Form 1)	1	1
Application for Hearing (Form 2)	5	5
<i>provide one of the following forms:</i>		
Supporting Statements – Requested Findings	5	5
<input type="checkbox"/> Administrative Appeal (Form 2A)		
<input type="checkbox"/> Variance / Variance Modification (Form 2B)		
<input checked="" type="checkbox"/> Special Permit A1 / Special Permit A1 Modification (Form 2C)		
<input type="checkbox"/> Special Permit A2 / Special Permit A2 Modification (Form 2D)		
<i>provide one of the following:</i>		
Evidence of Standing to Seek Relief	5	5
<input type="checkbox"/> Deed or Certificate of Title		
<input type="checkbox"/> Signed Option to Purchase		
<input type="checkbox"/> Lease with Property Owner's Authorization Letter		

TOWN OF HINGHAM

Board of Appeals



Required

Submitted

All plans must be stamped by a registered professional.

Provide all of the following:

Plan(s) of Propose Project

1. **Plot Plan:** Plan shall show scale, north arrow, lot dimensions and area, existing building and structures. Include topography, floodplain, wetlands, and other features as relevant - 2' x 3' format.

5

5

2. **Site Plan:** shall show scale, north arrow, dimensioned location of all improvements, including floor area, and elevations. Include, if applicable, physical features, off-street parking plan, landscape plan, grading, drainage, and lighting plans, Zoning Chart showing the Required, Existing and Proposed Area Regulations - 2' x 3' format.

5

5

3. **Architectural plans and elevations:** shall include sufficient detail to demonstrate dimensions of buildings/structures, square footage, materials, and other details - One (1) 2' x 3' format; five (5) 11" x 17" format, to scale.

5

5

Provide copies, when applicable:

Prior Zoning Relief

Has an application for relief from the Zoning By-Laws ever been filed for this parcel?

Yes

No

If yes provide five (5) copies for each of the following:

Explanation(s) and date(s) of relief(s)

5

Prior Zoning decision(s) rendered.

5

Provide copies, when applicable:

Other Application Information

Drainage report, if applicable.

5

Traffic report, if applicable.

5

Letter(s) of support; optional.

1

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APPLICATION FILING FEES

Residential Variance \$300.00

Commercial Variance \$300.00 for the first 2000 ft²/
\$100.00 for each additional 1,000 ft² or portion thereof

Special Permits \$300.00 for the first 2000 ft²/
\$100.00 for each additional 1,000 ft² or portion thereof

Applications requiring multiple permits... 100% of highest fee required by Board of Appeals
in addition each additional permit 50% of required fee

Special Permit(s) and/or Variances(s) – Signs \$300.00

Comprehensive Permit \$250.00 per units, in addition the Applicant pays
cost of postage associated with abutter notifications
and cost of newspaper legal notice(s)

All Other Applications \$400.00

TOWN OF HINGHAM
Board of Appeals

210 Central Street, Hingham, MA 02043-2759 • Telephone (781) 741-1494 • Fax (781) 740-6170
• ZBA@hingham-ma.gov •



APPLICATION FOR ZONING HEARING

FORM 2

Application date: 02/03/26

The undersigned hereby petitions the Board of Appeals for the following:

- Appeal Variance Special Permit A1
 Special Permit A2 Variance Modification Special Permit Modification

Subject Property: 33 LaFayette Ave Zoning District: _____

Applicant's Name: Michael Bond, GDM Carpentry Address: 77 Beal St, Hingham

Email: gdmcarpentry@outlook.com Phone: (617) 851-3958

Record title to the subject property stands in the name(s):

Eric & Rosemary Vos

Address of owner of record: 33 LaFayette Ave

Title reference:

- (Unregistered land) Plymouth County Registry of Deeds, Book 56631, Page 341
 (Registered land) Land Court Certificate of Title No. _____, Book _____, Page _____

The undersigned is:

- Owner of subject property Holder of written option to purchase property
 Holder of valid lease to subject property

Written authorization from property owner must be submitted with application documents.

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Board of Appeals



State briefly what is currently on the premises

Single family home with a detached garage

Brief description of work:

The garage sits approximately 10' from the house. We would like to connect the house to the garage to increase the size of the kitchen.

Signed as a statement of fact under the pains and penalties of perjury,
this 3 day of February, in the year 2026

APPLICANTS' NAME: Michael Bond

SIGNATURE: _____

(Applicant/Owner)

ADDRESS: 77 Beal St, Hingham

PHONE: (617) 851-3958

CELL: _____

EMAIL: gdmcarpentry@outlook.com

CHECK ALL THAT APPLY



PROPERTY OWNER



APPLICANT

TOWN OF HINGHAM
Board of Appeals



If you are represented by an agent, please provide information below:

AGENT'S NAME: CME Architects, Craig Mitchell
AGENT'S SIGNATURE: _____
(Agent)
ADDRESS: 6 Wilkins Dr, Plainville
PHONE: (508) 809-3509
CELL: _____
EMAIL: cmitchell@cmearchitects.com

CHECK ALL THAT APPLY



OWNER'S AGENT

APPLICANT'S AGENT

Please attach additional sheets if space provided is insufficient.

Applicants requesting an **Appeal** must also complete **Form 2A**
Applicants requesting a **Variance** or **Variance Modification** must also complete **Form 2B**
Applicants requesting a **Special Permit A1** or **Special Permit A1 Modification** must also complete **Form 2C**
Applicants requesting a **Special Permit A2** or **Special Permit A2 Modification** must also complete **Form 2D**

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TOWN OF HINGHAM
Board of Appeals



210 Central Street, Hingham, MA 02043-2758 • Telephone (781) 741-1494 • Fax (781) 740-0239
• ZBA@hingham-ma.gov •

**SUPPORTING STATEMENT –
REQUESTED FINDINGS**

**FORM 2C
SPECIAL PERMIT A1**

Applicant Michael Bond seeks

a Special Permit A1 under Section(s) _____

of the Zoning By-Law for property located at 33 Lafayette Ave

and asks the Board of Appeals to make the following findings of fact in accordance with the provisions of the law:

1. The proposed use will be in harmony with the general purpose and intent of the Zoning By-Law, for the following reasons:

The proposed structure is simply an extension of the existing kitchen, mudroom and half bath of the single family home. the addition is intended to increase the functionality of the living space for the owner's growing family.

