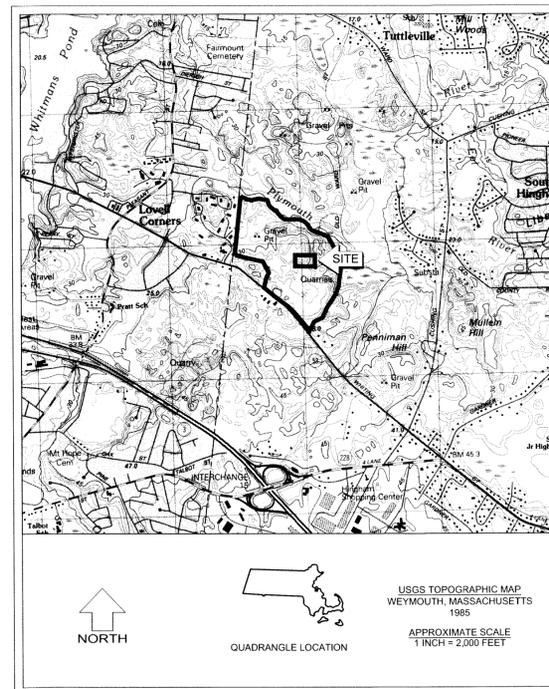


LINDEN PONDS BUILDING RB2.5

201 LINDEN PONDS WAY
HINGHAM, MASSACHUSETTS

OWNER/APPLICANT:
HINGHAM CAMPUS, LLC
300 LINDEN PONDS WAY
HINGHAM, MA 02043
SITE ENGINEER
NOBIS ENGINEERING, INC. - LOWELL, MA
ARCHITECT
MARKS, THOMAS ARCHITECTS. BALTIMORE, MD
LANDSCAPE ARCHITECT
CRJA, BOSTON, MA



MAY 18, 2016

SHEET INDEX

I.D.	DRAWING NAME
CS	COVER SHEET
G1	GENERAL NOTES AND LEGEND
C-0	SITE OVERALL PLAN
S-1	EXISTING CONDITIONS PLAN
C-1	DEMOLITION PLAN
C-2A	SITE OVERLAY EXHIBIT
C-2	SITE LAYOUT PLAN
C-3	GRADING AND DRAINAGE PLAN
C-4	UTILITY PLAN
C-5	EROSION CONTROL PLAN
C-6	CONSTRUCTION DETAILS
C-7	CONSTRUCTION DETAILS

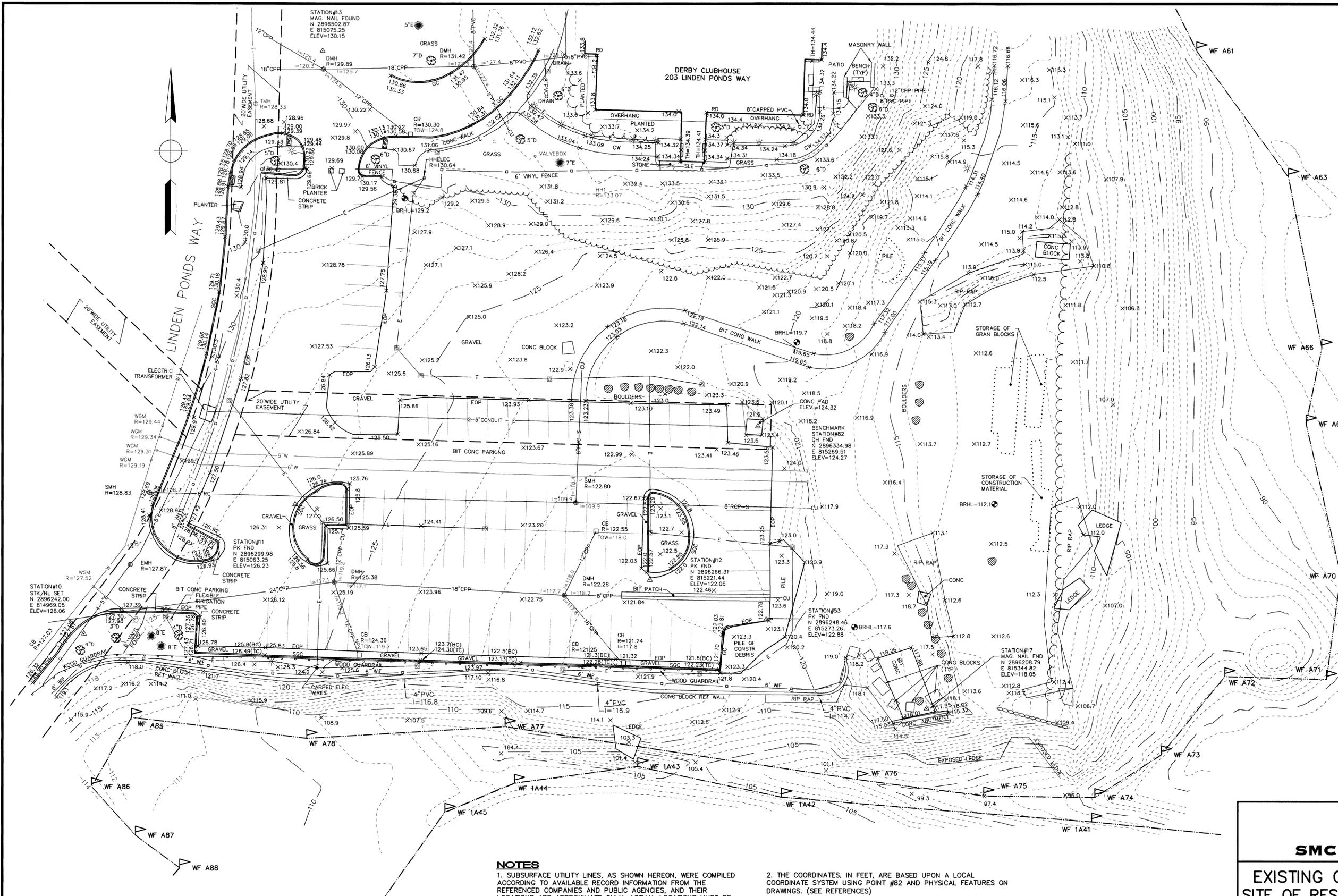
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NOBIS PROJECT NO. 89800.01



LEGEND

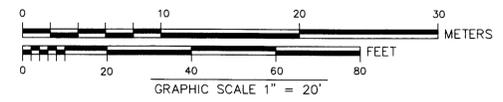
- △ SURVEY CONTROL STATION
- DH DRILL HOLE
- MAG. MAGNETIC
- FND FOUND
- W/ WITH
- (R) RECORD
- STONE WALL
- TREE LINE
- DECIDUOUS TREE
- EVERGREEN TREE
- BOULDER
- RET WALL RETAINING WALL
- GC CURBING(TYP)
- SGC GRANITE CURB
- EOP SLOPED GRANITE CURB
- BIT CONC EDGE OF PAVEMENT
- 100.51(BC) BITUMINOUS CONCRETE
- 100.06(TC) BOTTOM OF CURB
- 100.06(TC) TOP OF CURB
- CW CONCRETE WALK
- WF WROUGHT IRON FENCE
- EDGE OF VEGETATED WETLAND
- WF A66 WETLAND FLAG
- RD ROOF DRAIN
- ○ LIGHT POLE
- ● GP GUARD POST (BOLLARD)
- TH THRESHOLD
- □ HH HANDHOLE
- □ LPB LIGHT POLE BASE
- □ DMH DRAIN MANHOLE
- □ CB CATCH BASIN
- R RIM
- I INVERT
- NPV NO PIPE VISIBLE
- PVC POLYVINYL CHLORIDE
- VCP VITREOUS CLAY PIPE
- CPP CORRUGATED PLASTIC PIPE
- CU CONNECTION UNKNOWN
- TOW TOP OF WATER
- ⊕ TMH TELEPHONE MANHOLE
- ⊕ EMH ELECTRIC MANHOLE
- ⊕ SMH SEWER MANHOLE
- ⊕ WG WATER GATE
- ○ HYDRANT
- W WATER LINE
- S SEWER LINE
- T TELEPHONE LINE
- E ELECTRIC LINE
- D DRAIN LINE
- ⊕ BRHL BORE HOLE
- + 112.5 SPOT ELEVATION
- INTERMEDIATE CONTOUR
- 125 INDEX CONTOUR
- LIMIT OF FIELD SURVEY
- STK/NL STAKE AND NAIL
- DWS DUCTILE WARNING STRIP

- REFERENCES:**
1. V-XP EXISTING CONDITIONS-ALTA 2011.DWG PROVIDED BY TETRA TECH.
 2. 89800-LINDEN PONDS WETLANDS FLAGS.DWG PROVIDED BY TETRA TECH.
 3. ERICKSON 2061 NH 3 BASE.DWG PROVIDED BY TETRA TECH.
 4. SECTIONS AND BORINGS LOCATION PLAN LINDEN PONDS, HINGHAM, MA PREPARED FOR TETRA TECH, INC. BY SURVEYING AND MAPPING CONSULTANTS, INC. SCALE: 1"=20' DATE: AUGUST 19, 2015 SMC DRAWING NO. Z13300WS.DWG

NOTES

1. SUBSURFACE UTILITY LINES, AS SHOWN HEREON, WERE COMPILED ACCORDING TO AVAILABLE RECORD INFORMATION FROM THE REFERENCED COMPANIES AND PUBLIC AGENCIES, AND THEIR LOCATIONS ARE APPROXIMATE ONLY. ACTUAL LOCATIONS MUST BE DETERMINED IN THE FIELD. SMC ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN.
 2. THE COORDINATES, IN FEET, ARE BASED UPON A LOCAL COORDINATE SYSTEM USING POINT #82 AND PHYSICAL FEATURES ON DRAWINGS. (SEE REFERENCES)
 3. ELEVATIONS, IN FEET, ARE REFERRED TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 29) AS DEFINED BY POINT #82 (SEE NOTE 2).
 4. WETLANDS FLAGS SHOWN WERE OBTAINED FROM REFERENCE NO.2 AND ARE NOT PART OF SMC'S SURVEY.
 5. THIS SURFACE IS BASED ON A FIELD SURVEY CONDUCTED BY SMC AND MERGED WITH CONTOURS FROM REFERENCE NO.3. PROVIDED BY NOBIS ENGINEERING, INC.
- GENERALLY THE LINES IN THE PUBLIC AND PRIVATE WAYS ARE SHOWN AND THE LATERAL CONNECTIONS SERVICING INDIVIDUAL USERS ARE NOT SHOWN. BEFORE DESIGNING FUTURE CONNECTIONS, THE APPROPRIATE UTILITIES MUST BE CONSULTED.
- BEFORE CONSTRUCTION, ALL UTILITIES, PUBLIC AND PRIVATE MUST BE NOTIFIED (SEE MASSACHUSETTS GENERAL LAWS, CHAPTER 82 SECTION 40.) CALL "DIG SAFE" 1 (888) 344-7233 HTTP://WWW.DIGSAFE.COM

Revised:	MAY 16, 2016
Revised:	APRIL 28, 2016
Revised:	APRIL 5, 2016
Date:	MARCH 14, 2016
Job No.:	Z133.02
Drawn By:	EP/JV
Checked By:	NP/KH
Calc'd By:	EP
Drawing No.:	Z13303FP.DWG
Sheet:	1 OF 1



Kevin Hanley
17th May 2016
KEVIN HANLEY, PLS
MASSACHUSETTS REG. NO. 31313

325 WOOD ROAD
SUITE 109
BRAINTREE MA 02184
(781)380-7766
FAX (781)380-7757

SMC SURVEYING AND MAPPING CONSULTANTS

**EXISTING CONDITIONS SURVEY
SITE OF RESIDENTIAL BUILDING 2.5
LINDEN PONDS
HINGHAM, MA**

PREPARED FOR: NOBIS ENGINEERING, INC.

SCALE: 1"= 20'

REVISED: MAY 16 2016
DATE: MARCH 14, 2016

SMC DWG. NO. Z13303FP.dwg SHEET 1 OF 1

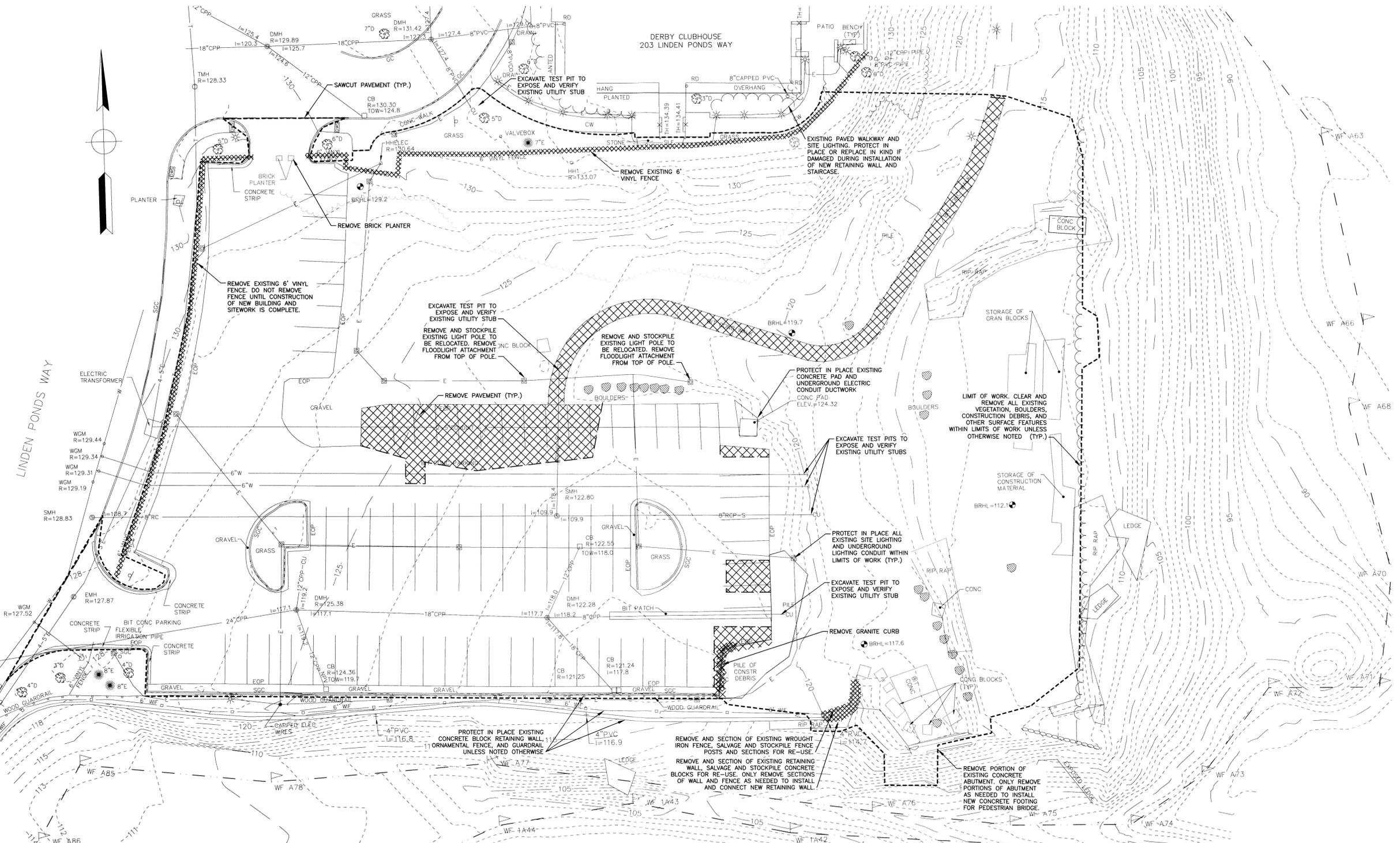
- NOTES:**
- REFER TO SURVEYOR'S PLAN FOR PLAN REFERENCES ADDITIONAL NOTES, EXISTING DRAINAGE AND SANITARY SEWER INVERT INFORMATION.
 - LOCATION AND ELEVATION OF UTILITIES ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY EXISTING UTILITIES INFORMATION PRIOR TO CONSTRUCTION AND WILL NOTIFY ENGINEER AND OWNER IMMEDIATELY OF ANY CONFLICTS.
 - THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIG SAFE (1-888-DIG-SAFE) AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF WORK.
 - DEMOLISH STRUCTURES AND SITE FEATURES AS SHOWN HEREON AND REMOVE PAVEMENT TO LIMITS INDICATED.
 - CONTRACTOR IS RESPONSIBLE FOR OFF-SITE DISPOSAL OF CONSTRUCTION DEMOLITION DEBRIS IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
 - ALL WORK PERFORMED TO CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE TOWN OF HINGHAM MUNICIPAL CONSTRUCTION STANDARDS.
 - REFER TO SHEET G-1 FOR GENERAL NOTES AND LEGEND FOR CONSTRUCTION SEQUENCING NOTES.
 - CONTRACTOR WILL NOTIFY OWNER, ENGINEER, AND ARCHITECT IMMEDIATELY IF SITE CONDITIONS DIFFER FROM WHAT IS SHOWN ON PLAN.
 - CONTRACTOR WILL PROTECT ALL EXISTING UTILITIES WITHIN THE LIMIT OF WORK. CONTRACTOR WILL BE RESPONSIBLE FOR DAMAGES TO EXISTING UTILITIES AND ALL COSTS ASSOCIATED WITH REPLACEMENT OR REPAIR WILL BE BORNE BY THE CONTRACTOR.
 - CONTRACTOR WILL PROTECT ALL SITE FEATURES OUTSIDE LIMIT OF WORK SHOWN HEREON.
 - PROTECT IN PLACE EXISTING PARKING LOT PAVEMENT DURING CONSTRUCTION. REMOVE AND REPLACE PAVEMENT DAMAGE DURING CONSTRUCTION PRIOR TO PLACING NEW PAVEMENT WEARING COURSE.
 - PROTECT IN PLACE EXISTING DRAINAGE AND SANITARY SEWER STRUCTURES WITHIN PARKING LOT. RE-SET FRAMES AND COVERS AS INDICATED IN GRADING PLAN AND UTILITY PLAN.
 - CONTRACTOR SHALL STOCKPILE EXISTING GRANITE CURBING AND MODULAR WALL BLOCKS ON SITE FOR REUSE. AS DIRECTED BY THE ENGINEER.

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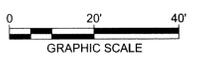


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**LINDEN PONDS
 RB2.5**
 201 LINDEN PONDS WAY
 HINGHAM, MASSACHUSETTS



NO.	DATE	DESCRIPTION
REVISIONS		



DATE: MAY 18, 2016
 NOBIS PROJECT NO. 89800.01
 DRAWN BY: EFM
 CHECKED BY: TC
 CAD DRAWING FILE: 89800.01 C-100 DEMO.dwg
 SHEET TITLE

**DEMOLITION
 PLAN**

SHEET
C-1

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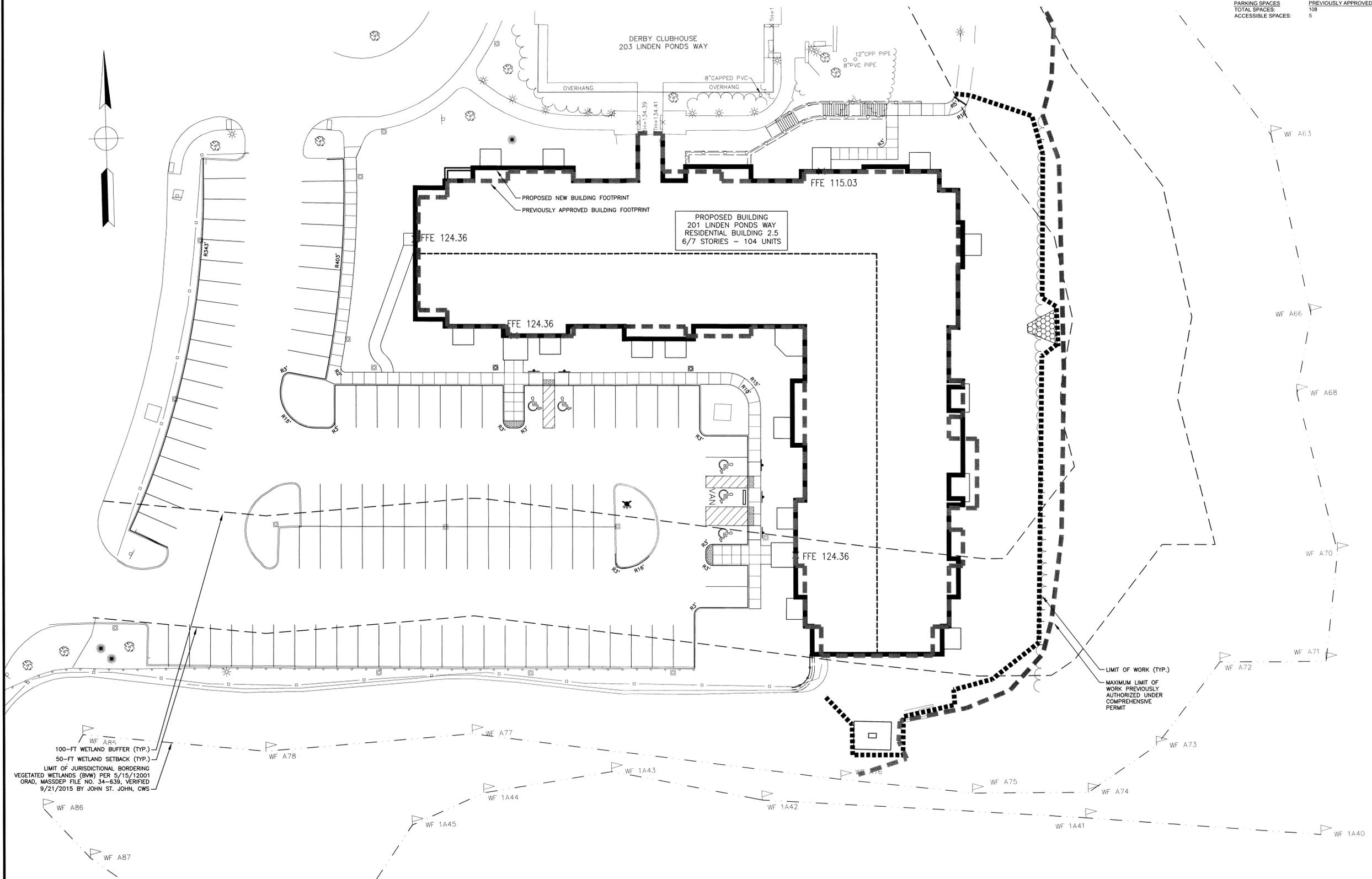


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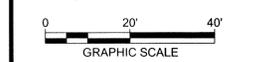
LINDEN PONDS
 RB2.5
 201 LINDEN PONDS WAY
 HINGHAM, MASSACHUSETTS

COMPREHENSIVE PERMIT MODIFICATION ANALYSIS

ADDRESS:	201 LINDEN PONDS WAY HINGHAM, MASSACHUSETTS	
BUILDING AREA	PREVIOUSLY APPROVED	PROPOSED
BUILDING FOOTPRINT	23,848 SF	24,324 SF
GROSS FLOOR AREA	156,884	156,378 SF
BUILDING ELEVATIONS	PREVIOUSLY APPROVED	PROPOSED
BUILDING HEIGHT	6-7 STORIES	6-7 STORIES
FIRST FLOOR ELEVATION	124.36 FT	124.36 FT
BUILDING UNIT COUNTS	PREVIOUSLY APPROVED	PROPOSED
1-BEDROOM UNITS	45	32
2-BEDROOM UNITS	75	72
TOTAL UNIT COUNT	120	104
PARKING SPACES	PREVIOUSLY APPROVED	PROPOSED
TOTAL SPACES:	108	108
ACCESSIBLE SPACES:	5	5



NO.	DATE	DESCRIPTION
REVISIONS		



DATE:	MAY 18, 2016
NOBIS PROJECT NO.	89800.01
DRAWN BY:	EFM
CHECKED BY:	TC
CAD DRAWING FILE:	89800.01 C-200 SITE.dwg
SHEET TITLE	

SITE OVERLAY
 EXHIBIT

SHEET
 C-2A

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- NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO SHOW MATERIALS AND LAYOUT FOR THE PROPOSED RESIDENTIAL BUILDING RB2.5 SITE IMPROVEMENTS.
 2. ALL BUILDING AND SITE CONSTRUCTION TO COMPLY WITH THE RULES AND REGULATIONS OF THE AMERICANS WITH DISABILITY ACT (ADA) 2010 EDITION.
 3. DIMENSIONS SHOWN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR TO USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND / OR SPECIFICATIONS, THE ENGINEER WILL BE NOTIFIED BY THE CONTRACTOR.
 4. JURISDICTIONAL WETLANDS SHOWN ON THIS PLAN REPRESENT THE ORDER OF RESOURCE AREA DELINEATION (ORAD) ISSUED BY THE HINGHAM CONSERVATION COMMISSION ON MAY 15, 2001 (MASSDEP FILE NO. 34-639). THE ORAD WETLAND DELINEATION WAS RE-FLAGGED ON AUGUST 13, 2015 AND FIELD-VERIFIED BY JOHN ST. JOHN, CERTIFIED WETLAND SCIENTIST, ON AUGUST 23, 2015.
 5. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIG SAFE (1-888-DIG-SAFE) AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR WILL COORDINATE WORK WITH THE TOWN FIRE, POLICE, AND COMMUNITY DEVELOPMENT DEPARTMENTS.
 6. A MANDATORY PRE-CONSTRUCTION MEETING WILL NEED TO BE HELD PRIOR TO ISSUANCE OF ANY PERMITS TO DISCUSS INSPECTION FEES, CONSTRUCTION SCHEDULE, ETC.
 7. REFER TO CONSTRUCTION DETAIL SHEETS FOR ALL APPLICABLE SITE DETAILS.
 8. CONTRACTOR WILL NOTIFY ENGINEERS IMMEDIATELY IF SITE CONDITIONS DIFFER FROM WHAT IS SHOWN ON PLAN.
 9. GEOTECHNICAL BORINGS SHOWN ON THIS PLAN WERE PERFORMED BY HARDIN-KIGHT ASSOCIATES, INC. ON JULY 27, 2015. REFER TO THE GEOTECHNICAL REPORT FOR BORING LOGS.
 10. REFER TO SHEET G-1 FOR GENERAL NOTES AND LEGEND.