2. The proposed use complies with the purposes and standards of the relevant specific sections of the Zoning By-Law, for the following reasons:

The proposed structure complies to all zoning setbacks and height requirements.

TOWN OF HINGHAM
Board of Appeals



3. The specific site is an appropriate location for such use, structure, or condition, compatible with the characteristics of the surrounding area, for the following reasons:

The proposed structure fills in the space between the existing house and detached garage and is in keeping with the existing aesthetic of the property and surrounding neighborhood.

4. The use as developed and operated will create positive impacts or the potential adverse impacts will be mitigated, for the following reasons:

The proposed layout will increase the functionality and livable space for the homeowners and their family.

5. There will be no nuisance or serious hazard to vehicles or pedestrians, for the following reasons:

The proposed structure will not affect vehicles or pedestrians.

6. Adequate and appropriate facilities exist or will be provided for the proper operation of the proposed use, for the following reasons:

All framing, electrical, plumbing and hvac will be installed to comply with current state and local codes.

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Board of Appeals



7. The proposal meets accepted design standards and criteria for the functional design of facilities, structures, stormwater management, and site construction, for the following reasons:

The proposed structure is designed and will be constructed to meet all state and local codes and have minimal impact on the impervious surfaces on the site.

The rights authorized by a Special Permit expire three years from the date the decision is filed with the Town Clerk, unless exercised or extended in accordance with the terms of M.G.L. 40A, § 9.

Signed as a statement of fact under the pains and penalties of perjury,
this 5th day of February, in the year 2026.

APPLICANTS' NAME: Michael Bond, GDM Carpentry

SIGNATURE: _____
(Applicant/Owner)

ADDRESS: 77 Beal Street, Hingham, MA

PHONE: (617) 851-3958

CELL: _____

EMAIL: MLB CONSTRUCTION 1@GMAIL.COM

CHECK ALL THAT APPLY

<input type="checkbox"/>	PROPERTY OWNER
<input checked="" type="checkbox"/>	APPLICANT

If you are represented by an agent, please provide information below:

AGENT'S NAME: Craig Mitchell

AGENT'S SIGNATURE: _____
(Agent)

ADDRESS: 6 Wilkins Drive, suite 210, Plainville, MA

PHONE: (508) 809-3509

CELL: _____

EMAIL: cmitchell@cmearchitects.com

CHECK ALL THAT APPLY

<input checked="" type="checkbox"/>	OWNER'S AGENT
<input type="checkbox"/>	APPLICANT'S AGENT

Please attach additional sheets if space provided is insufficient.

RECEIVED

FEB 09 2026

Town Clerk
Hingham, MA

*** Electronic Recording ***

Doc#: 00027809

Bk: 56631 Pg: 341 Page: 1 of 3

Recorded: 03/31/2022 02:02 PM

ATTEST: John R. Buckley, Jr. Register

Plymouth County Registry of Deeds

MASSACHUSETTS EXCISE TAX

Plymouth District ROD #11 001

Date: 03/31/2022 02:02 PM

Ctrl# 155436 27991

Fee: \$6,589.20 Cons: \$1,445,000.00

Quitclaim Deed

We, John F. Morrissey and Kathryn G. Morrissey, married to each other, of Hingham, MA, in full consideration paid of One Million Four Hundred Forty-Five Thousand and 00/100 (\$1,445,000.00) Dollars **GRANT TO** Erik P. Vos and Rosemary M. Vos, husband and wife, as tenants by the entirety, now of 33 Lafayette Avenue, Hingham, MA 02043,

With ***QUITCLAIM COVENANTS***

The land with the buildings thereon situated on the westerly side of Lafayette Avenue and a private way known as Bates Way, bounded and described as follows:

- EASTERLY by said Bates Way and Lafayette Avenue, ninety (90) feet;
- SOUTHERLY by the northerly line of Lantern Lane, ninety (90) feet;
- WESTERLY by land now or formerly of Bouve, by a line parallel with the westerly lines of said Bates Way and Lafayette Avenue, ninety (90) feet; and
- NORTHERLY by the same, by a line parallel with the southerly line of the premises hereby conveyed, ninety (90) feet.

Containing 8,100 square feet of land, more or less, according to said plan.

Being the premises marked "Sprague" on a plan entitled "Plan of Land in Hingham, Mass. belonging to Carolyn L. Bouve" dated July, 1930, by George F. Maynard, C.E., recorded with Plymouth Deeds in Plan Book 5, Page 168, and the premises marked "Seth Sprague" on a plan entitled "Plan of Land in Hingham, Mass., Surveyed for Wallace R. Marden" dated April 13, 1940, by Lewis W. Perkins, Eng'r., recorded with said Deeds in Plan Book 6, Page 257.

Said premises are conveyed subject to and with the benefit of restrictions and easements of record, if any there be, insofar as the same are now in force and applicable.

Property Address: 33 Lafayette Avenue, Hingham, MA 02043

Grantors named herein do hereby voluntarily release all rights of homestead, if any, whether created by Declaration of Homestead or by operation of law, as set forth in M.G.L. Chapter 188, and state under the pains and penalties of perjury that there is no other person entitled to such rights. However, Grantors DO NOT waive any Homestead rights pursuant to G.L.c. 188 section 11 relating to the protection of any and all proceeds, if any.

Meaning to convey and hereby conveying the same premises conveyed to Grantors by Deed dated January 31, 1996 and recorded with the Plymouth County Registry of Deeds in Book 14164, Page 122.

[SIGNATURE PAGE FOLLOWS]

Witness our hands and seals this 18 day of March, 2022.