- PLAN REFERENCES:**
1. EXISTING CONDITIONS, TOPOGRAPHICAL INFORMATION, NORTH ORIENTATION, NORTH ARROW, AND COORDINATE VALUES DEPICTED ON THESE DRAWINGS ARE BASED ON PLANS TITLED "EXISTING CONDITIONS SURVEY, SITE OF RESIDENTIAL BUILDING 2.5, LINDEN PONDS, HINGHAM MA", DATED MAY 16, 2016, PROVIDED TO NOBIS ENGINEERING, INC. BY SMC SURVEYING AND MAPPING CONSULTANTS.
 2. BUILDING FOOTPRINT REPRESENTS THE FIRST FLOOR PLAN PROVIDED TO NOBIS ENGINEERING, INC. BY MARKS, THOMAS ARCHITECTS ON MAY 16, 2016. REFER TO ARCHITECTURAL/ STRUCTURAL PLANS FOR FOUNDATION AND BUILDING DIMENSIONS.

COMPREHENSIVE PERMIT MODIFICATION ANALYSIS

ADDRESS:	201 LINDEN PONDS WAY HINGHAM, MASSACHUSETTS	
BUILDING AREA	PREVIOUSLY APPROVED	PROPOSED
BUILDING FOOTPRINT	23,943 SF	24,324 SF
GROSS FLOOR AREA	156,884	156,378 SF
BUILDING ELEVATIONS	PREVIOUSLY APPROVED	PROPOSED
BUILDING HEIGHT	6-7 STORIES	6-7 STORIES
FIRST FLOOR ELEVATION	124.36 FT	124.36 FT
BUILDING UNIT COUNTS	PREVIOUSLY APPROVED	PROPOSED
1-BEDROOM UNITS	45	32
2-BEDROOM UNITS	75	72
TOTAL UNIT COUNT	120	104
PARKING SPACES	PREVIOUSLY APPROVED	PROPOSED
TOTAL SPACES:	108	108
ACCESSIBLE SPACES:	5	5



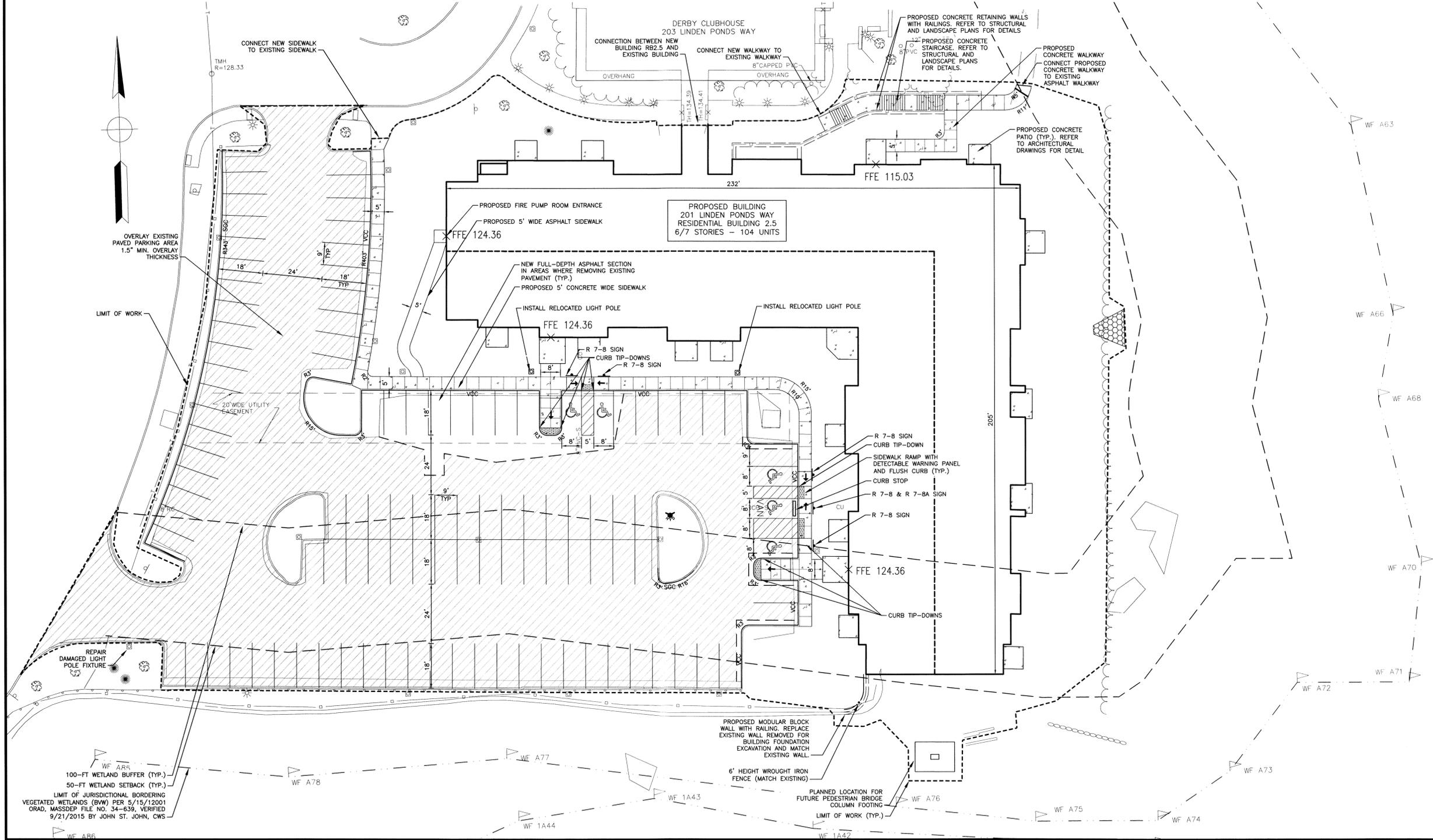
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**LINDEN PONDS
 RB2.5**

201 LINDEN PONDS WAY
 HINGHAM, MASSACHUSETTS



NO.	DATE	DESCRIPTION
REVISIONS		



DATE:	MAY 18, 2016
NOBIS PROJECT NO.	89800.01
DRAWN BY:	EFM
CHECKED BY:	TC
CAD DRAWING FILE:	89800.01 C-200 SITE.dwg
SHEET TITLE	

**SITE LAYOUT
 PLAN**

**SHEET
 C-2**

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NOTES:

- REFER TO SURVEYOR'S PLAN FOR BASE PLAN REFERENCES AND ADDITIONAL NOTES.
- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE SURVEY PLAN AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR WILL NOTIFY OWNER IMMEDIATELY IF SITE CONDITIONS DIFFER FROM WHAT IS SHOWN ON PLAN.
- SPOT ELEVATIONS SHOWN AT BUILDING EDGES ARE PROPOSED GROUND ELEVATIONS.
- FOUNDATION DRAIN PIPING WILL BE CONNECTED TO THE CLOSED DRAINAGE SYSTEM.
- FINISH WALK AND CURB ELEVATIONS WILL BE 6" ABOVE FINISH PAVEMENT EXCEPT AT RAMP LOCATIONS.
- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND BREAK.
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF THEY ENCOUNTER ANY DIFFERENCE OR CONFLICT WITH THE EXISTING CONDITIONS SURVEY.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIG SAFE (1-888-DIG-SAFE) AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF WORK.
- ALL STORM DRAIN PIPING WITH LESS THAN 2.5 FEET OF COVER WILL BE OVERLAID WITH 2" THICK RIGID INSULATION FOR THE FULL WIDTH OF PIPE TRENCH.
- DRAIN MANHOLE FRAMES AND COVERS SHALL BE HEAVY DUTY CAST IRON IN AND SHALL HAVE A CLEAR OPENING OF 24 INCHES AND THE WORD "DRAIN" CAST IN 3-INCH LETTERS ON THE SURFACE. INSTALL FRAMES AND COVERS IN ACCORDANCE WITH THE TOWN OF HINGHAM SPECIFICATIONS FOR CONSTRUCTION OF REQUIRED IMPROVEMENTS, SECTION 5.X1.
- REFER TO SHEET G-1 FOR GENERAL NOTES AND LEGEND.
- WHERE CONNECTING TO EXISTING PIPE STUBS: LENGTH & SLOPE LISTED HERE ASSUME STUB LOCATION FROM 2007 DESIGN DRAWINGS. CONTRACTOR TO VERIFY INVERT AND SLOPE OF EXISTING STUB PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER IF Δ>0.1 FT BETWEEN EXISTING STUB INVERT AND DESIGN PIPE SLOPE.

DRAINAGE SCHEDULE

- DMH 1 (EXISTING)
RIM = 125.50 (RE-SET)
INV. IN = 117.1 (EX 18" FROM DMH2)
INV. OUT = 119.2 (EX 12" FROM CB3)
INV. IN = 119.2 (EX 12" STUB-CB6)
S = 0.0200 FT/FT
- DMH 2 (EXISTING)
RIM = 122.50 (RE-SET)
INV. IN = 117.8 (EX 18" FROM CB4)
INV. IN = 118.0 (EX 12" FROM CB5)
INV. IN = 119.2 (EX 8" STUB-FI10)
S = 0.0061 FT/FT
- DMH 3 (EXISTING)
RIM = 124.64 (RE-SET)
INV. OUT = 117.8 (EX 18" TO DMH2)
S = 0.0050 FT/FT
- DMH 4 (EXISTING)
RIM = 121.38 (RE-SET)
INV. OUT = 119.97 (TO FI 9)
L = 66 LF 8" HDPE
S = 0.0050 FT/FT
- DMH 5 (EXISTING)
RIM = 122.68 (RE-SET)
INV. OUT = 118.0 (EX 12" TO DMH2)
S = 0.0050 FT/FT

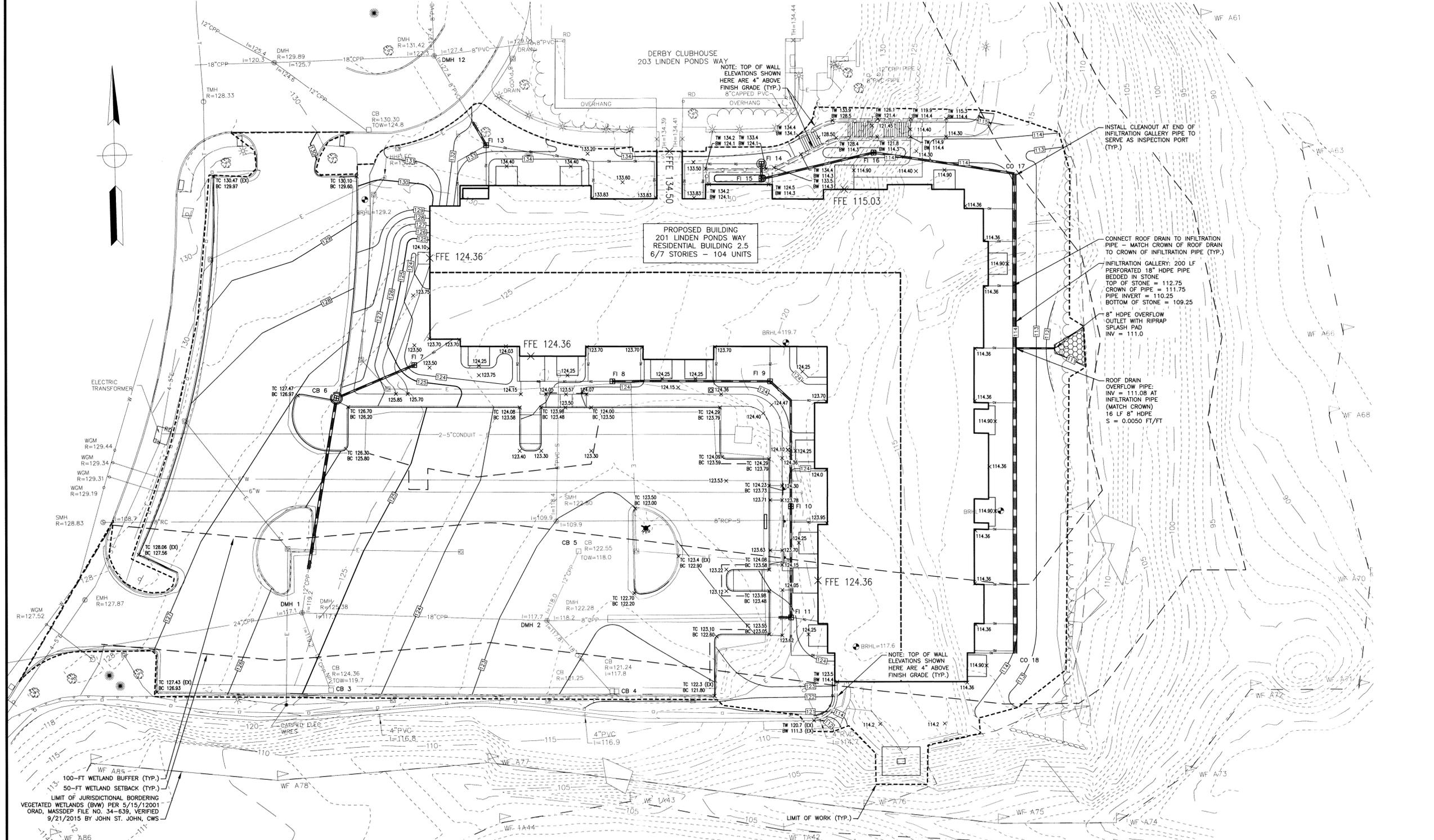
- CB 6 (SEE NOTE #13)
RIM = 126.2
INV. IN = 121.05
INV. OUT = 120.95 (TO DMH1 STUB)
L = 70 LF 12" HDPE (APPROX.)
S = 0.0200 FT/FT
- CB 7
RIM = 123.40
INV. OUT = 121.25 (TO CB6)
L = 33 LF 8" HDPE
S = 0.0061 FT/FT
- CB 8
RIM = 123.50
INV. IN = 120.14 (6" ROOF DRAIN)
INV. OUT = 119.97 (TO FI 9)
L = 66 LF 8" HDPE
S = 0.0050 FT/FT
- CB 9 (EXISTING)
RIM = 124.64 (RE-SET)
INV. OUT = 117.8 (EX 18" TO DMH2)
S = 0.0050 FT/FT
- CB 10 (EXISTING)
RIM = 121.38 (RE-SET)
INV. OUT = 119.97 (TO FI 9)
L = 66 LF 8" HDPE
S = 0.0050 FT/FT
- CB 11 (EXISTING)
RIM = 122.68 (RE-SET)
INV. OUT = 118.0 (EX 12" TO DMH2)
S = 0.0050 FT/FT

- FI 9
RIM = 123.40
INV. IN = 120.81 (6" ROOF DRAIN)
INV. IN = 119.64 (8" FROM FI-8)
INV. OUT = 119.64 (TO FI 10)
L = 66 LF 8" HDPE
S = 0.0050 FT/FT
- FI 10
RIM = 123.50
INV. IN = 119.25 (6" ROOF DRAIN)
INV. IN = 119.31 (8" FROM FI-9)
INV. OUT = 119.64 (TO FI 10)
L = 46 LF 8" HDPE
S = 0.0050 FT/FT
- FI 11 (SEE NOTE #13)
RIM = 123.80
INV. IN = 119.25 (6" ROOF DRAIN)
INV. IN = 119.25 (6" ROOF DRAIN)
INV. IN = 119.08 (8" FROM FI-10)
INV. OUT = 119.08 (TO DMH 2 STUB)
L = 5 LF 8" HDPE (APPROX.)
S = 0.0050 FT/FT

- DMH 12 (EXISTING)
RIM = 131.42 (EXISTING)
INV. IN = 127.40 (EX 8" STUB - FI12)
S = 0.0100 FT/FT
- FI 13 (SEE NOTE #13)
(30" DIA.)
RIM = 132.20
INV. IN = 127.30 (6" ROOF DRAIN)
INV. IN = 127.30 (6" ROOF DRAIN)
INV. IN = 127.30 (6" ROOF DRAIN)
INV. OUT = 128.13 (TO DMH 12 STUB)
L = 11 LF 8" HDPE (APPROX.)
S = 0.0100 FT/FT
- FI 14
RIM = 132.90
INV. IN = 127.90 (6" ROOF DRAIN)
INV. IN = 127.90 (TO FI 15)
L = 7 LF 8" HDPE
S = 0.0214 FT/FT

- FI 15
RIM = 123.9
INV. IN = 119.75 (8" FROM FI 14)
INV. OUT = 111.62 (TO FI 16)
L = 48 LF 8" HDPE
S = 0.0050 FT/FT
- FI 16
RIM = 113.80
INV. IN = 111.38
INV. OUT = 111.38
(TO INFILTRATION GALLERY)
L = 60 LF 8" HDPE
S = 0.0050 FT/FT
- CO 17
RIM = 113.90
INV. IN = 111.08 (8" FROM FI 16)
INV. OUT = 110.25 (18" INFILTRATION GALLERY PIPE)

- CO 18
RIM = 113.95
INV. IN = 111.25 (6" ROOF DRAIN)
INV. OUT = 110.25 (18" INFILTRATION GALLERY PIPE)



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FENG CHANG
No. 41723
REGISTRATION
PROFESSIONAL ENGINEER

NOT ISSUED FOR CONSTRUCTION

LINDEN PONDS RB2.5
201 LINDEN PONDS WAY
HINGHAM, MASSACHUSETTS

NO.	DATE	DESCRIPTION
REVISIONS		



DATE: MAY 18, 2016
NOBIS PROJECT NO. 89800.01
DRAWN BY: EFM
CHECKED BY: TC
CAD DRAWING FILE: 89800.01 C-300 G&D.dwg
SHEET TITLE

GRADING AND DRAINAGE PLAN

SHEET C-3

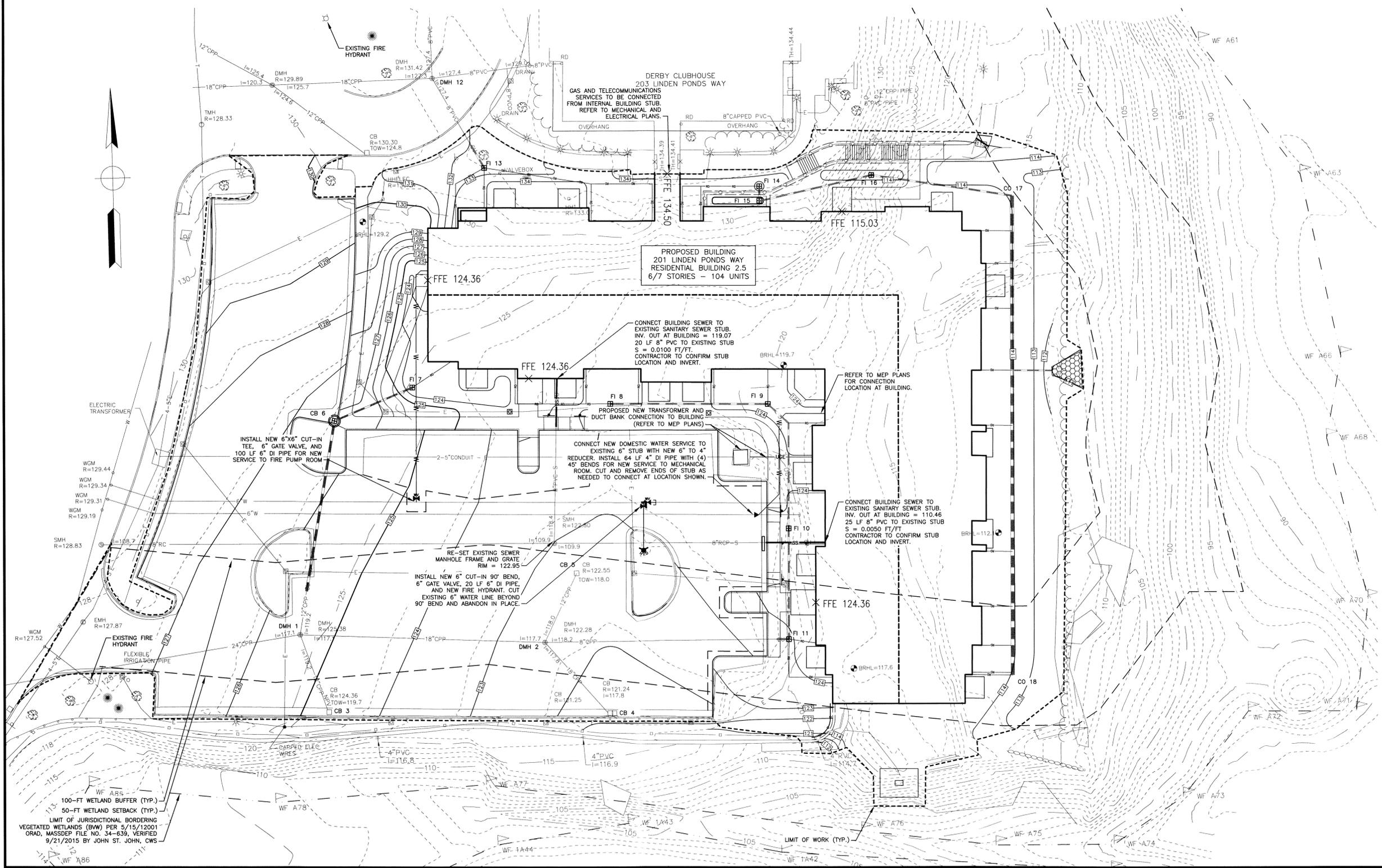
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- NOTES:**
- REFER TO SURVEYOR'S PLAN, FOR BASE PLAN REFERENCES AND ADDITIONAL NOTES.
 - ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE SURVEY PLAN AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
 - THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE, THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-888-DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.
 - LOCATIONS AND ELEVATIONS OF UTILITIES ARE APPROXIMATE ONLY AND ARE BASED ON RECORDS FROM THE UTILITY COMPANIES AND FIELD MEASUREMENTS OF VISIBLE STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO CONSTRUCTION AND WILL NOTIFY ENGINEER AND OWNER IMMEDIATELY OF ANY DISCREPANCIES.
 - ALL CONSTRUCTION WILL CONFORM TO THE TOWN OF HINGHAM STANDARDS AND REGULATIONS, UNLESS OTHERWISE SPECIFIED. ALL CONSTRUCTION ACTIVITIES WILL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
 - THE CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITY STUBS PRIOR TO CONSTRUCTION AND DISCONNECT ALL EXISTING SERVICE CONNECTIONS AT THEIR RESPECTIVE MAINS IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANY'S STANDARDS AND SPECIFICATIONS. ENGINEER TO BE NOTIFIED.
 - FRAMES AND COVERS, MANHOLE FRAMES AND COVERS WILL BE OF HEAVY DUTY DESIGN AND PROVIDE A 24 INCH DIA. CLEAR OPENING. THE WORD "SEWER" WILL BE CAST INTO THE CENTER OF THE UPPER FACE OF EACH COVER WITH RAISED, 3" LETTERS. FRAMES AND COVERS SHALL MEET MASSDOT CONSTRUCTION STANDARDS.
 - CONTRACTOR WILL PLACE 2" WIDE METAL WIRE IMPREGNATED GREEN PLASTIC WARNING TAPE OVER ENTIRE LENGTH OF ALL GRAVITY SEWER SERVICES.
 - PROPOSED RIM ELEVATIONS OF SANITARY MANHOLES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, WATER GATES, AND OTHER UTILITIES TO FINISH GRADE.
 - CONTRACTOR SHALL CONFIRM EXISTING UTILITY LOCATIONS AND INVERTS PRIOR TO INSTALLING CONNECTIONS. NOTIFY THE ENGINEER IMMEDIATELY IF EXISTING CONDITIONS DIFFER FROM PLAN.
 - REFER TO SHEET G-1 FOR GENERAL NOTES AND LEGEND.