John F. Morrissey



Kathryn G. Morrissey

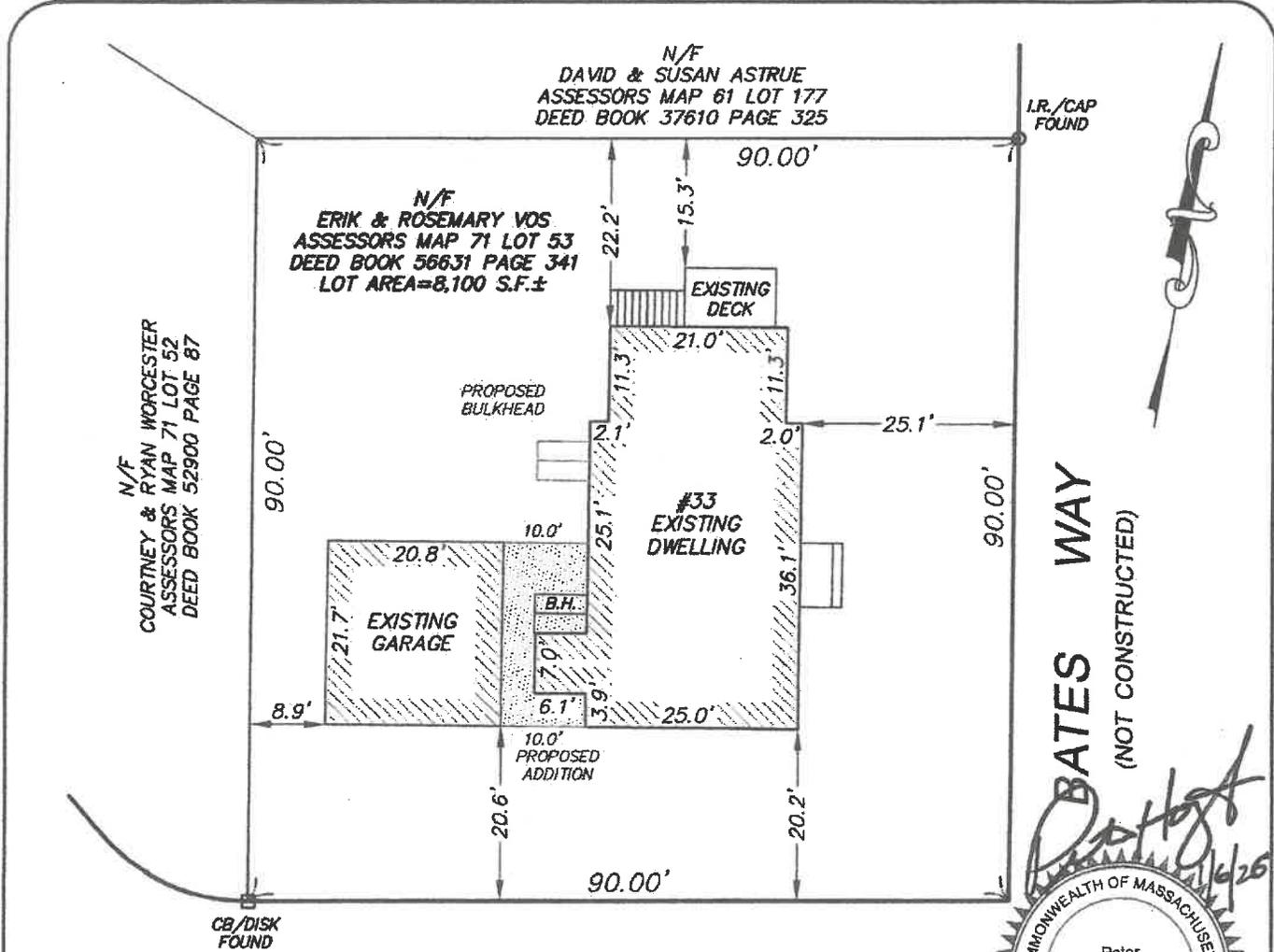
COMMONWEALTH OF MASSACHUSETTS

County of Plymouth

On this 18 day of March, 2022, before me, the undersigned notary public personally appeared the above named John F. Morrissey and Kathryn G. Morrissey, proved to me through satisfactory evidence of identification which were MDL, to be the persons whose names are affixed to the preceding or attached document, and acknowledged to me that they signed it voluntarily in the capacity so stated and for its stated purpose, and who made oath that their statements were true.

Notary Public
My Commission Expires:





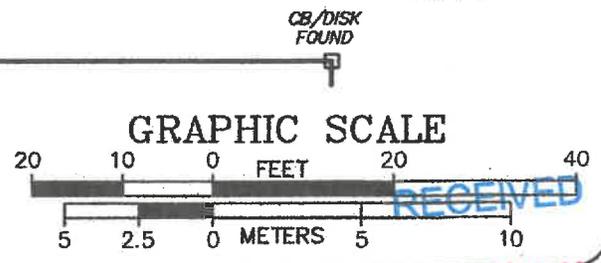
LAFAYETTE AVENUE



BATES WAY
(NOT CONSTRUCTED)

Peter Hoyt
2/6/25

DIMENSIONAL REQUIREMENTS	
ZONING DISTRICT: RESIDENCE A	
SECTION VI, TABLE II	REQUIRED
AREA	20,000 S.F.
FRONTAGE	125 FEET
MAX. HEIGHT	2.5 STORIES / 35 FEET
FRONT SETBACK	25 FEET
SIDE SETBACK	15 FEET
REAR SETBACK	15 FEET



PLOT PLAN

FEB 09 2026

LOWELL CLERK
Hingham, MA

1

Project Name 33 LAFAYETTE AVENUE HINGHAM, MA	Prepared for ERIK & ROSEMARY VOS	Fig. No. 1
HOYT LAND SURVEYING, INC. 1287 WASHINGTON STREET WEYMOUTH, MASSACHUSETTS 02189 TEL:781-682-9192	Scale 1"=20'	Date 12/02/2025
	Project No.	File No.

ADDITION FOR VOS RESIDENCE

33 LAFAYETTE AVE, HINGHAM, MA



GENERAL NOTES

- 1) THE CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF ANY DOCUMENT ADDRESSED.
- 2) OWNER ALL PERMITTERS TO OBTAIN MADE IN THE CONSTRUCTION DOCUMENTS SHALL REFER TO THE GENERAL NOTES.
- 3) GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF HINGHAM.
- 4) GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF HINGHAM.
- 5) GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF HINGHAM.
- 6) GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF HINGHAM.
- 7) GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF HINGHAM.
- 8) GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF HINGHAM.
- 9) GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF HINGHAM.
- 10) GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF HINGHAM.
- 11) GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF HINGHAM.