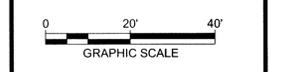


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LINDEN PONDS RB2.5
 201 LINDEN PONDS WAY
 HINGHAM, MASSACHUSETTS



NO.	DATE	DESCRIPTION
REVISIONS		

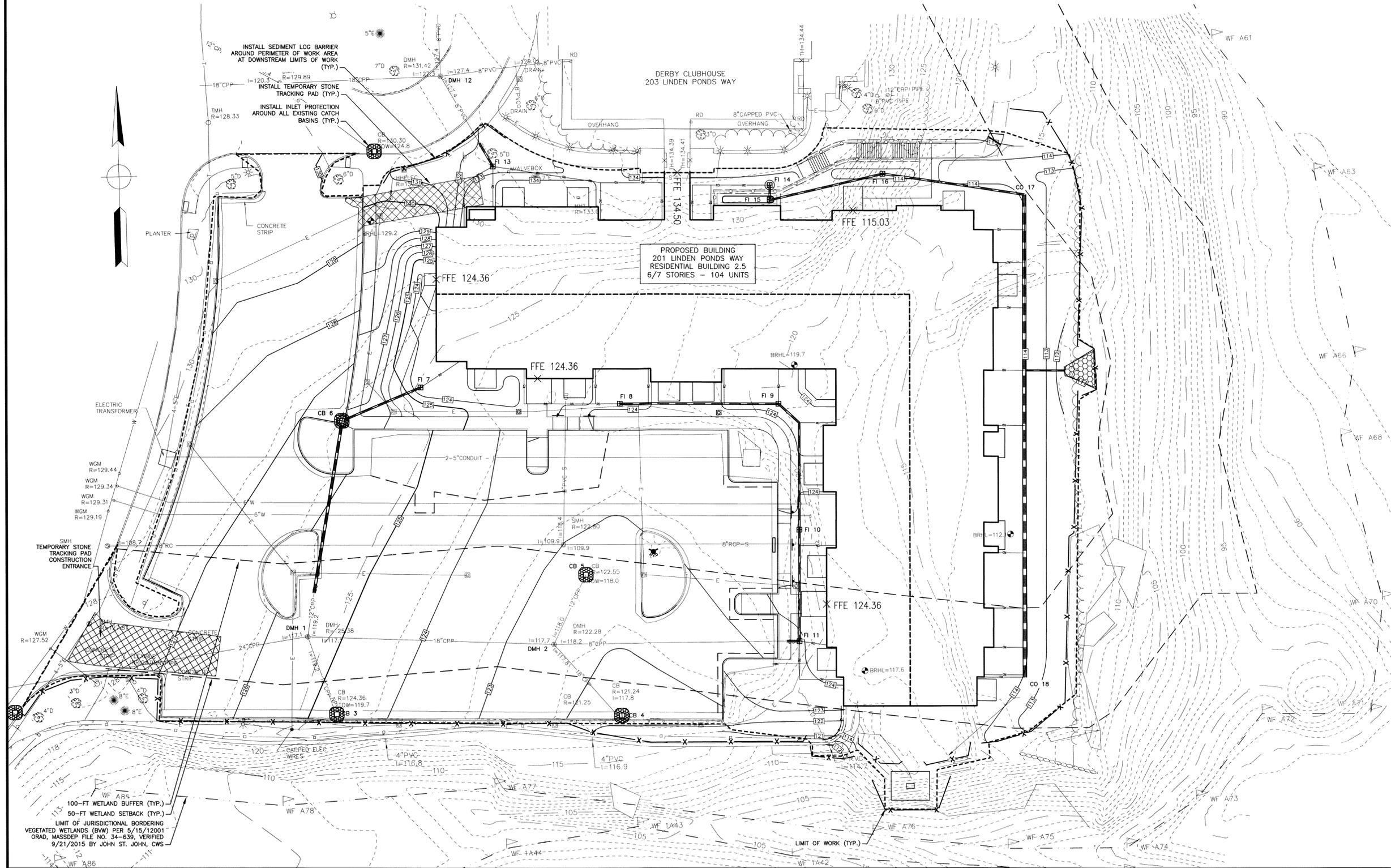


DATE:	MAY 18, 2016
NOBIS PROJECT NO.:	89800.01
DRAWN BY:	EFM
CHECKED BY:	TC
CAD DRAWING FILE:	89800.01 C-400-UTILITY.dwg
SHEET TITLE:	

UTILITY PLAN

SHEET
C-4

- NOTES:**
1. THIS PLAN IS NOT INTENDED TO SHOW PERMANENT DRAINAGE DESIGNS AND TO BE USED FOR TEMPORARY EROSION AND SEDIMENT CONTROL ONLY.
 2. CONTRACTOR TO GRADE ACTIVE EXCAVATION AREAS TO ALLOW MAXIMUM INFILTRATION OF STORMWATER AND MINIMIZE RUNOFF FROM DISTURBED AREAS.
 3. DISTURBANCES OF AREAS TO BE MINIMIZED. NO DISTURBED AREA SHALL BE LEFT UNSTABILIZED FOR LONGER THAN TWO WEEKS DURING THE GROWING SEASON. AREAS WHICH WILL NOT BE PERMANENTLY SEEDING WITHIN TWO WEEKS OF DISTURBANCE SHALL BE TEMPORARILY SEEDING AND MULCHED. ALL AREAS SHALL BE STABILIZED WITH SEED AND MULCH AND TACKIFIER WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE AND PRIOR TO THE END OF THE GROWING SEASON.
 4. FOR FURTHER INFORMATION ON BEST MANAGEMENT PRACTICES SEE COMPLETE PLAN SET AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR THIS PROJECT PREPARED BY NOBIS ENGINEERING, INC., (DATE).
 5. REFER TO GENERAL NOTES AND LEGEND SHEET FOR ADDITIONAL EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.



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 FOR
 CONSTRUCTION

LINDEN PONDS
 RB2.5
 201 LINDEN PONDS WAY
 HINGHAM, MASSACHUSETTS

NO.	DATE	DESCRIPTION
REVISIONS		

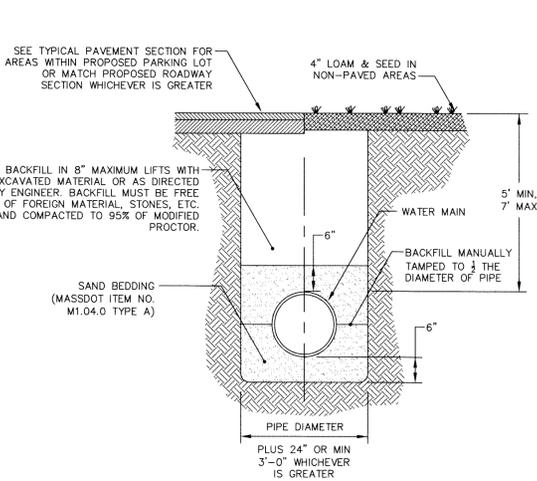


DATE:	MAY 18, 2016
NOBIS PROJECT NO.	89800.01
DRAWN BY:	EFM
CHECKED BY:	TC
CAD DRAWING FILE:	89800.01 C-320-EROSION CONTROL.dwg
SHEET TITLE	

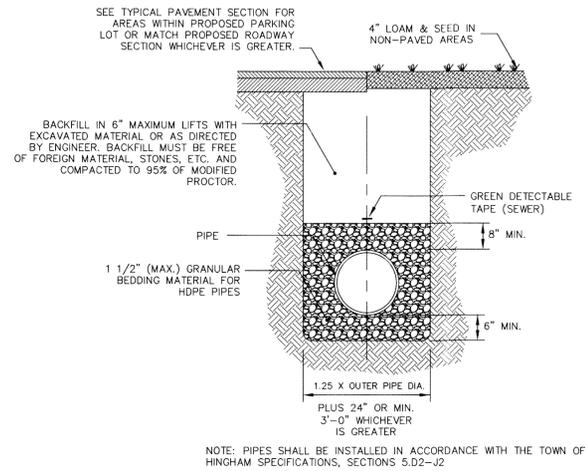
EROSION
 CONTROL PLAN

SHEET
 C-5

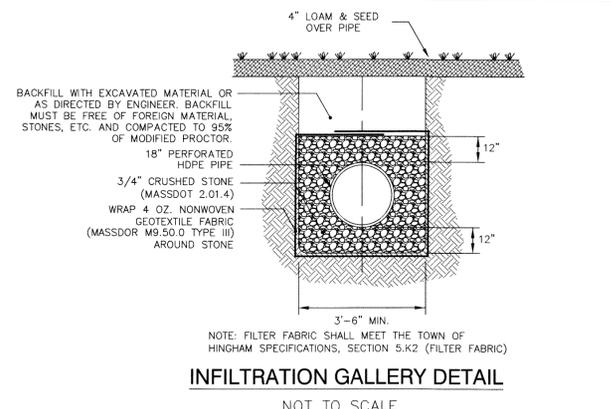
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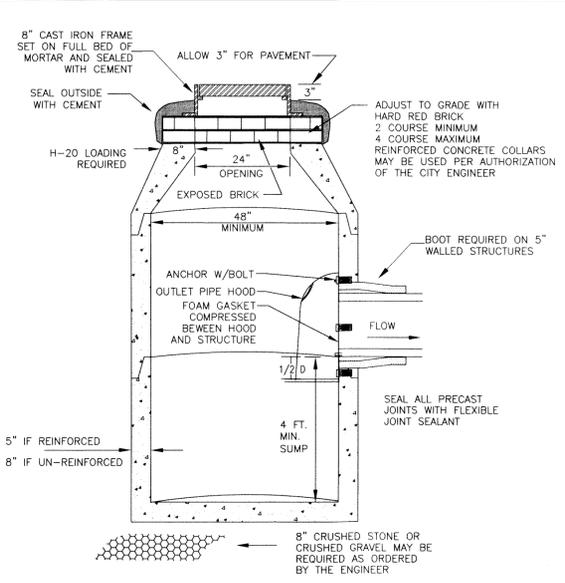
WATER TRENCH
NOT TO SCALE



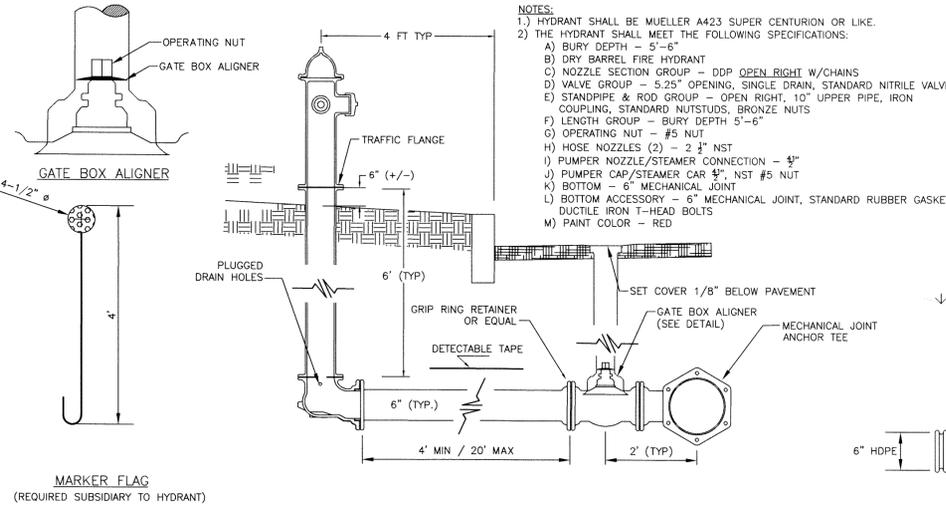
TYPICAL SANITARY/STORM SEWER TRENCH DETAIL
NOT TO SCALE



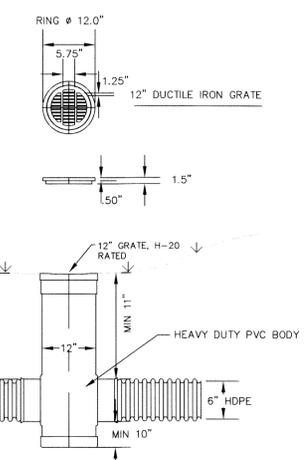
INFILTRATION GALLERY DETAIL
NOT TO SCALE



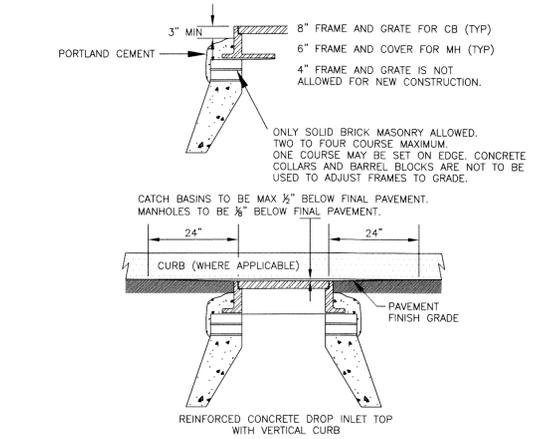
CATCH BASIN
NOT TO SCALE



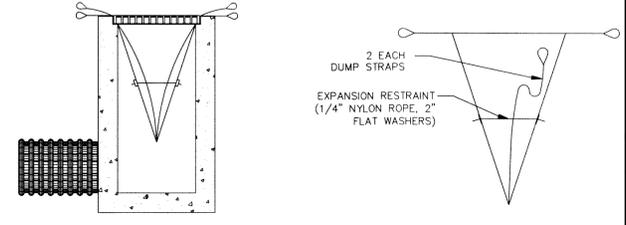
FIRE HYDRANT
NOT TO SCALE



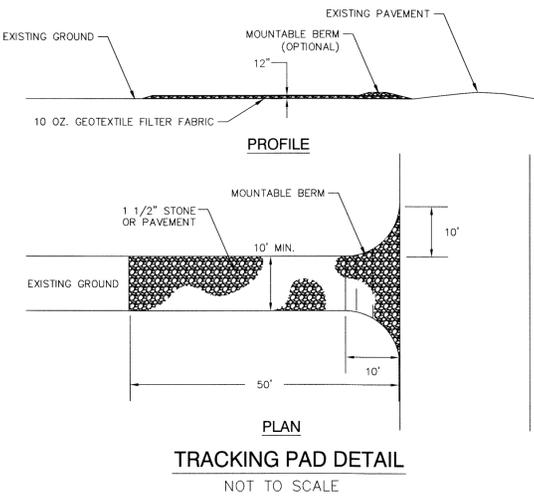
TYPICAL 12\"/> NYLOPLAST FIELD INLET DETAIL
NOT TO SCALE