PROJECT DIRECTORY

ONE HINGHAM BLVD
HINGHAM, MA 02043
TEL: 508-485-3000
FAX: 508-485-3001

APPLICABLE CODES & MANUALS

- 1) 2021 INTERNATIONAL RESIDENTIAL CODE (IRC 2021)
- 2) 190 CMR 8.00 MASS AMENDMENTS TO IRC 2021
- 3) 2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC 2021)
- 4) 2018 NATIONAL ELECTRICAL CODE (NEC 2018)
- 5) 2018 NATIONAL PLUMBING CODE (NPC 2018)
- 6) 2018 NATIONAL GAS PIPING CODE (NGPC 2018)
- 7) 2018 NATIONAL WOOD FRAME CONSTRUCTION MANUAL - GUIDE TO WOOD CONSTRUCTION IN HIGH WIND AREAS FOR 1 & 2 STORY RESIDENTIAL WOOD DECK CONSTRUCTION
- 8) 2021 IRC

DRAWING LIST

NO.	TITLE	DATE	BY	CHKD.
1	PERMIT SET			
2	FOUNDATION			
3	FLOOR PLAN			
4	FRONT ELEVATION			
5	REAR ELEVATION			
6	SECTION TAG			
7	LOAD BEARING WALL PARTITION			
8	EXISTING ROOM AND BZE			
9	DOOR TAG (SEE SCHEDULE)			
10	WINDOW TAG (SEE SCHEDULE)			
11	PHOTORESTRICTIVE SMOKE DETECTOR			
12	COMBINATIONAL CARBON MONOXIDE			
13	1-3/4" HEAT DETECTOR			
14	FAV LIGHT			

CITY/TOWN OF DESIGN CRITERIA:

HINGHAM, MA
Show load ground snow load (psf) = 35 psf
Wind load basic wind speed (mph) = 131 mph

SYMBOLS LEGEND

SYMBOL	DESCRIPTION
	NEW 2x4/2x6
	LOAD BEARING WALL PARTITION
	EXISTING ROOM AND BZE
	DOOR TAG (SEE SCHEDULE)
	WINDOW TAG (SEE SCHEDULE)
	PHOTORESTRICTIVE SMOKE DETECTOR
	COMBINATIONAL CARBON MONOXIDE
	1-3/4" HEAT DETECTOR
	FAV LIGHT

RECEIVED
FEB 09 2026
Hingham, MA

ARCHITECTS, INC.
HINGHAM, MA 02043
TEL: 508-485-3000
FAX: 508-485-3001

VOS RESIDENCE
33 LAFAYETTE AVE,
HINGHAM, MA
SHAWN MCLAUGHLIN

TITLE SHEET

PERMIT SET

Scale: 1/4" = 1'-0"
Date: 2025-02-05
Drawn By: JS
Checked By: CM
Job Number: 26200
Drawing: T1

ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING:

1. PERMITS AND ALL NECESSARY FEES SHALL BE OBTAINED FROM ONE AND TWO PANEL DWELLING BOARD.
2. THE DATE IS 100% MADE AMENDMENTS TO THE ORIGINAL PERMIT.
3. WOOD SHALL BE REMOVED TO THE MAXIMUM 20% EDITION.
4. WOOD SHALL BE REMOVED TO THE MAXIMUM 20% EDITION.
5. PRESERVATIVE PRESIDENTIAL WOOD BECK SHALL BE USED FOR ALL REMAINING WOOD.