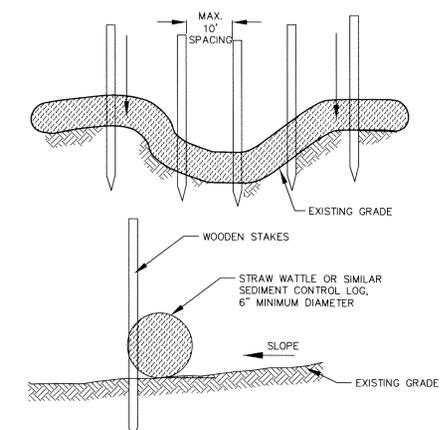
ADJUSTING FRAMES TO GRADE
NOT TO SCALE



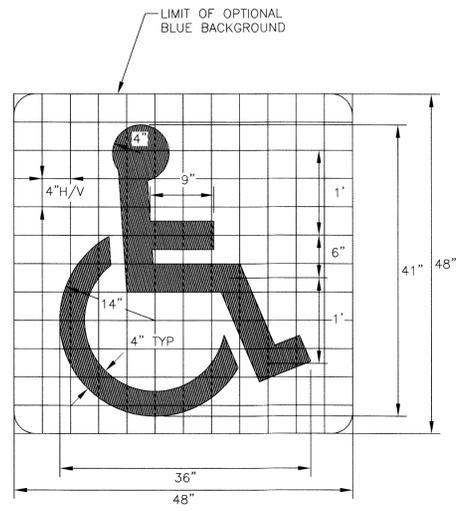
INSTALLATION DETAIL **BAG DETAIL**



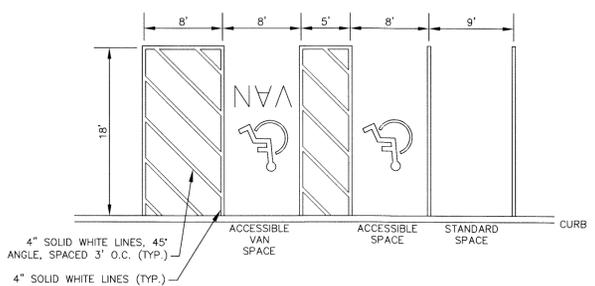
TRACKING PAD DETAIL
NOT TO SCALE



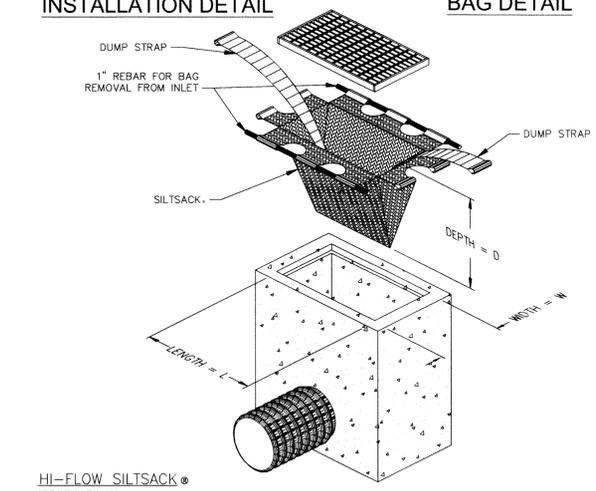
TEMPORARY STRAW WATTLE
NOT TO SCALE



ACCESSIBLE PARKING SPACE PAVEMENT MARKING
NOT TO SCALE



PARKING STRIPING DETAIL
NOT TO SCALE



HI-FLOW SILTSACK DETAIL
NOT TO SCALE

HI-FLOW SILTSACK® SPECIFICATIONS*

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	265 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	135 LBS
MULLEN BURST	ASTM D-3786	420 PSI
TRAPEZOID TEAR	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-4355	90 %
APARENT OPENING SIZE	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/50 FT
PERMITTIVITY	ASTM D-4491	1.5 SEC -1

*NOTE: HIGH-FLOW SILTSACK TO BE INSTALLED ONLY AFTER PAVEMENT IS INSTALLED. PRIOR TO PAVING, COVER INLET WITH AN IMPERMEABLE WATER TIGHT BARRIER TO KEEP STORMWATER AND SEDIMENT FROM ENTERING BASIN.



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LINDEN PONDS RB2.5
201 LINDEN PONDS WAY
HINGHAM, MASSACHUSETTS

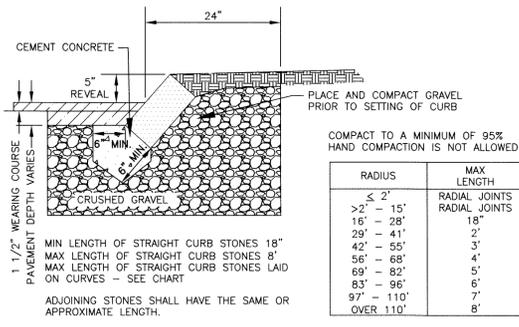
NO.	DATE	DESCRIPTION
REVISIONS		

SCALE: AS NOTED

DATE:	MAY 18, 2016
NOBIS PROJECT NO.	89800.01
DRAWN BY:	EFM
CHECKED BY:	TC
CAD DRAWING FILE:	89800.01 C-700-DETAILS.dwg

CONSTRUCTION DETAILS

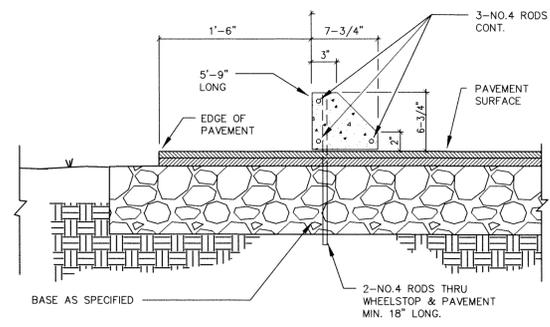
SHEET
C-6



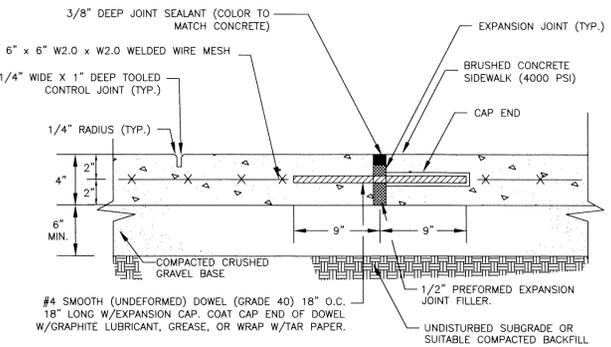
FINISH SURFACE AND TOLERANCES FOR SLOPED GRANITE CURB

AREA	FINISH SURFACE	TOLERANCE
ARRIS LINES	STRAIGHT AND TRUE ON TOP, FRONT AND ENDS. DRILL HOLES NOT DEEPER THAN 1/4" ALLOWED IN ARRIS LINES.	+3/4" TO -3/4"
FACES EXPOSED PART	PLANES; NO DRILL HOLES IN FACES LONGER THAN 8" OR DEEPER THAN 1/4".	+1" TO -1"
CONCEALED PART	DRILL HOLES NOT OBJECTIONABLE.	
ENDS	SQUARE WITH FACE EXCEPT AS INDICATED.	
JOINTS	ON TANGENT, MAXIMUM WIDTH: 1".	+1/2" TO -1/2"
	ON CURVES OVER 15' RADIUS, WIDEN TOP OR BOTTOM FROM 1" AS NECESSARY.	+1/2" TO -1/2"
	ON CURVES WITH 15' RADIUS AND UNDER, USE RADIAL JOINTS OR CURVED CURB AS INDICATED. OPTIMUM WIDTH: 1"	+1/2" TO -1/2"

SLOPED GRANITE CURB
NOT TO SCALE

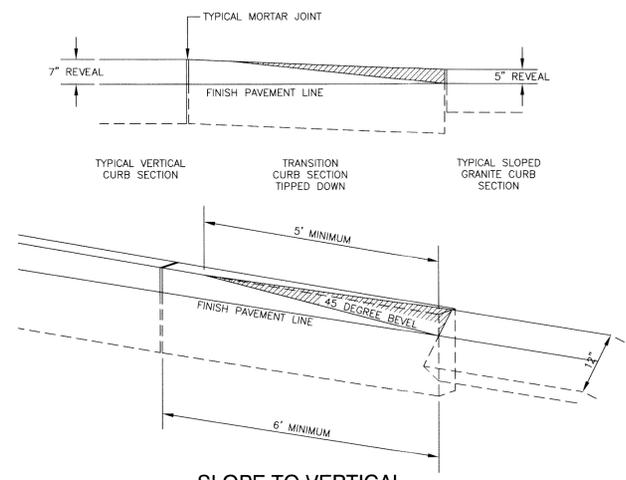


PRE-CAST CONCRETE CURB STOP
NOT TO SCALE

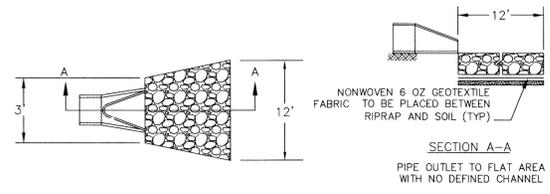


- NOTES:
1. MAINTAIN 2" CLEARANCE (TYP) BETWEEN ALL CONCRETE EDGES AND WIRE FABRIC OR DOWEL.
 2. CONTROL JOINTS TO BE LOCATED 5 FT. ON CENTER.
 3. EXPANSION JOINTS TO BE LOCATED 25 FT. ON CENTER.
 4. CONCRETE SIDEWALKS SHALL MEET THE TOWN OF HINGHAM SPECIFICATIONS, SECTION 5.03 (CONCRETE SIDEWALKS)

BRUSHED CONCRETE SIDEWALK
TYPICAL SECTION
NOT TO SCALE

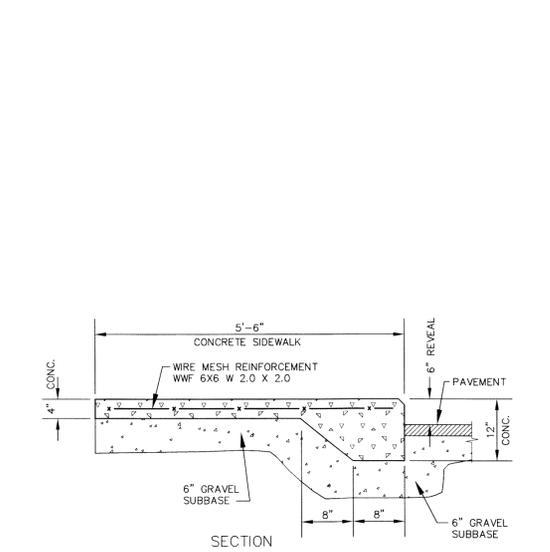


SLOPE TO VERTICAL GRANITE CURB TRANSITION
NOT TO SCALE

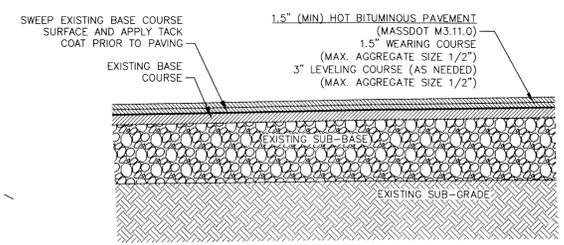


- NOTES:
1. THE SUBGRADE FOR THE GEOTEXTILE FABRIC AND RIPRAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
 2. THE RIPRAP SHALL CONFORM TO MASSDOT SPECIFICATION M2.02.3, STONE FOR PIPE ENDS.
 3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIPRAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
 4. STONE FOR THE RIPRAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
 5. RIPRAP BLANKET THICKNESS SHALL BE 24" MINIMUM.
 6. MAINTENANCE: THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIPRAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO OUTLET PROTECTION.