VOS RESIDENCE
 33 LAFAYETTE AVE,
 HINGHAM, MA
 SHAWN MCLAUGHLIN

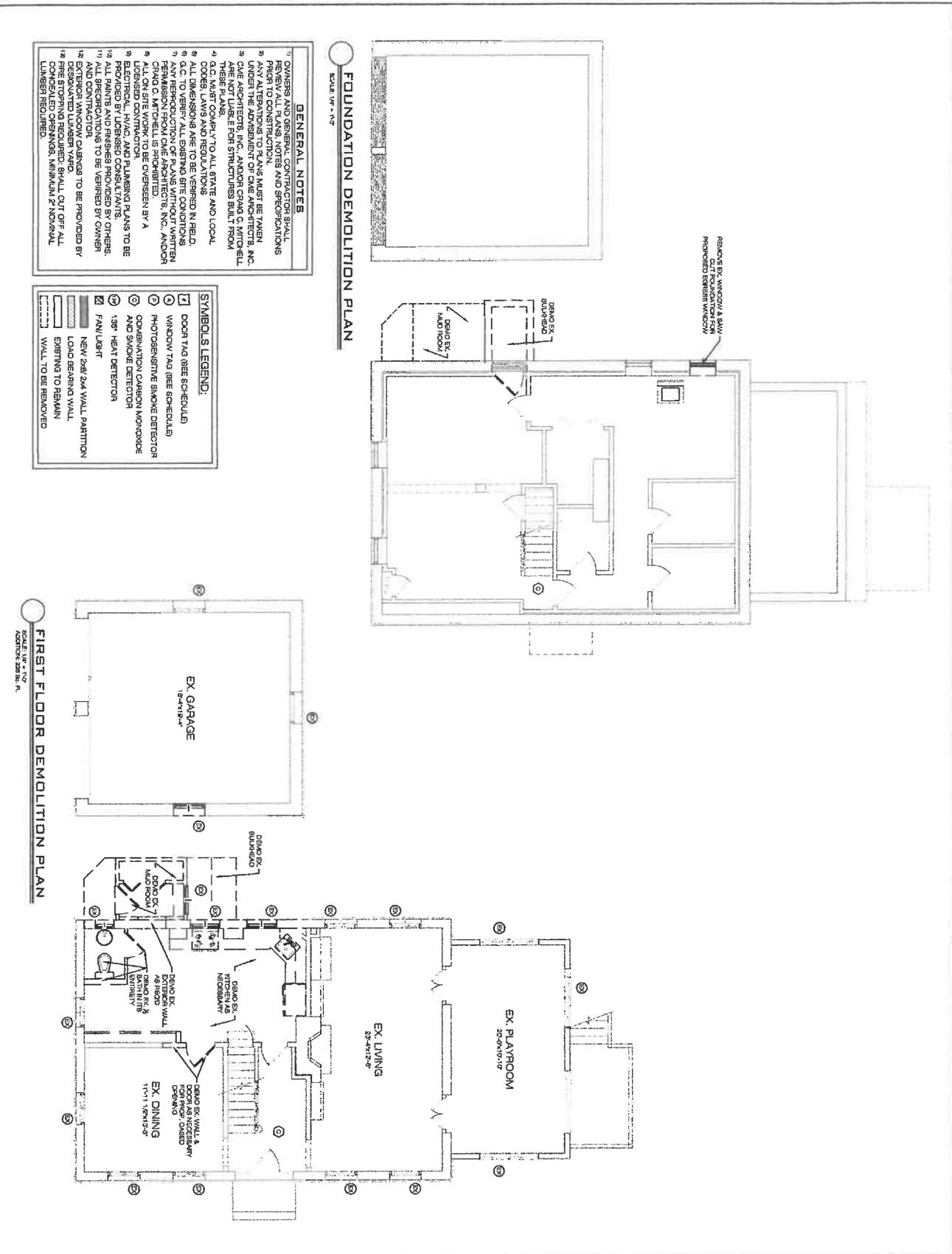
DEMOLITION PLANS

Date	Revisions
1	
2	
3	
4	
5	
6	
7	
8	

PERMIT SET

Scale: 1/8" = 1'-0"
 Drawn By: J.S.
 Checked By: G.M.
 Job Number: 25500

D1



FOUNDATION DEMOLITION PLAN
 SCALE: 1/8" = 1'-0"

- GENERAL NOTES**
1. OWNERS AND GENERAL CONTRACTOR SHALL REVIEW ALL PLANS, NOTES AND SPECIFICATIONS PRIOR TO CONSTRUCTION.
 2. ANY ALTERATIONS TO PLANS MUST BE TAKEN UNDER THE ADVICE OF CAE ARCHITECTS, INC.
 3. CAE ARCHITECTS, INC., AND/OR CRAIG C. MITCHELL ARE NOT LIABLE FOR STRUCTURES BUILT FROM THESE PLANS.
 4. G.C. MUST COMPLY TO ALL STATE AND LOCAL CODES, LAWS AND REGULATIONS.
 5. ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD.
 6. G.C. TO VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.
 7. PERMITS AND ALL NECESSARY FEES SHALL BE OBTAINED FROM ONE AND TWO PANEL DWELLING BOARD.
 8. WOOD SHALL BE REMOVED TO THE MAXIMUM 20% EDITION.
 9. PRESERVATIVE PRESIDENTIAL WOOD BECK SHALL BE USED FOR ALL REMAINING WOOD.
 10. ALL ON SITE WORK TO BE OVERSEEN BY A LICENSED CONTRACTOR.
 11. ALL PAINTS AND FINISHES PROVIDED BY OWNER AND CONTRACTOR.
 12. ALL PRECAUTIONS TO BE VERIFIED BY OWNER AND CONTRACTOR.
 13. PHOTOSENSITIVE SMOKE DETECTOR AND SMOKE DETECTOR.
 14. 138" HEAT DETECTOR.
 15. FAN LIGHT.
 16. NEW 2nd/3rd WALL PARTITION EXISTING TO REMAIN.
 17. LOAD BEARING WALL.
 18. WALL TO BE REMOVED.

- SYMBOLS LEGEND:**
- 1. DOOR TAG (SEE SCHEDULE)
 - 2. WINDOW TAG (SEE SCHEDULE)
 - 3. PHOTOSENSITIVE SMOKE DETECTOR
 - 4. PHOTOSENSITIVE SMOKE DETECTOR AND SMOKE DETECTOR
 - 5. 138" HEAT DETECTOR
 - 6. FAN LIGHT
 - 7. NEW 2nd/3rd WALL PARTITION EXISTING TO REMAIN
 - 8. LOAD BEARING WALL
 - 9. WALL TO BE REMOVED

FIRST FLOOR DEMOLITION PLAN
 SCALE: 1/8" = 1'-0"
 ADDITION: 228 S.W. PL.

FLOOR PLAN NOTES

- 1) 62x10 HEADERS ABOVE ALL EXTERIOR ROUGH OPENINGS UNLESS NOTED OTHERWISE. REFER TO INTERFERENCES FOR HEADERS SPAN CHARTS.
- 2) 2x6 EXTERIOR CONSTRUCTION.
- 3) 2x6 EXTERIOR CONSTRUCTION.
- 4) ALL LUMBER SPEC'Z OR BETTER.

INTERIOR STAIR NOTES

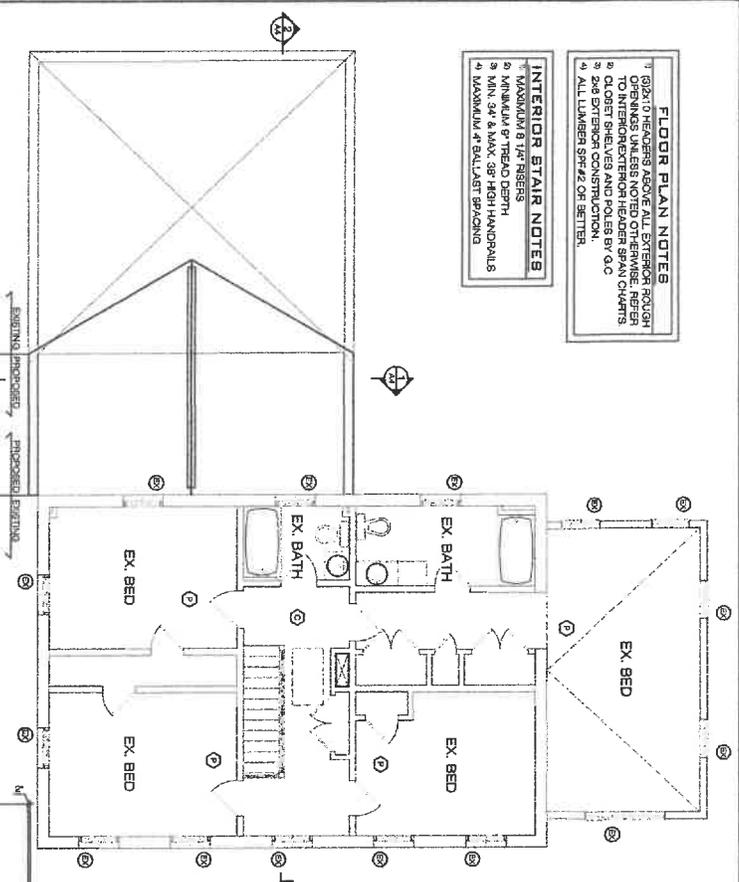
- 1) MAXIMUM 8 1/4" RISERS
- 2) MINIMUM 8" TREAD DEPTH
- 3) MIN. 3/4" & MAX. 3/8" HIGH HANDRAILS
- 4) MAXIMUM 4" BALLAST BRACING