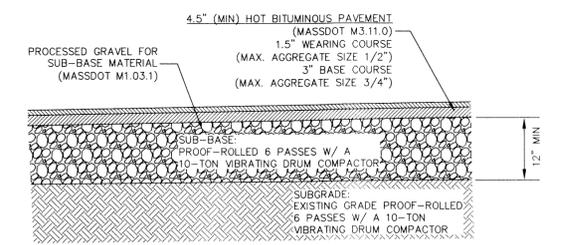
RIP RAP OUTLET PROTECTION APRON
NOT TO SCALE



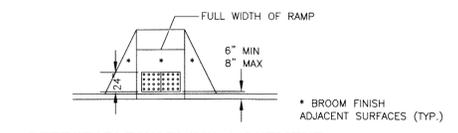
MONOLITHIC CONCRETE SIDEWALK AND CURB
NOT TO SCALE



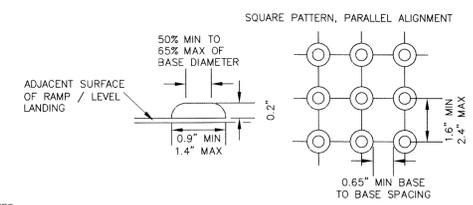
ASPHALT OVERLAY SECTION
NOT TO SCALE



FULL DEPTH ASPHALT REPLACEMENT SECTION
NOT TO SCALE

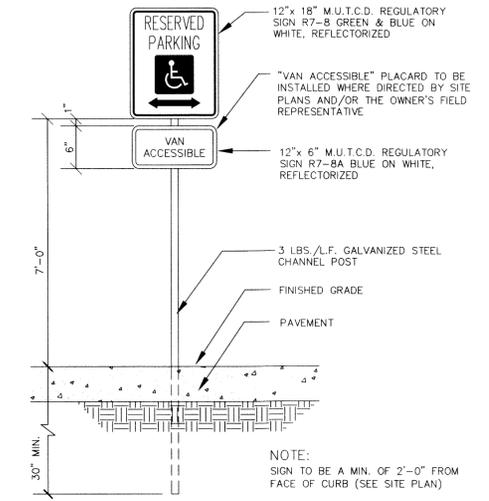


DETECTABLE WARNING PLACEMENT

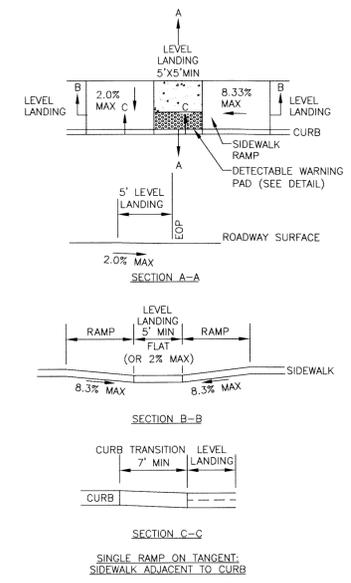


- NOTES:
1. DETECTABLE WARNING SURFACES SHALL BE CAST IRON WITHIN THE CITY R.O.W.
 2. CONCRETE ADJACENT TO ALL DETECTABLE WARNINGS SHALL HAVE A BROOM FINISH.
 3. THE COLOR OF THE DETECTABLE WARNING SHALL PROVIDE A VISUAL CONTRAST TO THE SURROUNDING SURFACE AND SHALL BE AS SPECIFIED ON THE PLANS.
 4. WHERE A RAMP OR LEVEL LANDING MEETS A CURB RADIUS, ALIGN THE EDGE OF THE DETECTABLE WARNING AREA PARALLEL TO THE CURB TO THE MAXIMUM EXTENT FEASIBLE.

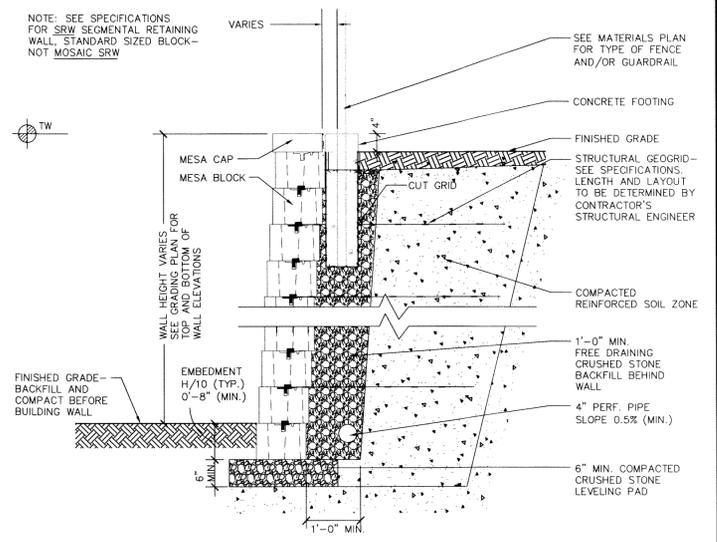
DETECTABLE WARNING DETAILS
NOT TO SCALE



RESERVED PARKING SIGN
NOT TO SCALE



SIDEWALK RAMP TYPE
NOT TO SCALE



MODULAR BLOCK RETAINING WALL
NOT TO SCALE



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LINDEN PONDS RB2.5
201 LINDEN PONDS WAY
HINGHAM, MASSACHUSETTS

NO.	DATE	DESCRIPTION
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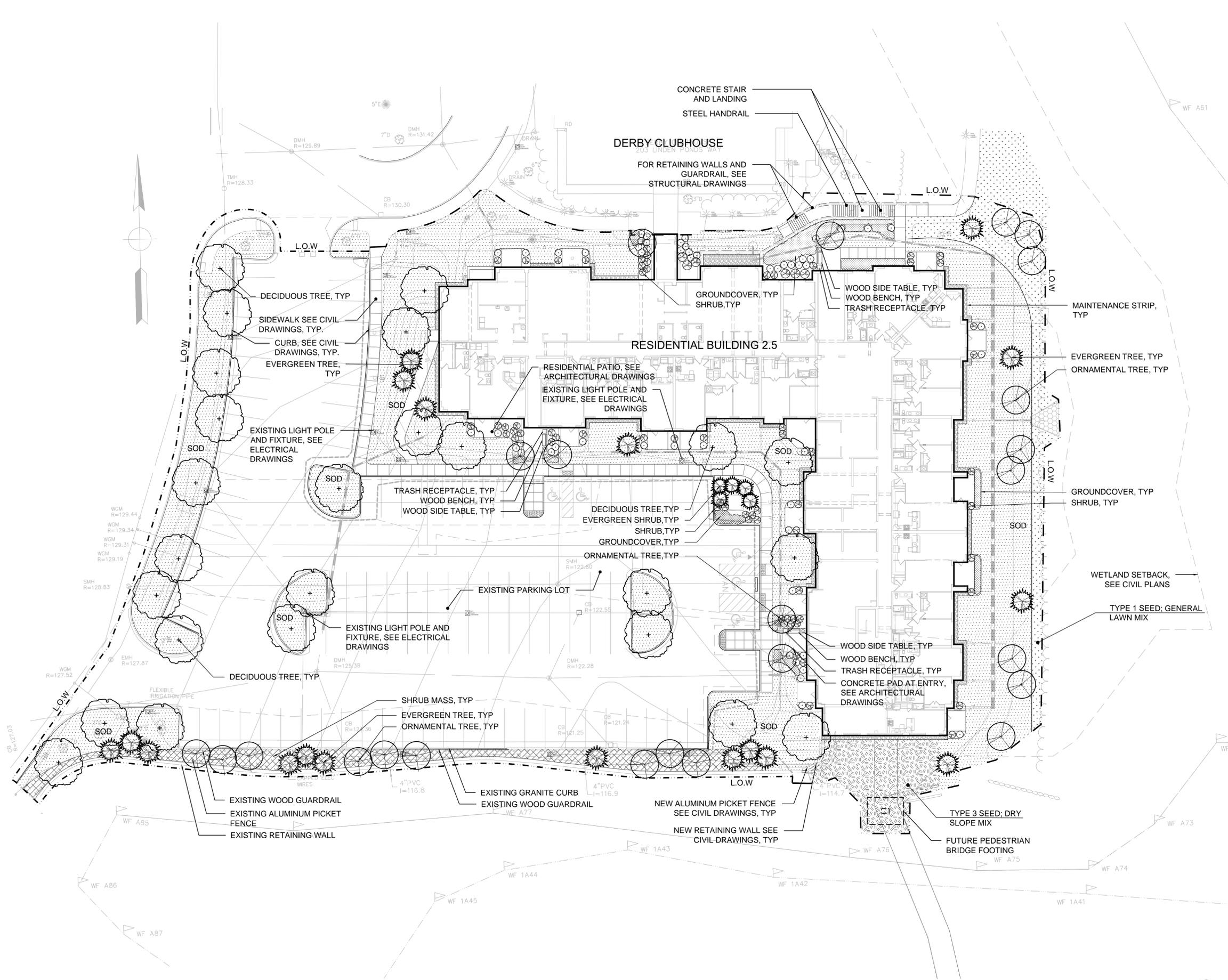
SCALE:
AS NOTED

DATE:	MAY 18, 2016
NOBIS PROJECT NO.	89800.01
DRAWN BY:	EFM
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CAD DRAWING FILE:	89800.01 C-700-DETAILS.dwg
SHEET TITLE	

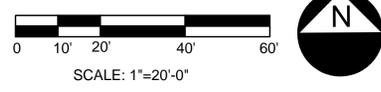
CONSTRUCTION DETAILS

SHEET
C-7

PLANT LEGEND	
1	DECIDUOUS TREE
	ORNAMENTAL/ UNDERSTORY TREE
	EVERGREEN TREE
	SHRUBS
	SHRUB MASS
2	PERENNIALS/ GROUNDCOVER
	SOD LAWN
	TYPE 1 SEED, GENERAL LAWN
4	TYPE 2 SEED, DRY SLOPE W/ SHRUBS
	TYPE 3 SEED, DRY SLOPE MIX



1 SITE IMPROVEMENTS PLAN
SCALE: 1" = 20'-0"



MARKS, THOMAS ARCHITECTS
1414 Key Highway, 2nd Floor, Baltimore, MD 21230 Phone: 410.539.4300 Fax: 410.539.0660

CERTIFIED
Landscape Architect:
CRJA-IBI Group
115 Broad St.
Boston, MA 02110
Phone: 617.896.2500

Residential Building 2.5
LINDEN PONDS
Retirement Community
Hingham, Massachusetts

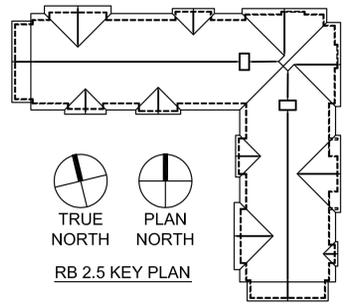
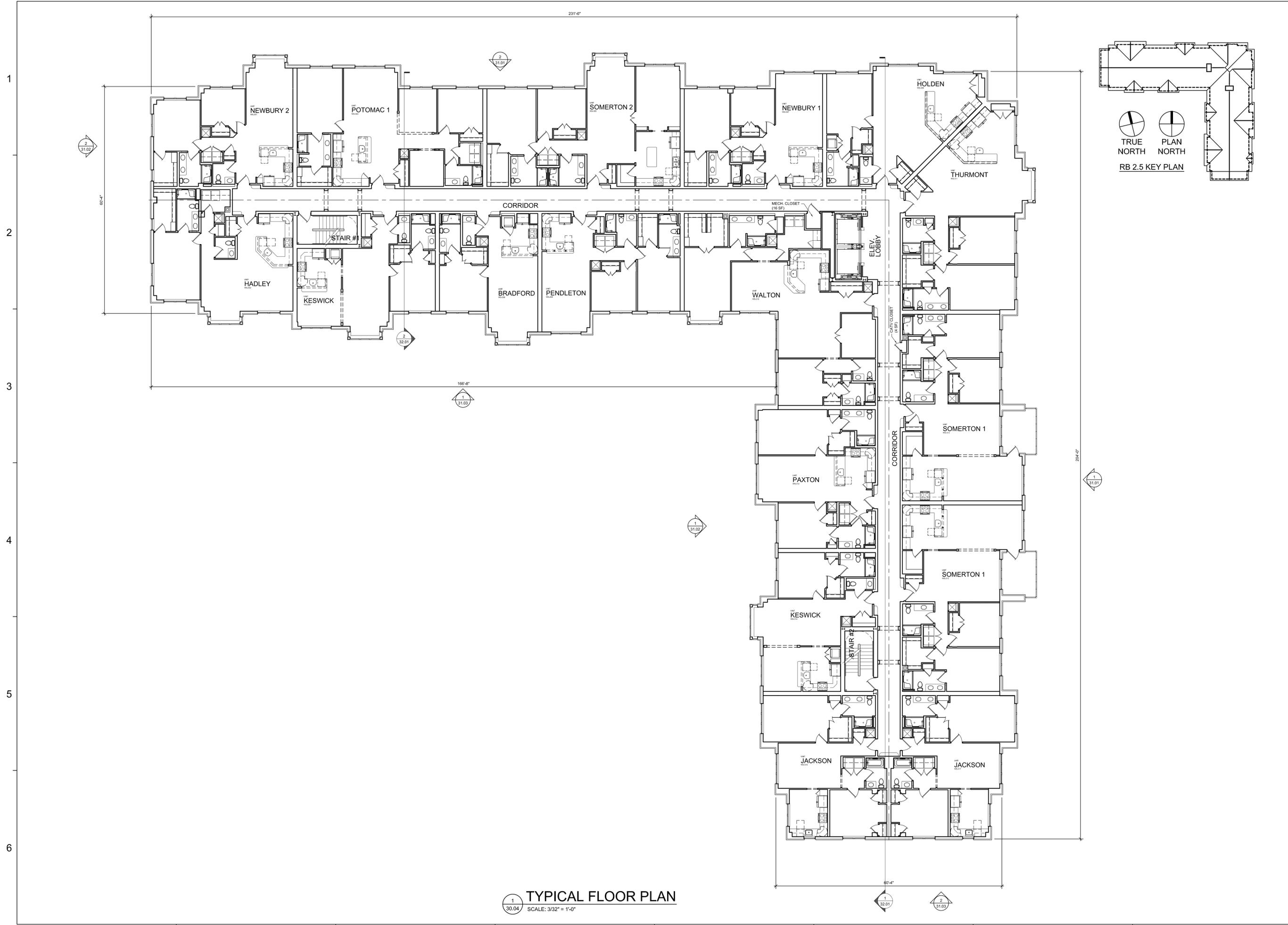
SHEET TITLE
SITE IMPROVEMENTS