NOTE: ALL INSULATION VALUES NEEDED FOR FOOT WALLS. FOOT WALLS TO BE CALCULATED AND PROVIDED BY LICENSED HEIRS PAYER.

GENERAL NOTES

- 1) OWNERS AND GENERAL CONTRACTOR SHALL REVIEW ALL PLANS, NOTES AND SPECIFICATIONS.
- 2) ANY ALTERATIONS TO PLANS MUST BE TAKEN UNDER THE ADVICE OF ONE ARCHITECT, INC., ONE ARCHITECTS, INC., AND/OR CRAIG C. MITCHELL. ANY ALTERATIONS ARE NOT VALID FOR STRUCTURES BUILT FROM THESE PLANS.
- 3) ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD.
- 4) ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD.
- 5) ANY RECONSTRUCTION OF PLANS WITHOUT WRITTEN CONSENT OF ARCHITECTS, INC., AND/OR CRAIG C. MITCHELL IS PROHIBITED.
- 6) ALL ON SITE WORK TO BE OVERSEEN BY A LICENSED CONTRACTOR.
- 7) SELECTED FINISH AND MATERIALS PLANS TO BE PROVIDED BY OWNER.
- 8) ALL PAINTS AND FINISHES PROVIDED BY OWNER.
- 9) ALL SPECIFICATIONS TO BE VERIFIED BY OWNER AND CONTRACTOR.
- 10) EXTERIOR WINDOW CASINGS TO BE PROVIDED BY OWNER.
- 11) ALL SPECIFICATIONS TO BE PROVIDED BY OWNER.
- 12) FIRE STOPPING REQUIRED: SHALL CUT OFF ALL CONCEALED OPENINGS. MINIMUM 2" NOMINAL LUMBER REQUIRED.

SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



NOTE: SHGC AND U-VALUE FOR ALL WINDOWS TO BE PROVIDED BY LICENSED HEIRS PAYER.

WINDOW SCHEDULE

#	TYPE	MODEL	QUANTITY	SHOG	U-VALUE	ROUGH OPENING	REMARKS
1	DOUBLE HUNG	2432	1	TBD	TBD	2'-0 1/2" x 3'-4 1/2"	
2	CASHEMENT	CV1156	1	TBD	TBD	2'-4 1/2" x 3'-4 1/2"	

NOTE: TO VERIFY R.O.S, SHOG, AND U-VALUE WITH MANUFACTURER. G.C. TO VERIFY WINDOW TO BE VERIFIED BY G.C. PRIOR TO OPEN CONSTRUCTION.

DOOR SCHEDULE

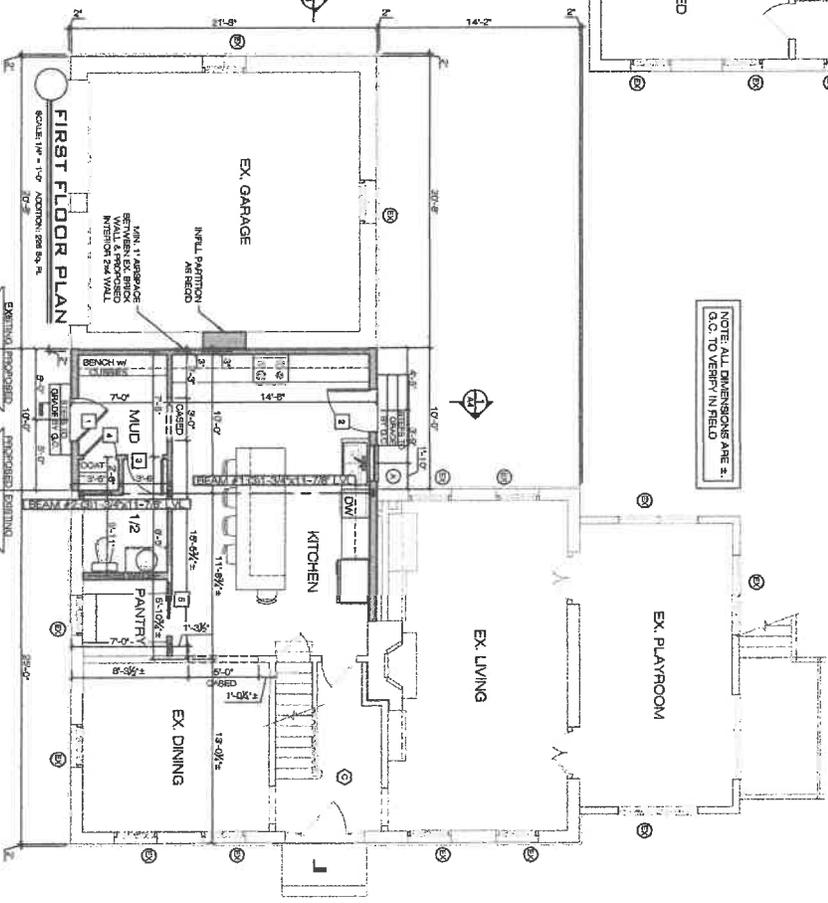
#	TYPE	SIZE	GLASS	QUANTITY	U-VALUE	REMARKS
1	SLIP	3'-0" x 6'-8"	FRENCH	1	TBD	
2	POCKET	2'-4" x 6'-8"	6 PANEL	1	TBD	
3	POCKET	2'-4" x 6'-8"	6 PANEL	1	TBD	
4	POCKET	2'-4" x 6'-8"	6 PANEL	1	TBD	
5	POCKET	2'-4" x 6'-8"	6 PANEL	1	TBD	

BEAM SCHEDULE

#	BEAM LENGTH	CLEAR SPAN	LOCATION	CONSTRUCTION	ENGINEERED SIZE
1	14'-0"	8'-0"	KITCHEN	FLUSH TO BOTTOM	(8) 1 1/2" x 11 1/8" V.L.
2	6'-8"	6'-0"	1/2 BATH	FLUSH TO BOTTOM	(8) 1 1/2" x 11 1/8" V.L.

NOTE: ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD.

FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



ARCHITECTS, INC.
2009-02-26
JSM
22920

ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING:

1. 2021 INTERNATIONAL RESIDENTIAL CODE
2. 2021 IBC - MASS. ADAPTMENTS TO INTERNATIONAL RESIDENTIAL CODE
3. VERTICAL WOOD FRAME CONSTRUCTION
4. VERTICAL WOOD FRAME CONSTRUCTION
5. VERTICAL WOOD FRAME CONSTRUCTION
6. VERTICAL WOOD FRAME CONSTRUCTION
7. VERTICAL WOOD FRAME CONSTRUCTION
8. VERTICAL WOOD FRAME CONSTRUCTION
9. VERTICAL WOOD FRAME CONSTRUCTION
10. VERTICAL WOOD FRAME CONSTRUCTION

PROFESSIONAL SEAL
SHAUN MC LAUGHLIN
REGISTERED ARCHITECT
STATE OF MASSACHUSETTS
LICENSE NO. 12345

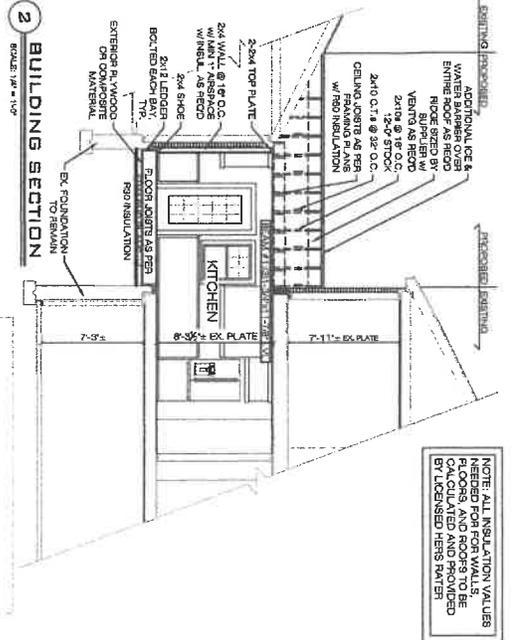
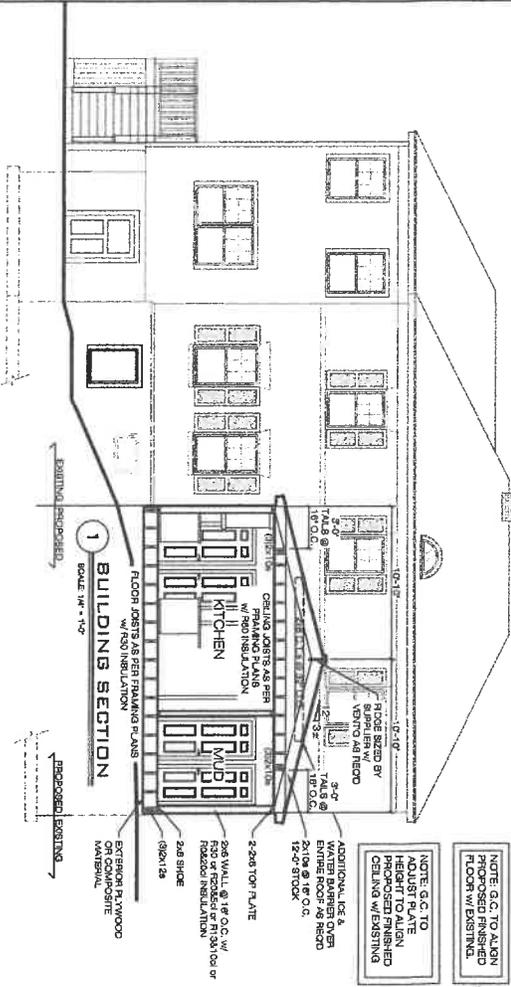
VOS RESIDENCE
33 LAFAYETTE AVE,
HINGHAM, MA
SHAUN MC LAUGHLIN

FLOOR PLANS

PERMIT SET

Scale: 1/4" = 1'-0"
Date: 2023-02-26
Drawn By: JSM
Checked By: JSM
Job Number: 22920

A3

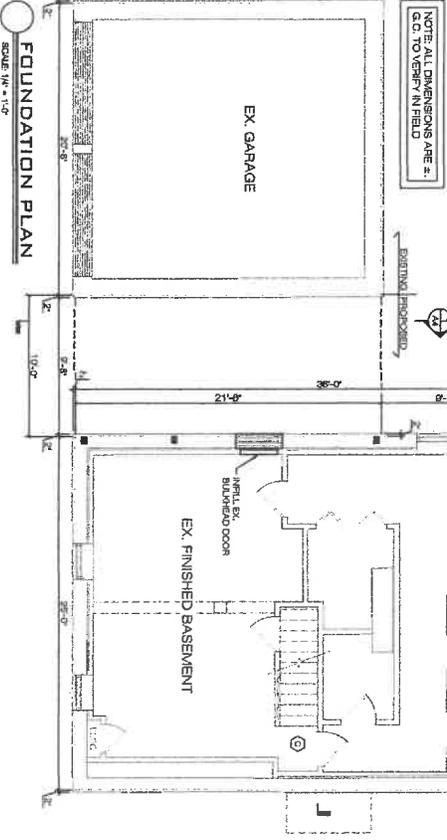


- SYMBOLS LEGEND:**
- ⑦ DOOR TAG (SEE SCHEDULE)
 - ⑥ WINDOW TAG (SEE SCHEDULE)
 - ⑤ PHOTOGRAPHIC SMOKE DETECTOR
 - ④ COMMUNICATION CARBON MONOXIDE AND SMOKE DETECTOR
 - ③ 18" HEAT DETECTOR
 - ② FAN LIGHT
 - ① NEW 2x4 WALL PARTITION
 - ① LOAD BEARING WALL
 - ① EXISTING TO REMAIN
 - ① WALL TO BE REMOVED