JOB 16215	DATE 5/18/16
DRN	CHKD
REVISIONS	

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L101-Z



1
30.04
TYPICAL FLOOR PLAN
SCALE: 3/32" = 1'-0"

Residential Building 2.5

LINDEN PONDS

Retirement Community
Hingham, Massachusetts

SHEET TITLE
TYPICAL FLOOR
PLAN

JOB	18215	DATE	02/18/16
DRN		CHKD	

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1

2

3

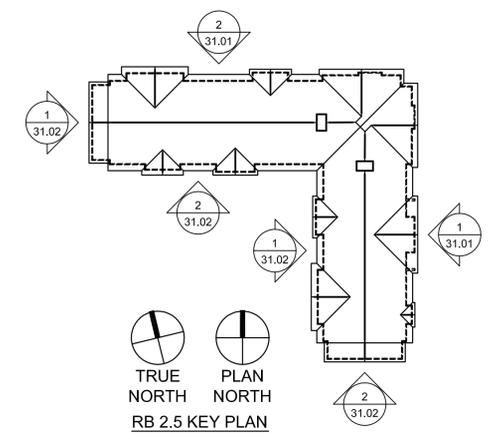
4

5

6



EAST ELEVATION
 SCALE: 3/32" = 1'-0"
 31.01



RB 2.5 KEY PLAN
 TRUE NORTH
 PLAN NORTH



NORTH ELEVATION
 SCALE: 3/32" = 1'-0"
 31.01

MATERIALS LEGEND:

- M1 FIBERGLASS SHINGLE ROOF - (COLOR TO MATCH COMPLETED NHBD. 2 BLDGS.)
- M2 EIFS #1 (LIGHT BEIGE - COLOR TO MATCH COMPLETED NHBD. 2 BLDGS.)
- M3 EIFS #2 (DARK BEIGE - COLOR TO MATCH COMPLETED NHBD. 2 BLDGS.)
- M4 BRICK #1 (FIELD) - (BRICK & COLOR TO MATCH COMPLETED NHBD. 2 BLDGS.)
- M5 BRICK #2 (ACCENT) - SOLDIER COURSE, SILL & ROWLOCK BRICKS. (COLOR TO MATCH COMPLETED NHBD. 2 BLDGS.)
- M6 SPLIT-FACE MASONRY BLOCK - (COLOR TO MATCH COMPLETED NHBD. 2 BLDGS.)
- M7 PRE-FINISHED ALUMINUM RAILINGS - (WHITE - COLOR TO MATCH COMPLETED NHBD. 2 BLDGS.)
- M8 FABRIC AWNINGS - (TYPE / COLOR TO MATCH COMPLETED NHBD. 2 BLDGS.)
- M9 VINYL WINDOWS - (COLOR TO MATCH COMPLETED NHBD. 2 BLDGS.)

Residential Building 2.5
LINDEN PONDS
 Retirement Community
 Hingham, Massachusetts

SHEET TITLE
BUILDING ELEVATIONS

JOB	16215	DATE	05/18/16
DRN	CHKD		
REVISIONS			

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CERTIFIED

1

2

3

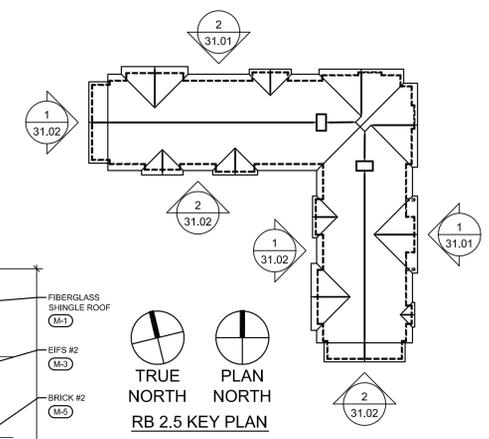
4

5

6



1
31.02
WEST ELEVATION
SCALE: 3/32" = 1'-0"



CERTIFIED

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Residential Building 2.5

LINDEN PONDS

Retirement Community
Hingham, Massachusetts

SHEET TITLE
BUILDING
ELEVATIONS

JOB	DATE
16215	05/18/16
DRN	CHKD
REVISIONS	

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A B C D E F G H

2
31.02
SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

- MATERIALS LEGEND:**
- (M-1) FIBERGLASS SHINGLE ROOF - (COLOR TO MATCH COMPLETED N.H.B.D. 2 BLDGS.)
 - (M-2) EIFS #1 (LIGHT BEIGE - COLOR TO MATCH COMPLETED N.H.B.D. 2 BLDGS.)
 - (M-3) EIFS #2 (DARK BEIGE - COLOR TO MATCH COMPLETED N.H.B.D. 2 BLDGS.)
 - (M-4) BRICK #1 (FIELD) - (BRICK & COLOR TO MATCH COMPLETED N.H.B.D. 2 BLDGS.)
 - (M-5) BRICK #2 (ACCENT) - SOLDIER COURSE, SILL & ROWLOCK BRICKS. (COLOR TO MATCH COMPLETED N.H.B.D. 2 BLDGS.)
 - (M-6) SPLIT-FACE MASONRY BLOCK - (COLOR TO MATCH COMPLETED N.H.B.D. 2 BLDGS.)
 - (M-7) PRE-FINISHED ALUMINUM RAILINGS - (WHITE - COLOR TO MATCH COMPLETED N.H.B.D. 2 BLDGS.)
 - (M-8) FABRIC AWNINGS - (TYPE / COLOR TO MATCH COMPLETED N.H.B.D. 2 BLDGS.)
 - (M-9) VINYL WINDOWS - (COLOR TO MATCH COMPLETED N.H.B.D. 2 BLDGS.)

KNOCK OUT PANEL SEE DRAWING NOTE 1

1

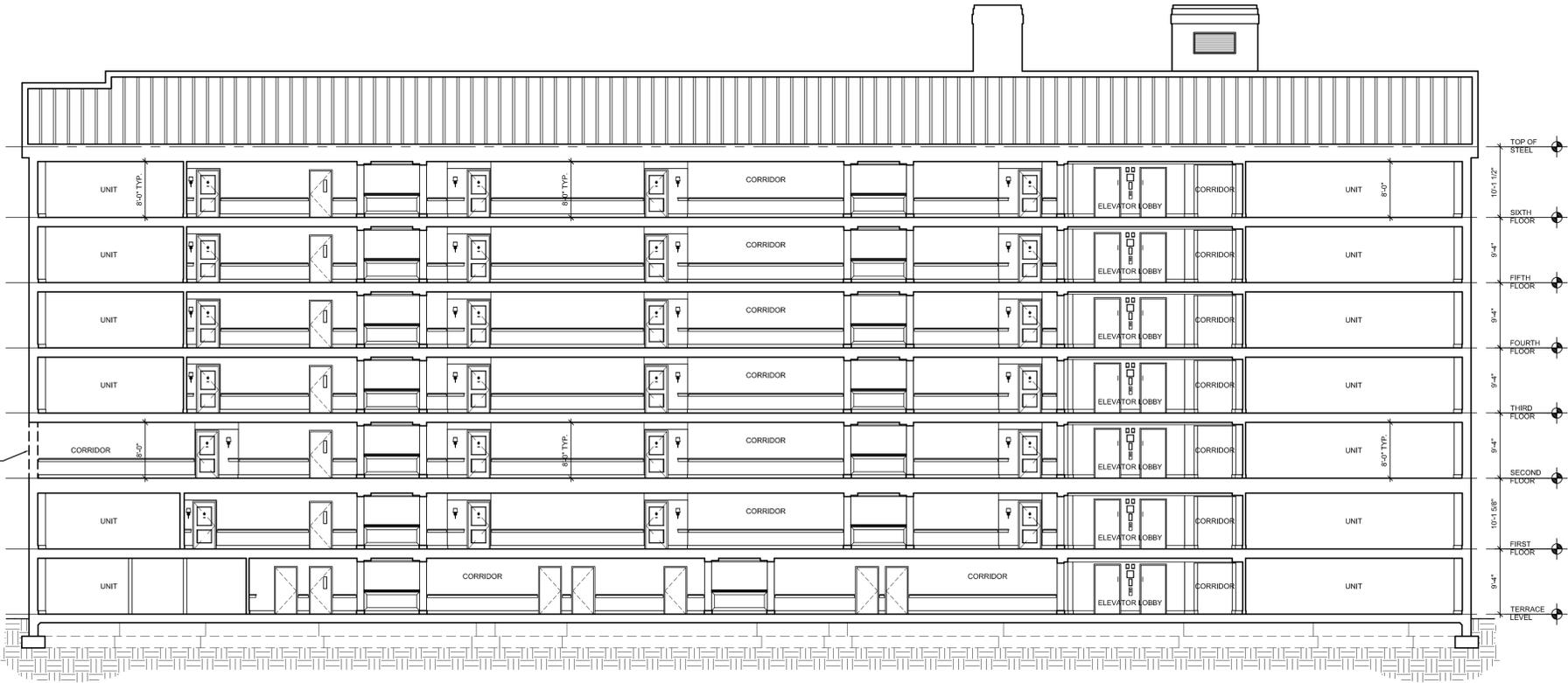
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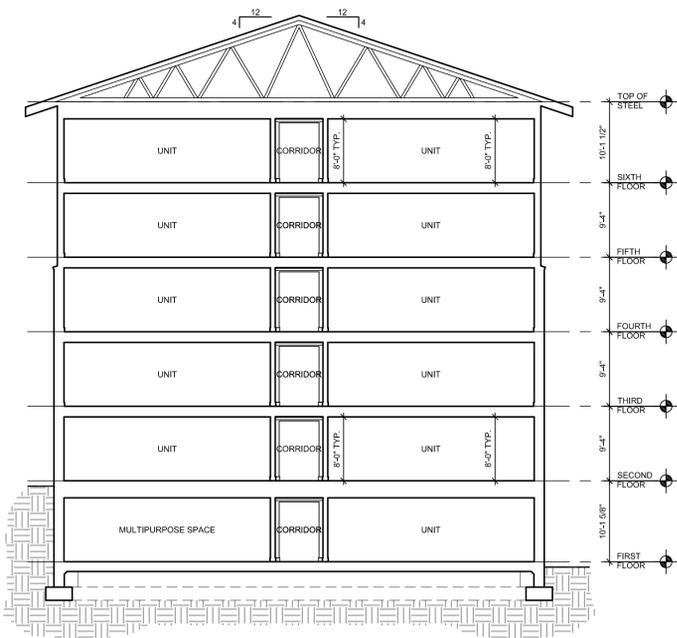
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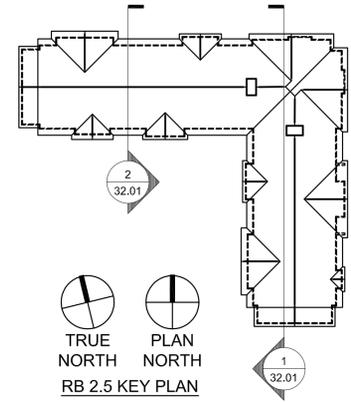
6



BUILDING SECTION
 SCALE: 3/32" = 1'-0"
 32.01



BUILDING SECTION
 SCALE: 3/32" = 1'-0"
 32.01



A

B

C

D

E

F

G

H

Residential Building 2.5

LINDEN PONDS

Retirement Community
Hingham, Massachusetts

SHEET TITLE
BUILDING SECTIONS

JOB	16215	DATE	05/18/16
DRN		CHKD	

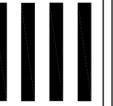
REVISIONS

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32.01

CERTIFIED



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