- FLOOR PLAN NOTES:**
- 1) 18" x 18" HEADERS ABOVE ALL SPANNING ROUGH OPENINGS UNLESS NOTED OTHERWISE. REFER TO INTERIOR/EXTERIOR HEADERS SPAN CHARTS.
 - 2) CLOSET SHELVES AND FLOOR BY G.C.
 - 3) 2x4 EXTERIOR CONSTRUCTION.
 - 4) ALL LUMBER SPT #2 OR BETTER.

- MA FOUNDATION NOTES:**
- 1) 18" CONCRETE FOUNDATION WALL FOUR UNLESS OTHERWISE NOTED.
 - 2) FOUNDATION CONCRETE TO BE MINIMUM 3,000 P.S.I. IN 28 DAYS IN ACCORDANCE WITH MASS STATE BUILDING CODE 780.00 WHICH TIES INTO THE INTERNATIONAL RESIDENTIAL CODE.
 - 3) GARAGE SLABS TO BE MINIMUM 3,500 P.S.I.
 - 4) ALL FOOTINGS TO REST ON UNDISTURBED SOIL.
 - 5) FOUNDATION WALLS TO EXTEND A MINIMUM OF 6" TO NE. POLY VAPOR GUARD, WITH JOINTS LAPPED NOT LESS THAN 6". SHALL BE PLACED BETWEEN BASE AND SLAB.
 - 6) GARAGE SLABS TO BE MINIMUM 4" THICK ON SUFFICIENT STRENGTH.
 - 7) BACK FILL SHALL NOT BE PLACED UNTIL WALL HAS SUFFICIENT STRENGTH.
 - 8) DRAINAGE STRIPS TO BE PROVIDED AROUND GRAVITY COLLECTION TO BE DRAINAGE TILES PERMANENT PRESS.
 - 9) 2x4 X 12 CONCRETE FOOTINGS WITH 2' X 4' HEAVY W/ UNDER ALL CONCRETE FOUNDATION WALLS TO BE VERIFIED IN FIELD.
 - 10) DRAINAGE REQUIRED FROM TOP OF FOOTING WALLS TO BE VERIFIED IN FIELD.

- GENERAL NOTES:**
- 1) CHANGES AND NOTES TO BE MADE PRIOR TO CONSTRUCTION.
 - 2) ANY ALTERATIONS TO PLANS MUST BE TAKEN UNDER THE ADVERTISEMENT OF ONE ARCHITECTS, INC. ARCHITECTS, INC. AND/OR CHAD C. MITCHELL ARE NOT LIABLE FOR STRUCTURES BUILT FROM THESE PLANS.
 - 3) CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS ARE TO BE VERIFIED IN FIELD.
 - 4) ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD.
 - 5) G.C. TO VERIFY ALL EXISTING SITE CONDITIONS.
 - 6) ANY REPRODUCTION OF PLANS WITHOUT WRITTEN PERMISSION FROM ONE ARCHITECTS, INC. ARCHITECTS, INC. IS STRICTLY PROHIBITED.
 - 7) ALL ON SITE WORK TO BE OVERSEEN BY A LICENSED CONTRACTOR.
 - 8) ELECTRICAL, HVAC, AND PLUMBING PLANS TO BE PROVIDED BY LICENSED CONSULTANTS.
 - 9) ALL PARTS AND FINISHES PROVIDED BY OTHERS AND CONTRACTORS TO BE VERIFIED BY OWNER.
 - 10) EXTERIOR WINDOW CASINGS TO BE PROVIDED BY DESIGNATED LUMBER YARD.
 - 11) PRE-TO FINISH REQUIRED. SHALL CUT OFF ALL LUMBER REQUIRED.
 - 12) LUMBER REQUIRED.



ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING:

1. 2021 INTERNATIONAL RESIDENTIAL CODE
2. 780 CMR 2.00 - MASS. ADMINISTRATIVE TO THE INTERNATIONAL RESIDENTIAL CODE
3. MASS. STATE BUILDING CODE 780.00 WHICH TIES INTO THE INTERNATIONAL RESIDENTIAL CODE
4. WINDOW WOOD FRAME CONSTRUCTION
5. MANUAL SPECIFICATIONS FOR CONSTRUCTION OF FAMILIAR DWELLINGS
6. CONSTRUCTION OF FAMILIAR DWELLINGS
7. 2021 INTERNATIONAL RESIDENTIAL CODES

VOS RESIDENCE
 33 LAFAYETTE AVE,
 HINGHAM, MA
 SHAWN McLAUGHLIN

FOUNDATION PLAN & BUILDING SECTION

Date	Revisions

PERMIT SET

Scale: 1/4" = 1'-0"

Drawn By: 2020-02-25 JS

Checked By: CM

Job Number: 25200

Drawing: **A4**

RECEIVED

FEB 09 2026

Town Clerk
Hingham, MA

February 9, 2026

To Whom it May Concern,

We, Rosemary Vos and Erik Vos, give permission to GDM Carpentry Inc. (Shaun McLaughlin, Micheal Bond) to complete the proposed work on 33 Lafayette Ave, Hingham, MA, our home.

Please feel free to reach out with any comments.

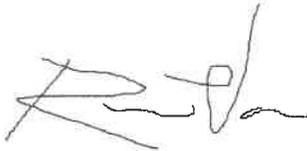
Signed,



2/9/2026

Erik Vos

Date



2/9/2026

Rosemary Vos

Date